

6WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY

Monthly Meeting, Monday, November 10, 2025, Board Meeting 5:00 PM

1280 N. Congress Ave. Suite 215

West Palm Beach, FL 33409

**NOTE: Agenda Summary (Pages 3-7)
Staff Report (Pages 8 - 14)**

- I. CALL TO ORDER / ROLL CALL**
- II. AGENDA APPROVAL**
 - 1. Additions, Deletions, and Substitutions to the Agenda**
 - 2. Adoption of Agenda**
- III. ADOPTION OF W/BH October 06, 2025 CRA MINUTES (Pages 15 - 19)**
- IV. PUBLIC COMMENTS**
- V. DISCLOSURES**
- VI. CONSENT AGENDA**
- VII. REGULAR AGENDA**
 - 1. Recommendation for DRO Approval for Use & WCRAO Bonus Density and Type 1 Waiver for Incompatibility Landscape Buffers (Pages 20 - 48)**
 - 2. Recommendation for Site Plan and Light Repair & Maintenance (Mavis Tire) (Pages 49 – 91)**
 - 3. Approval of Work Assignment #1 for Chen Moore and Associates (CMA) for CRA Redevelopment Plan Update (Pages 92 - 96)**
 - 4. Approval of Change Orders for Cherry Road Streetscape (Pages 97 – 105)**
- VIII. REPORTS**
 - A. Staff Reports and Correspondence (Pages -)**

B. Attorney's Report

C. Committee Reports and Board Comments

1. Administrative/Finance –
2. Capital Improvements – Chair, Mr. Daniels
3. Land Use –
4. Real Estate – Chair,
5. Marketing –
6. Community Affairs –
7. Special Events – Chair, Ms. Ruffy

IX. ADJOURNMENT

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE BOARD WILL BE BARRED FROM FURTHER AUDIENCE BEFORE THE BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD AS GRANTED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING, HE WILL NEED A RECORD OF THE PROCEEDING, AND FOR SUCH PURPOSE HE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

ON JUNE 7, 1994, THE BOARD OF COUNTY COMMISSIONERS APPROVED RESOLUTION NO. 94-693, KNOWN AS THE CODE OF ETHICS. UNDER SECTION 11, IT IS REQUIRED THAT PAID AND UNPAID LOBBYISTS REGISTER. PLEASE REFER TO SECTIONS 11.01 AND 11.02 IN THE CODE OF ETHICS FOR REGISTRATION SPECIFICS. FOR YOUR USE, REGISTRATION FORMS ARE AVAILABLE FROM THE CRA'S ADMINISTRATIVE ASSISTANT.

AGENDA ITEMS
Westgate/Belvedere Homes CRA Board Meeting
In Person and Via Zoom
November 10, 2025

REGULAR AGENDA

1. Recommendation for DRO Approval for Use & WCRAO Bonus Density, and Type 1 Waiver for Incompatibility Landscape Buffers

A. Background and Summary: The subject \pm 1.12-acre site is located midblock on Genessee Avenue between Osceola Drive and Loxahatchee Drive. The property is comprised of 2 parcels, and currently supports single family residential; one single family home at 2539 Genessee Ave., and one at 2515 Genessee Ave. (a 2,100-sf. detached garage was constructed in 1977).

The site is in the NG (Neighborhood General) Sub-area of the WCRAO. The County's Managed Growth Tier System classifies the WCRAO as within the U/S (Urban/Suburban) Tier, the RRIO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area) Study area, and in the Westgate CCRT area.

The site has a zoning classification of RH (Medium Density Residential), and Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre). The project is generally compatible with existing development to the north and south. To the east and west of the subject site are single-family residences fronting Genessee Ave., both zoned RH, or Multifamily Residential. To the south is a 5-unit multifamily development, single family parcels and vacant sites, two of which are owned by the CRA. To the north are RM and CG zoned sites including a 10+-unit multifamily development, and a commercial building. All adjacent properties have a CH/8 FLU.

Proposed Development

The applicant proposes to develop a 19-unit for-sale townhouse project in three buildings on 1.12 acres on Genessee Avenue. Each unit will support 3-bedrooms, 1.5 -baths, will have a front-loading garage, and will vary slightly in size with each unit on average 20.5 ft. in width – each unit is ~2,255 sf. The existing structures will be demolished to accommodate new construction. The site has a future land use classification of CH/8. A total of 8.96, or 9 units, are permitted by right through the base

density. To achieve 19 units, the project may request the additional density need of 10 units through the WCRAO Density Bonus Program. Additional bonus density of 4.01 – 22 bonus units per acre requires DRO approval. The increase in density offered by the DBP pool will provide for an overall site density of almost 17 dwelling units per acre. The applicant is submitting applications for Zoning entitlements for the Townhouse use and WCRAO bonus density, along with an administrative Type 1 Waiver request for landscape buffer reductions.

Summary of Petition

The applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Development Review Officer (DRO) approval of ten (10) bonus density units from the WCRAO Density Bonus Program; and,
2. Approval of an administrative Type 1 Waiver pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the east and west incompatibility landscape buffers.

B. Recommendation: Staff recommends approval for the following requests:

1. Development Review Officer (DRO) approval of ten (10) bonus density units from the WCRAO Density Bonus Program; and,
2. Approval of an administrative Type 1 Waiver pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the east and west incompatibility landscape buffers.

2. Recommendation for Site Plan and Light Repair & Maintenance Use

A. Background and Summary: The subject site is an ±0.68-acre outparcel at the Walmart Plaza, located on the northeast corner of N. Military Trail and Belvedere Rd. The Walmart Plaza is approximately 22.4 acres in total and consists of four buildings: the anchor tenant, a Walmart Supercenter, a vacant restaurant site (building demolished), a vacant future redevelopment site that once housed the Murphy Express Gas Station, and the new Murphy Express gas station at the corner of N. Military Trail and Belvedere Rd. The applicant proposes to redevelop the vacant restaurant site as light repair and maintenance.

The entire site is within the UH (Urban Highway) Sub-area of the WCRAO, and is zoned MUPD (Multiple Use Planned Development) with a Future Land Use designation (FLU) of CH/8

(commercial high with an underlying residential land use of 8 du's/acre). The site is in the URA (Urban Redevelopment Area), the U/S (Urban/Suburban) Tier, RRIO, and in the Westgate CCRT area. There are Vehicle Sales & Rental Uses to the north on Military Trail (zoned CG/SE with a CH/8 FLU). To the west, across N. Military Trail is the Town of Haverhill, to the south, across Belvedere Rd. is a KFC Restaurant (zoned CC/SE with a CH FLU), and to the east is vacant PBIA-owned land zoned PO with a Transit/Utilities (U/T) FLU.

In November 2021, the DRO approved a 2,700-sf. car wash on this now vacant outparcel located just to the north of the new Murphy Express Gas Station. The owner no longer wishes to develop the site as a car wash due to shifting market trends and instead proposes to redevelop the site as a Mavis Tires, considered a light repair and maintenance use.

All other areas within the MUPD are to be unaffected as a part of the application. ULDC Art. 4 requires a Light Repair & Maintenance use in MUPDs to be approved by the DRO. MUPD zoning standards allow for revisions to square footage for permitted or DRO approval uses within a percentage range without requiring BCC approval for a Development Order Amendment to the MUPD.

The applicant requests the following approvals:

1. Final DRO site plan approval for a 6,889 sf Repair and Maintenance, Light use within the Walmart Plaza MUPD; and,
2. An increase of 5 pm peak hour trips, and 1 am peak hour trip, and a reduction of 28 daily trips to be allocated from the WCRA Transportation Concurrency Exception Area (TCEA) pool.

B. Recommendation: Staff recommends approval of the applicant's requests for the following:

1. Final DRO site plan approval for a 6,889 sf Repair and Maintenance, Light use within the Walmart Plaza MUPD; and,
2. An increase of 5 pm peak hour trips, and 1 am peak hour trip, and a reduction of 28 daily trips to be allocated from the WCRA Transportation Concurrency Exception Area (TCEA) pool.

3. Approval of Work Assignment #1 for Chen Moore and Associates (CMA) for CRA Plan Update

A. Background and Summary: The CRA Redevelopment Plan was last updated in 2017. The CRA has completed many of the initiatives envisioned by the 2017 Plan and should consider new goals and objectives for the next 10 years, especially in housing development, transportation planning, land use, architecture guidelines, infrastructure improvement, innovative policing, and economic growth. The Redevelopment Plan is the guiding document of any CRA. It is developed with community input and helps in establishing the best policies and programs to remove slum and blight conditions in an area. Every project undertaken by a CRA needs to be included in the Redevelopment Plan.

CMA is engaged to complete the document within 12 to 18 months. The firm will work with the CRA, the community, Palm Beach County, and other stakeholders to deliver a document driven by the latest data and community engagement.

The scope of work for this Work Assignment is divided into seven tasks: Project initiation and coordination with CRA staff, data collection and inventory, community and stakeholder engagement, existing conditions analysis: planning, engineering, market assessment and economic development, redevelopment goals, objectives and the work program, draft plan document preparation, and adoption of final CRA Plan.

The firm will use Redevelopment Management Associates (RMA) as a subconsultant on this assignment and proposes to complete the update of the Redevelopment Plan for an amount not to exceed \$165,000.

B. Recommendation: Staff recommends that the Board authorize Work Assignment #1 to CMA to update the CRA Redevelopment Plan for a lump sum amount of \$165,000.

4. Approval of Change Orders for Cherry Road Streetscape

A. Background and Summary: The CRA is working with Palm Beach County to implement a Transportation Planning Agency (TPA) grant. The County Engineering Department has contracted with Rosso Site Development to complete the work. To deter people from stealing the copper from conduits in the unlocked pull boxes specified for the project, the contractor has submitted a change order to replace the pull boxes with lockable ones. The cost adjustment for this change is estimated at \$58,562.52.

B. Recommendation: Staff recommends that the Board approve a change order for locked electrical pull boxes for Cherry Road Streetscape for \$58,562.52.

BOARD MEETING

November 4, 2025

Staff Update on In-House & Private Redevelopment Projects

Special District Goals & Performance Measures (STARTED)

CRA staff will retool a draft strategic plan to reflect a new statutory requirement for special districts. FS 189.0694 now requires Florida special districts to establish “goals and objectives for each program or activity, as well as performance standards and measures to determine if goals and objectives are being achieved”. The first annual Goals & Performance Measures Report is due by December 1, 2025. This document will act as an annual strategic plan that will outline the specific tasks, timeline and budget required for redevelopment activities over the next year. It can also serve as a platform for the CRA to refine its vision and mission statement in a way that is current with its shifting priorities.

Streetlights Initiative + Westgate Safety Plan (IN PROCESS)

Updates: Mobilization for the installation of the streetlights began in June 2025 following delays in permitting.

The requested funding for Westgate safety initiatives from the County’s legislative appropriation was not authorized. The CRA will renew the request next legislative season. Staff continues to address issues around safety utilizing the Agency’s budget. A draft Safety Plan is in process.

The requested funds from the County’s 2024 legislative appropriation have been reduced from \$750,000 to \$250,000; the allocation from the State budget awaits the Governor’s signature. CRA staff continues to develop a Safety Plan for the district. The 1st permit to install FPL streetlights has been issued; the 2nd permit is in process. Conservatively, staff anticipates that the streetlights will be installed within the next 6 months.

Background: Staff has requested the installation of 280+ new streetlights within the North and South Westgate Estates neighborhoods of the CRA district from FPL. The streetlights initiative is in the final stage of permitting. FPL resubmitted in January to respond to Land Development comments. To supplement this effort, Staff is working with County Administration to secure a legislative appropriation of \$750,000. This funding would also be used to leverage CRA TIF in the creation of a Westgate Safety Plan. Planning for the development of a Safety Plan is underway.

WCRAO – Comp Plan/ULDC Amendments (IN PROCESS)

Updates (ULDC): The amendment was adopted on October 23rd !!

The Zoning Director is targeting the September 25th BCC hearing to request permission to advertise the WCRAO parking waiver and DBP revision. Zoning Commission is targeted for October 2nd, with BCC adoption on Oct. 23rd.

The Zoning Division is amending the ULDC on a priority scale, meaning when the revision is linked to an application it is more likely to move to an agenda. The language for the WCRAO parking waiver is complete, awaiting a project trigger. There is a related revision to the ULDC required with the change to the Density Bonus program.

Staff has withdrawn a request to amend the WCRAO Density Bonus Program workforce housing requirement to 20% across 4 income categories at 5% each, rather than across the 2 lower income

categories at 10% each. Even though this would create better balance in the delivery of workforce and market rate units, and the data indicates that there is a saturation of affordable housing in the area, Staff feels that there will not be support for this amendment from Administration or the BCC given the County's current focus on provision of affordable and workforce housing. A revision to add the ability to request a Type 1 administrative waiver reduction of up to 15% from WCRAO parking standards for residential and mixed-use projects is still underway, along with a concurrent ULDC revision related to the Comp Plan amendment.

Zoning Management has reviewed the amendment draft provided in October 2023, and has provided general direction to rework the document. A path has been provided to revise WCRAO parking provisions. Staff has been working with Schmidt Nichols on developing a parking code that would reduce the demand for residential by unit type.

Staff submitted a revised amendment draft to Zoning in early October 2023. Concurrently, Staff is exploring the concept of merging the WCRAO with the URAO toward a Redevelopment Code for the County.

Staff met with Vice-Mayor Weiss, assistant County administrators, and PZB staff on October 26th to discuss ways in which the WCRAO may be streamlined to be made more efficient and flexible to use, while remaining true to intent. A path forward includes a Comprehensive Plan amendment to be initiated early in the new year to better define policies for open space and land development, followed by amendments to the WCRAO/ULDC. Staff will also propose increases to the Density Bonus Program pool of units as well as explore options to add more daily and pm peak trips to the TCEA pool. Staff is re-tooling to address the Mayor's concerns.

Background: CRA staff submitted a request letter for amendments to the CRA's zoning overlay in early December 2021 with the optic of adoption by the BCC at the end of 2022. The Zoning Division is under new directorship, and the two-round policy for UDLC amendments is replaced by a prioritization scale. The CRA will work with County Code Revision staff and County departments to develop amendment language for Board review in the coming months. Staff will utilize one of its continuing planning consultants to assist.

Updates (Comp Plan): The text amendment was transmitted by the BCC on November 5th! Adoption is scheduled for February 2026.

The text amendment is on the Nov. 5th, 2025 BCC agenda for transmittal. CRA staff have completed a revised justification that includes mobility and traffic strategies to be implemented over the short, mid, and long term to support a 20-year build out. Staff will present this mobility plan framework and strategies to the Board on Sept. 15th. KH has completed a Traffic Impact Analysis for the projection which utilized internal trip capture, and considered a 'redevelopment trip credit' for sites that are susceptible to conversion from commercial, retail, industrial or office to residential. These adjustments reduce traffic impacts over time. Planning for an October 2025 community meeting for input on mobility strategies is underway.

By mutual agreement, Planning and CRA staff agreed to postpone BCC initiation of the text amendment until the November 5th BCC hearing. Staff and Kimley-Horn are making progress on a traffic analysis that will support the density build out, and mitigation strategies that will alleviate County concerns. The original 3,000-unit request still holds. CRA Staff are working on a 'Westgate CRA Mobility Plan' draft framework.

Following the completion of a comprehensive traffic study by Kimley-Horn analyzing the impacts of an additional 3,000 units of density on local roadways and traffic, it was determined that further study is required that considers different scenarios for residential build out, and traffic mitigation measures. The item was postponed to August 2025 BCC transmittal. KH completed a less conservative traffic impact

analysis in July that credits traffic from existing uses (33% reduction) and includes a credit for internal trip capture (10% reduction). Through this model no links fail in the future as a result of additional residential density, but to grow responsibly, the CRA needs to create a traffic mitigation program. The item is tentatively moving forward in August.

Staff presented the Comp Plan text amendment to the Planning Commission on January 10, 2025 – transmittal of the initiative to the BCC was recommended. During BCC agenda briefings, County Administration expressed concern about the impact of increased residential density on surrounding roadway infrastructure. The item was postponed until the May BCC transmittal to allow CRA Staff time to prepare a comprehensive traffic study.

Tentative Amendments Timeline

Comp Plan (25-A2) Density Bonus Pool	Planning Commission Initiation – July 12, 2024	BCC Initiation Hearing – August 28, 2024	Staff reports – Dec. 2024	Planning Comm. Hearing – January 10, 2025	BCC Transmittal– Nov. 5, 2025	BCC Adoption Hearing – February 4, 2026
ULDC WCRAO Parking Reduction + related Density Bonus Pool revisions	BCC Request for Permission to Advertise – previously initiated	BCC Transmittal Hearing – August 28, 2024 – allows work on related Comp Plan revisions	BCC PTA – Sept. 25, 2025 – parking revision - approved	Zoning Comm.– October 3, 2025 – parking revision	BCC Adoption Hearing – October 23, 2025 – parking revision	

Staff is processing a Comprehensive Plan amendment to the text of the FLUE WCRAO sub-objective that would increase the number of units available in the Density Bonus Pool by 3,000 from 1,300 to 4,300. The amendment is triggered by redevelopment of the PBKC site which is anticipated to need at least 50% of the density bonus remaining in the program for their first phase of multifamily housing. An increase is necessary to support future redevelopment build out projections.

SFWMD Compensating Floodplain Storage Mitigation Bank (ONGOING)

Updates: It was estimated that there remained approx. 13-acre feet available in various retention areas in the CRA district that could be added to the mitigation bank. CRA staff engaged Higgins Engineering to continue with this effort. Higgins Eng. determined that there is no land currently owned by the CRA that could significantly contribute to the mitigation bank. A few County-owned parcels were identified. SFWMD has advised until the CRA has control of these parcels, and has a permit to excavate for retention, the mitigation bank will remain fully exhausted.

Staff is working with Reikenis & Associates, LLC Consulting Engineers to analyze the potential value of existing and future C-51 compensating flood plain storage credits that are banked with SFWMD. Quantifying and adding a valuation to the mitigation bank allows the CRA to better understand the dollar value of mitigation credits for redevelopment projects.

Higgins Engineering has advised that SFWMD has formally amended the original permit for the Westgate Central Lake. A total of 23-acre feet are assigned to the mitigation bank, lower than our original estimation.

The Board allocated 8-acre feet to the Greene Apartments (now Brandon Estates), and 6-acre feet to the Autumn Ridge apartments. In 2024, the remaining 9-acre feet from the mitigation bank were allocated to Phase 1 of the PBKC redevelopment project.

On June 30th SFWMD formally established a compensating storage bank for C-51 basin, sub-basin 39. This bank only includes the Westgate Central Lake aka Dennis Koehler Preserve. Available compensating storage volume available from the bank will expire in 2043. The Autumn Ridge project will utilize 9 acre-feet of storage from the mitigation bank. Approx. 12 acre-feet will be remaining for future redevelopment projects. Staff is considering developing a program for accessing credits from the bank.

Background: The CRA is working with Higgins Engineering and SFWMD to formalize a storm water storage mitigation/redevelopment credit program using the Dennis Koehler Preserve retention lake for redevelopment projects within a certain basin or sub-basin. Higgins Engineering estimates that approximately 28-acre feet could be available to redevelopment projects to offset storage requirements. Some of those acre feet have already been pledged to the Greene Apartments and Autumn Ridge projects.

[FY21 TCRPC Brownfields Site Assessment Grant \(IN PROCESS\)](#)

Updates: Stantec does not support the DEP's request for further testing beyond the boundaries of the site, and has advised that the CRA consult with an environmental attorney specialized in Brownfields cases. The Board approved a contract for Akerman LLC in September. Communication on the case has been initiated by Akerman.

Additional testing is required by the DEP to determine extent of background contamination in order to confirm historical uses are not responsible for elevated levels, and no remediation is needed. TCRPC cannot provide additional funding. Staff will work with County DHED to assist.

Florida DEP has reviewed Stantec's ESA report and has provided comments; Stantec is preparing a response. If Stantec advises that additional testing is required by the State to determine the extent of contamination, and necessary clean-up, TCRPC has funding available to assist. The next step would be to determine the best path for remediation.

Cardno (now Stantec) has completed testing. Results indicate levels of contamination on site that are in excess of allowable State limits. Staff will be meeting with Stantec and TCRPC to discuss next steps.

Cardno has identified that contamination is most concentrated in the northeast corner of the Chickamauga site with no groundwater affected, however further assessment is warranted to determine the spread and depth of contamination in order to recommend the best path for remediation. Using a new round of funding through TCRPC, a specific assessment will be completed by Cardno. Next steps include: specific testing, a meeting with the DEP to understand the scope of clean up, and a determination of funding sources for excavation/clean up (TCRPC or PBC DHED).

Cardno has completed supplementary soils testing and is preparing a final report for CRA review and/or action. Results are targeted to be presented to the CRA Board at their September meeting. Testing indicates a high concentration of Benzo(a)pyrene (BaP) in the northwest corner of the property. Cardno will determine whether remedial action is warranted. Cardno conducted a Phase II assessment in early December. Findings indicate trace amounts of contamination (arsenic & BaP) in the soil; the groundwater is said to be clear. CRA Staff is pursuing a more thorough soils study through funding available through TCRPC prior to issuing an RFP. Phase I ESA findings indicate the need to conduct further assessment of the site to determine if historical adjacent uses have negatively impacted the site. The CRA was approved by the TCRPC for a Phase I Environmental Assessment on September 9, 2021. Brownfields environmental

consultants Cardno, completed the Phase I assessment in mid-October 2021.

On August 25, 2021, CRA staff submitted an application for funding from the TCRPC (Treasure Coast Regional Planning Council) Brownfields Program for a Phase I Environmental Assessment for the Chickamauga redevelopment site. Due to historic auto salvage and a dry-cleaning use on Okeechobee on the site now occupied by Cumberland Farms, there is a likelihood that the site has some degree of contamination. The grant would fund a Phase I assessment, and a possible Phase II assessment depending upon initial findings. Any remediation timelines and cost to be determined. State funding is possible.

Background: The Chickamauga site consists of 3 parcels, one containing an occupied single-family dwelling, purchased by the CRA in December 2019 for \$550,000. The site is located directly south of Spencer Square facing the Dennis Koehler Preserve to the south. The site is earmarked for the CRA for mixed use or high-density residential redevelopment. CRA staff anticipates issuing an RFP in FY26.

Community Garden/Greenmarket (ONGOING)

The Farm Manager has received a grant for \$10,000 in funding from the annual PBC OCR Community Project grant program. The funding would assist the Farm with planning of fruit trees on CRA owned land on Oswego Ave.

CRA staff is planning for the construction of a permanent structure. Staff applied for a USDA Urban Agriculture grant in 21/22 to assist with the construction of the structure and to facilitate enhanced programming at the farm, but was not awarded the grant. CRA staff is looking at the viability of re-applying in another fiscal year.

PBC Transportation Planning Agency (TPA) Transportation Alternatives Program (TAP) & Local Initiatives (LI) Grants

FY20 Cherry Road Pedestrian & Safety Improvements (CONSTRUCTION MOBILIZED)

Updates: Sidewalks are completed, and streetlights are being installed. Construction completion is targeted for January/February 2026.

Rosso mobilized construction in March 2025. Sidewalks are progressing on south and north sides of road. The ILA between the CRA and the County has been approved by the BCC. An RFP has been issued to select the contractor. The contractor was in 2024 selected, and the BCC has approved the construction contract.

Design has been completed. Design engineers had identified field conditions that will make the installation of 10-12 ft. wide multi-purpose paths on the north side of Cherry Rd. impossible within the existing ROW. Several options have been discussed with PBC Engineering and the TPA, with the best option being reducing the multi-purpose paths to 8 ft. Engineering is awaiting approval from FDOT on the new cross section prior to design resuming.

PBC Engineering has expressed concerns regarding crosswalks on the approved cross section that requires resolution for the project to move forward on the TPA grant timeline.

The Cherry Road project received approval for funding by the TPA Governing Board in July, 2020. The CRA engaged consultants, WGI to refine the Cherry Rd. improvements project for TPA TAP grant application submittal in the 2020 cycle. CRA Staff and WGI worked with Engineering on improving the proposed typical sections. The project proposes reduced travel lanes for traffic calming, new sidewalks on the south side of Cherry Rd east and west of the bridge to the intersection of Country Club Rd., a new 12' shared

multi-use path on the north side of the corridor, new crosswalks, pedestrian scale lighting, and shade trees where allowed. The total project cost is \$1.96 million. The grant reimburses \$1 million. The application was submitted to the TPA on February 28, 2020.

FY18 – Westgate Avenue Corridor Complete Streets (CONSTRUCTION SUBSTANTIALLY COMPLETED)

Updates: The project is not yet fully closed by County Engineering. CRA Staff are working on an RFQ for landscape maintenance with assistance from the Streetscape Division.

A Ribbon Cutting to celebrate the completion of the project took place on May 28, 2025. The County Deputy Administrator, BCC Commissioners Powell and Weiss, and representatives from FDOT, TPA, and Truist Bank were present. Project planning for the Westgate Avenue project we see today began in 2016 with a Florida DEO grant to prepare a Westgate Avenue Streetscape Plan, but the CRA has always envisioned a streetscape for Westgate Avenue through its Redevelopment Plan, and many conceptual designs over the years. The completion of the Westgate Avenue Streetscape is a major redevelopment milestone for the Agency, and the first of its kind in unincorporated PBC.

Construction of the streetscape project is substantially completed. Contractors are working on installing the remaining light fixtures, landscape re-install, and punch-list items. Once Rosso has fully closed-out construction on Westgate, they will move to begin construction on the Cherry Rd. A ribbon cutting is being planned by County Engineering for the Westgate project.

Construction on the Westgate Avenue project has moved to the south side; most driveways are completed. North side roadway milling to be completed by end October; sidewalks and landscaping by end of November. Milling on the south side and light fixture installation to occur in December. The project is projected to be completed by the beginning of the new year.

The Westgate Ave. streetscape is under construction, and ahead of schedule. Sidewalks, driveway connections, bollards, irrigation lines, and landscaping is in place on the north side of the corridor. Construction crews have moved to the south side, and are working on drainage.

Background: Staff engaged WGI to coordinate the preparation of travel demand forecast modelling to determine the impact of reducing Westgate Ave from 5 lanes to 3 lanes utilizing a road diet approach. WGI facilitated communication with PBC TPA and Engineering to determine the best design alternative, held a public input meeting, and drafted the final design for the project to be used to obtain funding. WGI met with the Engineering Department to present the lane elimination plan. County staff is in support of the lane reduction from Wabasso to Congress, but they are not in support of the elevated landscape median. An alternative design, which allows for 3 lanes (2 thru lanes and one center turn lane), bike lanes, and floating landscape islands on both sides of the ROW alternating with on street parking was presented to County Engineering for approval and support. With assistance from WGI, the LI grant application was submitted on March 2, 2018. CRA staff is working with County Engineering and Administration to design and administer all 3 of the TPA grant projects.

The TPA Governing Board voted to adopt the TPA List of Priority Projects for the LRTP FY 2020-2024 at their Sept. 20, 2018 meeting. Projects that met TPA and FDOT eligibility requirements were ranked by internal advisory boards, committees and TPA Staff to be forwarded to the Governing Board. The Westgate Avenue Complete Streets project was ranked #1 of 6 entries to receive Local Initiatives Program funding. This project has been moved up the timeline due to the inability of other funded projects to proceed. Design can start in July 2019 for FY 2019/20. Construction funding will be approved after the design is completed.

Private Redevelopment Projects: Below is list of private development projects that are in the entitlements or the permitting process:

Projects	Address	Status
Connections School—adult vocational/day care expansion	1310 Old Congress Ave.	<ul style="list-style-type: none"> ▪ WCRA recommendation 8/19/25 ▪ DRO approval for vocational institution/adult day care use ▪ Adding 150 students in adjacent building
Palm Beach Marketplace MUPD Expansion	1960 Okeechobee Blvd.	<ul style="list-style-type: none"> ▪ BCC approval 7/25 ▪ Adding 2.21 acres of land - rezoning, DOA, DRO approval for 14,521 sf of Type 1 restaurant use
PBKC PH 1– 42-acre redevelopment site	1111 N Congress Ave.	<ul style="list-style-type: none"> ▪ BCC approval 9/25/25 ▪ Rezoning to MUPD, PH1 405 units (325 DBP units)
Neighborlee Living Micro-units/Mixed-use	2818 Westgate Ave.	<ul style="list-style-type: none"> ▪ BCC approval 9/25/25 ▪ Rezoning, BCC approval of 50 du/ac of WCRAO bonus density on .66 acres (33 DBP units) – 240 sf microunits
Big Dreams Pre-School	1713 Quail Drive	<ul style="list-style-type: none"> ▪ WCRA recommendation 2/18/25 – BCC approved ▪ Existing day care use—EAC to add seats for infant care
Tallahassee MF	1302 Tallahassee Dr.	<ul style="list-style-type: none"> ▪ DRO approval 7/25 ▪ 7-unit multifamily project, WCRAO DBP units, Type 1 Waiver
PBKC – new relocated facility	1111 N. Congress Ave.	<ul style="list-style-type: none"> ▪ BCC approval Dec. 2024 ▪ WCRA recommendation 3/11/24 -- 60,286 sf facility + 4 level parking structure ▪ Rezoning, Class B Cond use (indoor entertainment), DRO for Type 2 restaurant, variances, waivers
NorWest Pointe	Westgate at Tallahassee	<ul style="list-style-type: none"> ▪ WCRA recommendation 8/12/24 ▪ DRO approval for additional density for a 9-unit MF rental project, Type 1 Waiver (rezoning approved)
Al Packer Fleet Services	1668 N Military Trail	<ul style="list-style-type: none"> ▪ Under construction ▪ Rezoning to CG, BCC approval for heavy vehicle repair & maintenance
PBC Fire Station #24	Westgate at Seminole	<ul style="list-style-type: none"> ▪ In permitting – 3/13/23 CRA Board meeting, BCC in August ▪ Rezoning to PO approved, in site design phase
Aero Village	1699-1705 N. Congress Ave	<ul style="list-style-type: none"> ▪ Approved – 1/9/23 CRA Board meeting ▪ 4-stories, 38-unit market rate MF rental development
Westgate Terrace (Danza Group)	2636 Westgate Ave.	<ul style="list-style-type: none"> ▪ Project has zoning approvals – Danza Group is owner ▪ 4 stories, 44 units – professional office/medical office
The Hangar & Airfield Business Park	1050 N. Congress Ave. (former PBKC property)	<ul style="list-style-type: none"> ▪ Under construction – 2/14/22 CRA Board meeting ▪ 84,000 sf Building A – proposed manuf./distribution use ▪ 60,000+ sf of privately owned auto storage units with vehicle sales/repair, community space
EZ Express Carwash (Walmart MUPD)	1098 N. Military Trail	<ul style="list-style-type: none"> ▪ New contract purchaser: Mavis Tires ▪ DRO approval for a 6,000-sf light repair and maintenance
Seven at Cherokee	Cherokee Ave.	<ul style="list-style-type: none"> ▪ Under construction – DRO approval in March 2023 ▪ 7 townhome-style multifamily units on .46 ac – utilizing CRA density bonus units

**WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY
1280 N. CONGRESS AVE., SUITE 215, WEST PALM BEACH, FL. 33409
MINUTES OF THE MONTHLY MEETING**

October 06, 2025

I. CALL TO ORDER (IN-PERSON MEETING BROADCASTED ON ZOOM PLATFORM)

Mr. Daniels, the Board Chair, called the meeting to order at 5:05p.m. The roll was called by Ms. Bui.

Present: Ronald L. Daniels
Joanne Rufty
Juan Groves
Teliska Wolliston
Ruth Haggerty

Absent:

Staff Present: Elizée Michel, Executive Director
Denise Pennell, Director of Planning & Development
Mai Bui, Redevelopment Specialist/Administrative Assistant
Carmen Geraine, Bookkeeper
Thomas J. Baird, Esq., General Counsel

Absent:

Others Present:

Zoom Attendees:

II. AGENDA APPROVAL

1. Additions, Deletions, Substitutions to Agenda

- No Deletions, Substitutions to Agenda
- It was moved by Ms. Haggerty and seconded by Ms. Rufty to adopt the agenda as amended. Motion carried (5-0)

III. ADOPTION OF W/BH CRA MINUTES

- **It was moved by Ms. Haggerty and seconded by Ms. Wolliston to adopt September 15, 2025 minutes. Motion carried (5-0)**

IV. PUBLIC COMMENT

- PBSO Deputy Gomez gave a brief report to the Board about police activities in the Westgate CRA area for the previous month.

V. DISCLOSURES

- No Disclosures

VI. CONSENT AGENDA

- No Consent Agenda

VII. REGULAR AGENDA

1. Approval of Comprehensive Plan Future Land Use Text Amendment for Density Bonus Pool

Mr. Michel introduced the item to the Board.

The Westgate CRA Neighborhood Preservation Program was developed to encourage the preservation of the CRA's existing housing stock by assisting homeowners to make needed improvements to their homes. The program aims to support affordability, prevent property deterioration, preserve the character of the older neighborhood, and enhance homeowners' ability to access funds for home improvements.

The program intends to address repairs that have not been completed. Applicants are expected to have an approved application before commencing the work. Works started or completed before an application is approved were not intended to participate in the program. However, the application does not clearly state those facts. The program guidelines are being amended to clarify those requirements. Moreover, a clause is being added to the guidelines to allow the CRA's executive director to approve minor home repairs that fall within the program's intent but are not explicitly listed in the guidelines. Another change is to require at least two quotes instead of at least three.

Staff recommend that the Board approve the program guidelines as amended.

It was moved by Ms. Rufty and seconded by Ms. Haggerty to approve the program guidelines as amended. The motion passed unanimously (5-0)

2. Approval of Westgate CRA Overlay Revisions

Ms. Pennell introduced the item to the Board.

Revisions are being proposed to the Westgate CRA Overlay of the Unified Land Development Code (ULDC). These revisions affect Article 2. APPLICATION PROCESSES AND PROCEDURES and Article 3. OVERLAYS AND ZONING DISTRICTS.

The Density Bonus Program and Parking provisions are the two biggest items that will be modified in this amendment. Reference to the number of units allowable through the Overlay will be deleted. It is replaced with a reference to the Comprehensive Plan policy. Minor revisions have been made to the process to obtain density bonus units. For Parking, guest parking requirements have been reduced from 25% to 20%. Waiver processes, motorcycle, and scooter parking spaces have been incorporated in the regulations for additional parking reductions.

Redevelopment Loading Option is deleted. Developers can use the loading requirements of Article 6 of the ULDC, which are less restrictive than the Overlay's current requirements.

Staff recommend that the Board approve a ULDC amendment to revise the Westgate CRA Overlay to address density bonus units, parking, and loading option.

It was moved by Ms. Haggerty and seconded by Ms. Rufty to revise the Westgate CRA Overlay to address density bonus units, parking, and loading option. The motion passed unanimously (5-0)

3. Approval of Proposal for Legal Environmental Consulting Services for the Chickamauga Redevelopment Site

Mr. Michel introduced the item to the Board.

On December 7, 2023, Stantec Consulting Services, Inc. (Stantec) submitted a Site Assessment Report (SAR) for the subject property to the FDEP Southeast District Office (FDEP-SEDO) for review and comment. On May 1, 2024, and again on February 25, 2025, the FDEP-SEDO issued comments requesting that an additional assessment be performed despite supplemental information provided by Stantec supporting arguments that an additional assessment was not warranted.

Before conducting additional soil and groundwater assessment work at the subject property, Stantec suggests, based on their experience, that the CRA uses the services of an environmental

attorney to facilitate the successful resolution of all environmental concerns raised by the FDEP-SEDO.

The Akerman proposal includes negotiating with FDEP regarding the appropriate requirements under Chapter 62-780 to address the identified soil impacts. The scope of work will also include as Task 1, assisting Client with seeking FDEP approval to proceed with the planned redevelopment based upon the existing soil and groundwater data collected to date by Stantec, and seeking FDEP authorization to allow the Client to perform an interim source removal of limited hot spot soils located on the Property, and identified in the Stantec Site Assessment Report dated December 7, 2023.

Task 2 is presented as an option to assist with negotiating and executing a Brownfield Site Rehabilitation Agreement for the Property to support a potential application for Voluntary Cleanup Tax Credits for the planned soil removal activities.

Task 1 is estimated not to exceed \$14,500, and Task 2 is estimated to \$7,250.

Staff recommend that the Board authorize a contract with Akerman to assist the CRA with Task 1.

It was moved by Ms. Haggerty and seconded by Ms. Wolliston to authorize a contract with Akerman to assist the CRA with Task 1. The motion passed unanimously (5-0)

4. Approval of Change Orders for Westgate Avenue Streetscape

Mr. Michel introduced the item to the Board.

This change order is to replace wires that were stolen and replace all pull boxes with lockable ones. The price is estimated at \$211,559.74. There is enough funding in the contingency line item to cover these costs.

Staff recommend that the Board approve a change order for \$211,559.74 to replace stolen wires and pull boxes for the Westgate Avenue project.

It was moved by Ms. Rufty and seconded by Ms. Wolliston to bring the agenda back the following month. The motion passed unanimously (5-0)

VIII. STAFF REPORTS

Westgate CRA Budget 2025-2026 was approved at BCC on 09/30/2025.

Phase 1 of the Kennel Club was approved at BCC on 09/25/2025.

October 8, 2025, is National Walk, Bike & Roll Day. Staff and PBSO District 3 will be joining Westgate Elementary students and families.

October 10, 2025, BOO At The Park celebrating Hispanic Heritage month with a live cultural dance performance.

October 14, 2025, monthly Food Distribution

IX ATTORNEY’S REPORTS

X. BOARD MEMBER COMMENTS

XI. AJOURNMENT

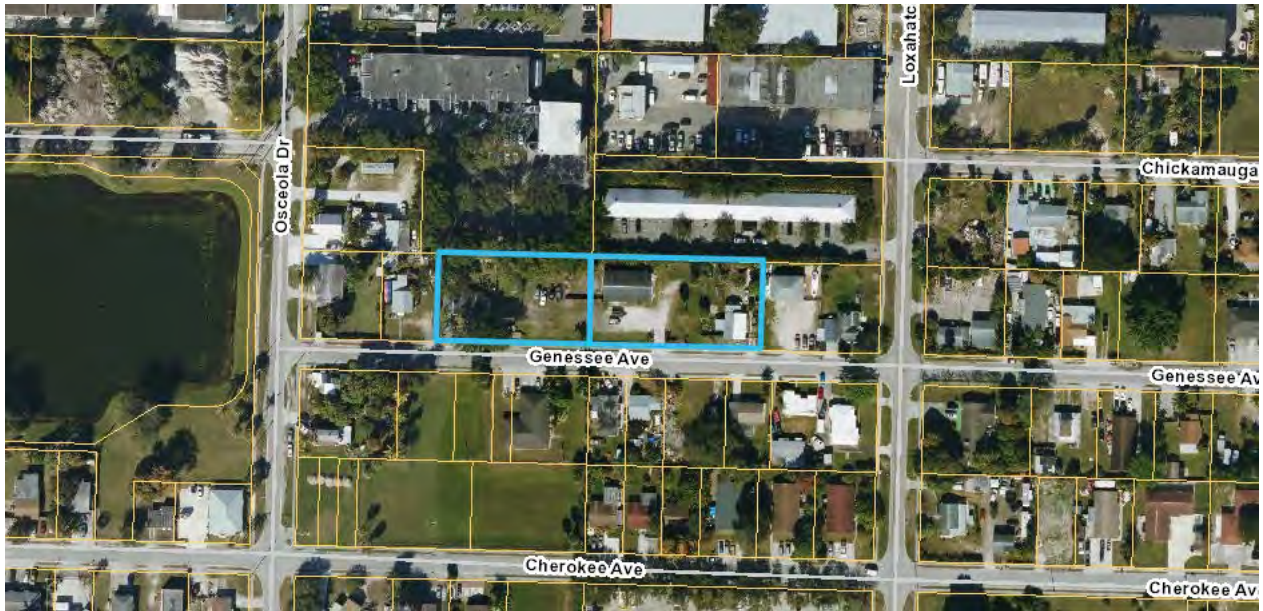
It was moved by Ms. Rufty and seconded by Ms. Wolliston to adjourn the meeting. The meeting was adjourned at 6:02p.m.

Mai Bui Redevelopment Specialist/Administrative Assistant

Westgate CRA Board Meeting
November 10, 2025

REGULAR AGENDA ITEM SUMMARY
Development Review for WCRA Recommendation
Genessee Townhomes

DRO Approval for Use & WCRAO Bonus Density
Type 1 Waiver for Incompatibility Landscape Buffers



Location Map

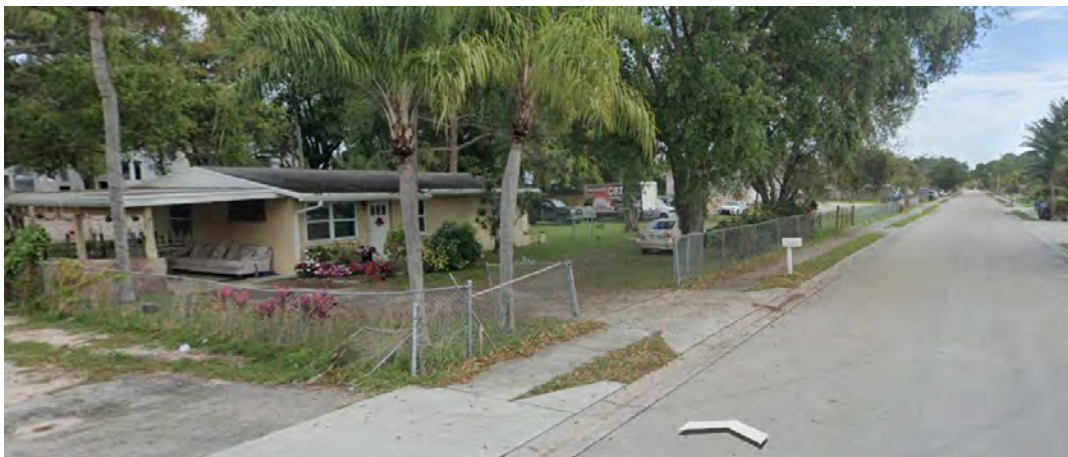
Site Background

The subject \pm 1.12-acre site is located midblock on Genessee Avenue between Osceola Drive and Loxahatchee Drive. The property is comprised of 2 parcels, and currently supports single family residential; one single family home at 2539 Genessee Ave., and one at 2515 Genessee Ave. (a 2,100-sf. detached garage was constructed in 1977)

The site is in the NG (Neighborhood General) Sub-area of the WCRAO. The County's Managed Growth Tier System classifies the WCRAO as within the U/S (Urban/Suburban) Tier, the RRIO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area) Study area, and in the Westgate CCRT area.

The site has a zoning classification of RH (Medium Density Residential), and Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre).

The project is generally compatible with existing development to the north and south. To the east and west of the subject site are single-family residences fronting Genessee Ave., both zoned RH, or Multifamily Residential. To the south is a 5-unit multifamily development, single family parcels and vacant sites, two of which are owned by the CRA. To the north are RM and CG zoned sites including a 10+-unit multifamily development, and a commercial building. All adjacent properties have a CH/8 FLU.



Existing Conditions – 2515 Genessee Avenue (top) & 2539 Genessee Ave. (bottom)

Proposed Development

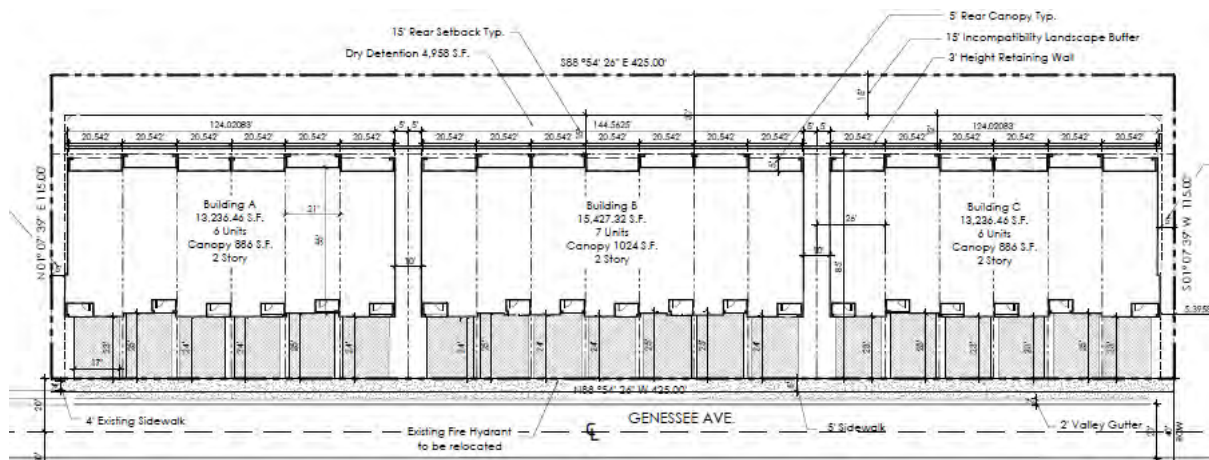
The applicant proposes to develop a 19-unit for-sale townhouse project in three buildings on 1.12 acres on Genessee Avenue. Each unit will support 3-bedrooms, 1.5-baths, will have a front-

loading garage, and will vary slightly in size with each unit on average 20.5 ft. in width – each unit is ~2,255 sf. The existing structures will be demolished to accommodate new construction. The site has a future land use classification of CH/8. A total of 8.96, or 9 units, are permitted by right through the base density. To achieve 19 units, the project may request the additional density need of 10 units through the WCRAO Density Bonus Program. Additional bonus density of 4.01 – 22 bonus units per acre requires DRO approval. The increase in density offered by the DBP pool will provide for an overall site density of almost 17 dwelling units per acre. The applicant is submitting applications for Zoning entitlements for the Townhouse use and WCRAO bonus density, along with an administrative Type 1 Waiver request for landscape buffer reductions.

Summary of Petition

The applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Development Review Officer (DRO) approval of ten (10) bonus density units from the WCRAO Density Bonus Program; and,
2. Approval of an administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the east and west incompatibility landscape buffers.



Preliminary Site Plan

Staff Analysis & Review

Consistency with the Westgate CRA Community Redevelopment Plan

The CRA's review considers appropriateness of use and consistency with the intent, goals, and vision of the CRA Redevelopment Plan. Staff must also contemplate projects in the

redevelopment district in a way that facilitates economic development, and investor interest, with a critical eye that considers how a project will impact the community over the long term. The multifamily project proposed for Genessee Avenue will enhance the character of the NG Sub-area through new construction on underutilized land, and bolstered density. WCRAO property development regulations were established to encourage a pedestrian friendly environment, street presence, and development that reinforces the smart growth principles of the CRA Redevelopment Plan and the County’s Comprehensive Plan. The project aligns with the purpose of the NG sub-area is intended to “encourage mixed-use development, including more intense commercial uses and Townhouse and Multifamily dwelling units.”

To facilitate future larger-scale redevelopment, well-designed “missing middle” developments can offer the NG Sub-area more dense housing alternatives along local roads in the transition area between Okeechobee Blvd (UH Sub-area) and Westgate Avenue (NC Sub-area). Missing middle building types, such as two and three-story townhouses, fourplexes, courtyard buildings, or live/work provide a diversity of housing options and support locally-serving retail and public transportation options. “Missing Middle Housing helps solve the mismatch between the available U.S. housing stock and shifting demographics combined with the growing demand for walkability”. (<https://missingmiddlehousing.com/>) Opticos Design describes this type of housing as missing because it is typically not seen in either urban areas, where higher density multifamily is prevalent, or sub-urban neighborhoods, where single-family dominates. The form and scale of “missing middle” housing differs in number of units and affordability, both in construction and end-user rents. The WCRAO Density Bonus Pool allows for missing middle housing to occur on smaller infill sites that otherwise would be restricted by site size and the underlying future land use. An increase of moderate to middle income households will have a very powerful economic impact on the District.

Compliance with WCRAO Density Bonus Program Criteria

The Future Land Use Element of the Comprehensive Plan sets aside 1,300 bonus density units for the Westgate CRA area. In the NG Sub-area, a maximum of 30 density bonus units per acre are available to individual projects. To date, 677 density bonus units have been allocated to multifamily and mixed-use projects throughout the District.

To qualify for WCRAO density bonus units, and receive a positive recommendation from the CRA, a number of criteria must be met:

1. The project facilitates the development of diverse, quality housing stock, that addresses a mix of income levels pursuant to the CRA’s Community Redevelopment Plan;



2. Meets WCRAO Sub-area use regulations and WCRAO PDRs for the use type;	✓																				
3. Provides a minimum of 5% of the project residential square footage as outdoor space for resident use. <ul style="list-style-type: none">▪ The WCRAO DBP 5% residential open space requirement has been achieved with individual unit rear patios for resident use. 5% of gross residential square footage is 2,095 sf; 2,796 sf has been provided.	✓																				
4. For projects with ten or more units, provides a minimum of 20 % of the total units in the project as on-site affordable and workforce housing units such that: <ul style="list-style-type: none">a) A minimum of ten percent, with no more than 40 percent of the total project units qualify at or below the Workforce Housing Program Low-Income Category; and a minimum of ten percent of the total project units qualify as Workforce Housing Moderate 1 Income Category▪ The project is a for-sale market rate Townhouse product. Four (4) units must be set aside as deed restricted; 2 in the Low-Income category, 2 in the Moderate 1 category <p>2025 PBC Median Family Income: \$111,800 (per HUD)</p> <p>WHP Sales Prices (homes cannot be sold at a higher price)</p> <table><tr><th colspan="3">WHP Income Category</th><th>2025 (WHP) Sales Prices</th></tr><tr><td>Low</td><td>60 - 80% of MFI</td><td>\$67,080 - \$89,440</td><td>\$234,780</td></tr><tr><td>Moderate 1</td><td>>80 -100% of MFI</td><td>>\$89,440 - \$111,800</td><td>\$301,860</td></tr><tr><td>Moderate 2</td><td>>100 -120% of MFI</td><td>>\$111,800 - \$134,160</td><td>\$368,940</td></tr><tr><td>Middle</td><td>>120 -140% of MFI</td><td>>\$134,160 - \$156,520</td><td>\$436,020*</td></tr></table>	WHP Income Category			2025 (WHP) Sales Prices	Low	60 - 80% of MFI	\$67,080 - \$89,440	\$234,780	Moderate 1	>80 -100% of MFI	>\$89,440 - \$111,800	\$301,860	Moderate 2	>100 -120% of MFI	>\$111,800 - \$134,160	\$368,940	Middle	>120 -140% of MFI	>\$134,160 - \$156,520	\$436,020*	✓
WHP Income Category			2025 (WHP) Sales Prices																		
Low	60 - 80% of MFI	\$67,080 - \$89,440	\$234,780																		
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Middle	>120 -140% of MFI	>\$134,160 - \$156,520	\$436,020*																		

Consistency with WCRAO PDRs & Supplementary Standards

Buildable land and site layout is constrained due to the size of the site, the number of units proposed, and other site requirements. WCRAO Residential PDRs for Townhomes require sites to be designed with the principal structure placed 10-25 ft. from the front property line, and a 60% building frontage. Building placement standards are intended to provide projects with good massing and street presence. The site width is 425 ft. by 115 ft. (½ of the block depth). Buildings A & C are 124 ft. in width; Building B is proposed to be 144 ft. in width. Building frontage is proposed at 395 ft., a 93% building frontage. The site has a lot coverage of 49% where 80% is allowed for Townhomes in the WCRAO.

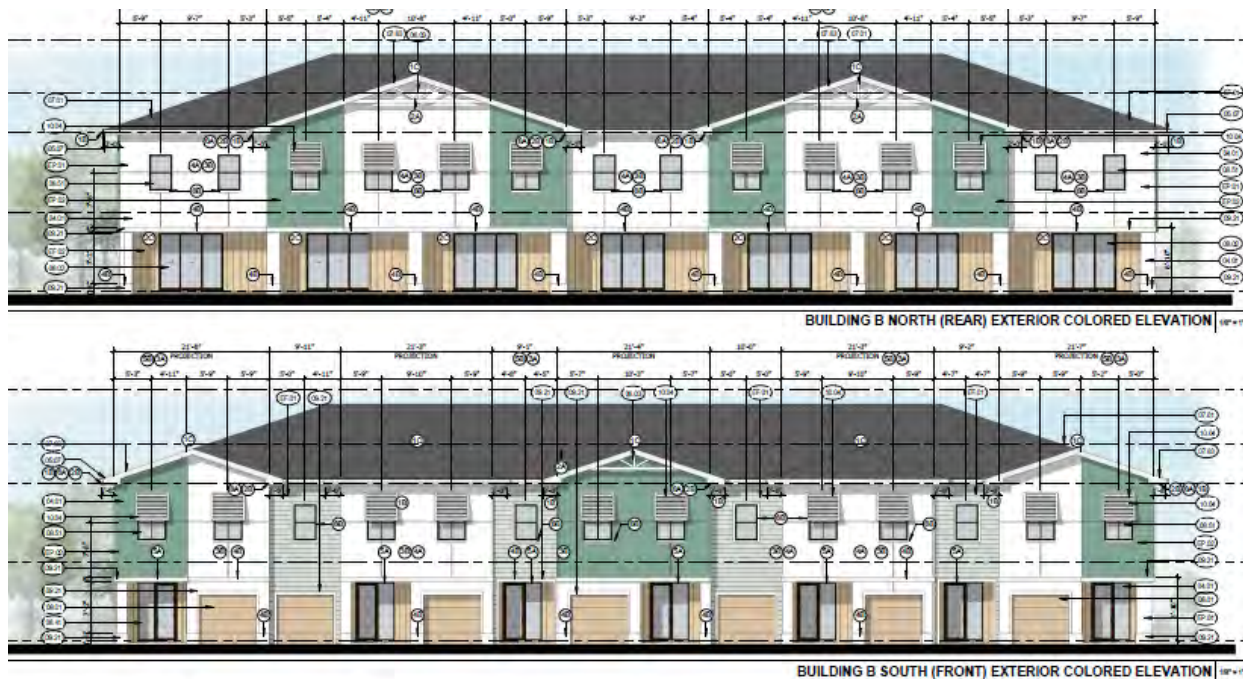
To accommodate driveways, and provide relief along the building façade, front setbacks range from 23 ft. to 25 ft. Side setbacks of 5 ft. are permitted on the end units of townhouse projects. The applicant has provided a 5 ft. setback on either side setback of the development, and 10 ft.

between Buildings A & B and between Buildings B & C. The rear setback must be a minimum of 7.5 ft.; 30+ ft. are provided. Individual unit entrances will be oriented to Genessee Ave. Each building is ± 55 ft. in depth. and ~ 28 ft. in height, where 3 stories is the maximum height allowed in the NG Sub-area. Each unit has a rear patio to meet the WCRAO requirement for 20% of all Townhomes shall have individual balconies or porches.

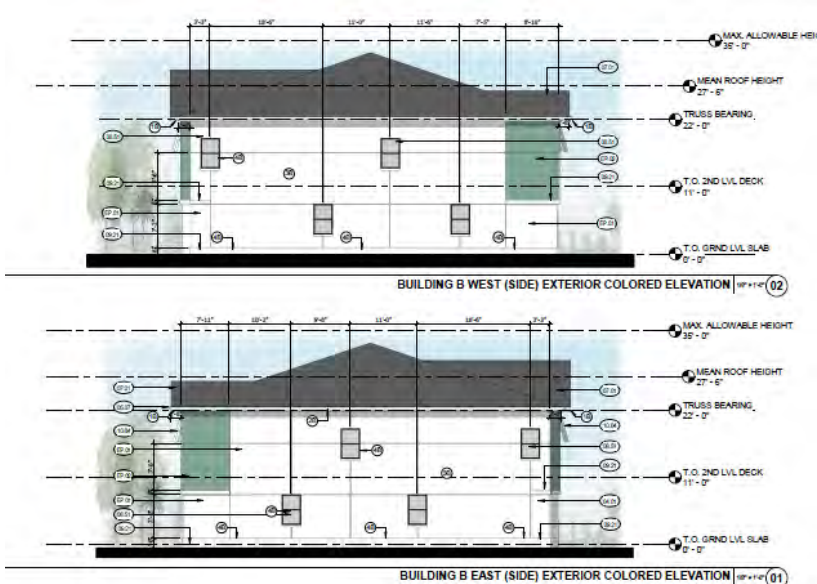
Landscape Provisions – Type 1 Waiver

WCRAO landscape deviations for the NG Sub-area allow for reduced ROW and incompatibility buffers for commercial and mixed-use projects, but that reduction is not currently applicable to a standalone residential use. However, WCRAO section 3.B.14.H.C.1A, Incentives for Density Bonus Pool Projects, allows an applicant to request to modify or reduce the landscape requirements in Art. 7 subject to a Type 1 Waiver process. This relief mechanism allows a project to move forward in the absence of supporting code and in lieu of a variance. Art. 7 incompatibility buffer standards require a 10 ft. wide buffer between detached single family and attached multifamily development. Only 5 ft. of landscape buffer overlapping the setback on each side of the development has been provided representing the Type 1 Waiver request. The applicant will utilize an Art. 5 option to cash out from the recreational open space required by the Parks and Recreation Department, so no dedicated open or recreation space is provided on site.

Architecture & Design



Building B North & South elevations – facing Genessee Avenue (front elevation at bottom)



Building B East & West Elevations

The applicant has provided architectural elevations and floor plans for the building design. The units have a compact interior layout with identical floor plans, including those for the end units. The architecture has a Key West aesthetic. The design incorporates a pitched gable roof, shutters, outriggers and stucco banding are complementary façade details. Building colors are proposed in alternating shades of green and neutral.

Traffic & Drainage Considerations

The required parking is located on individual driveways—2 spaces per driveway, plus the ability to park one vehicle in the front-loading garage. Access must be from Genessee Ave., since the site is mid-block, and there is no access available from the rear. WCRAO ratios for multifamily requires 2 parking spaces per unit for 2 bdrm. Units; no guest parking is required. 57 parking spaces have been provided. A traffic statement is underway for review. Traffic impacts will be minimal. If less than 21 pm peak hour, are anticipated, there is no impact to the TCEA trip pool.

The drainage statement submitted with the application states that, “The stormwater management system will consist of a network of inlets and culverts leading to a dry detention area in the rear of the proposed lots within a platted stormwater management tract. Legal Positive Outfall is available via a proposed outfall culvert discharging to the existing catch basin located within the valley gutter along the north side of Genessee Avenue which drains west to the Westgate CRA stormwater system.”

Staff Recommendation

The proposed use and site plan is consistent with the goals and objectives of the Westgate CRA Community Redevelopment Plan, and generally complies with the provisions and standards of the WCRAO zoning overlay. The project represents an investment in the community and will enhance the character of Genessee Avenue in the NG Sub-area through the redevelopment of underutilized land for much needed missing middle housing.

Staff supports a CRA Board recommendation of approval for the following application requests:

1. Development Review Officer (DRO) approval of ten (10) bonus density units from the WCRAO Density Bonus Program; and,
2. Approval of an administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the east and west incompatibility landscape buffers.



Palm Beach County Zoning Division
2300 N. Jog Road
West Palm Beach, Florida 33411
Phone: (561) 233-5200

2025 GENERAL APPLICATION - INSTRUCTIONS

All Zoning applications require submittal of this General Application and must be preceded with a Pre-Application Review (PAR) with issuance of a Referral Number and invoice for online submittal. Part 2 is not required for not required for Unity of Title or Release, Unity of Control or Release, Temporary Use, Temporary Sign, Reasonable Accommodation, or Special Permit. The Part 2 table below can be deleted for those applications. For Confirmation of Community Residence, use Form 132 in lieu of this General Application form. Email questions and request for Word version of this form to PZB-ZoningIntake@pbc.gov. See [GeoNav](#) for yellow items.

Part 1 – General Information			
Application Name	Genessee Townhomes	Date	11.03.25
Control No./Name	N/A	Control Acres	1.12 acres
Address or Location	The subject site(s) are located on the north side of Genessee Ave, approximately 0.1 miles south of Okeechobee Blvd.		
PCNs	00-43-43-30-03-017-0380; 00-43-43-30-03-017-0460		
Owner Name	Caled Hamed, Manager, Genessee Development LLC		
Agent/Applicant	Cameron Baker		
Email	cbaker@snlandplan.com	Phone	561.684.6141
A. Request Summary			
Application Summary	<p>The applicant respectfully requests your consideration of this application for a Development Review Officer (DRO) Use approval for the Genessee Townhomes project consisting of 19 multifamily dwelling units on 2 parcels equaling 1.12 acres of land.</p> <p>The applicant further requests a waiver from the incompatibility buffer width requirements along the east and west property lines to allow a 50% reduction, decreasing the required 10-foot buffer to 5 feet.</p>		
Zoning Requests	Development Review Officer (DRO) Application		
B. Subject Site Data			
Existing Uses	Residential Single Family		
Future Land Use	CH/8		
Zoning	RH		
Overlay*	WCRAO		
Acres – with additions/deletions	1.12-Acres		
Access	Access will be directed to individual lot driveways, all of which are located along Genessee Avenue.		
Development Order	N/A		
Code Violation	None		
Building Permits	N/A		

Part 2 – Detailed Information	
A. Prior and Concurrent Applications	
WHP/TDR	4 WHP units required: 2 in low income (60-80% of AMI) and 2 in Moderate 1 Income (>80-100% of AMI). WCRAO Density Pool will be used: 10 Units.
FLUA Amendment	N/A
Monitoring	N/A
Resolution & Conditions of Approval	N/A
B. Concurrency Determination Data	
Non-Residential Intensity	N/A
Residential Density Units	19 Total Units: Base density: $1.12 \times 8 = 9$ WCRAO Pool: 10 Units 4 WHP units required: 2 in low income (60-80% of AMI) and 2 in Moderate 1 Income (>80-100% of AMI).
Residents/Beds	N/A
Water	Existing connection to PBC Water Utilities.
Sewer	Existing connection to PBC Water Utilities.
Health Dept. Uses	N/A
Health Dept. Hazardous Material	N/A
C. Environmental Determination Data	
ERM Regulations	The subject site is not located within any Wellfield Protection Zones.
ERM Review of Native Vegetation	ERM Pre-Application meeting has been requested as of 10/21/2025. Pending Confirmation.

Part 3. Applicant Data	
A. Agent Information	
Identify the information for the agent processing the application. This will be the primary contact for the Division.	
Name(s)	Cameron Baker
Company Name	Schmidt Nichols
Address	1551 N. Flagler Dr., Suite 102
City, State, Zip	West Palm Beach, FL 33401
Phone / Fax Number	561.684.6141
Email Address	cbaker@snlandplan.com

B. Applicant Information	
Identify the information for each Property Owner and Contract Purchaser. Duplicate table as needed. Each Owner and each Applicant / Contract Purchaser must submit Attachment C & Attachment E.	
Name	Caled Hamed, Manager, Genessee Development LLC
Company Name	Genessee Development, LLC
Address	3797 S Military Trail
City, State, Zip	Lake Worth, FL 33463
Phone / Fax Number	Please contact agent
Email Address	Please contact agent
Interest	Property Owner
Name	
Company Name	
Address	
City, State, Zip	
Phone / Fax Number	
Email Address	
Interest	

Note: Refer to PZB Zoning Website for all ULDC Articles <http://www.pbcgov.com/uldc/index.htm>
referenced in this document and the Technical Manual for helpful information
<http://www.pbcgov.com/techmanual/index.htm>

October 23, 2025

Re: Genessee Townhomes: Drainage Statement

2539 & 2515 Genessee Avenue | Palm Beach County, Florida (MMA #25-042)

Site Description

The Old Military Townhomes site is comprised of two parcels totaling 1.12 acres on the south side of Genessee Avenue between Loxahatchee Drive and Osceola Drive in unincorporated Palm Beach County, Florida. It is bounded to the east and west by single family residential lots, to the south by Genessee Avenue (a PBC roadway) and to the north by an existing multifamily residential development. The site was previously developed as (2) single family homes with accessory buildings and parking/storage.

Site Drainage

The proposed project is within the South Florida Water Management District's (SFWMD) C-51 East Basin (SubBasin #29A) and consists of (3) residential townhome buildings, landscape buffers, and associated vehicular areas. The stormwater management system will consist of a network of inlets and culverts leading to a dry detention area in the rear of the proposed lots within a platted stormwater management tract. Legal Positive Outfall is available via a proposed outfall culvert discharging to the existing catch basin located within the valley gutter along the north side of Genessee Avenue which drains west to the Westgate CRA stormwater system. Stormwater management design will address the following criteria:

- Min. Lot Grade set at or above the 3 year - 1 day peak flood stages
- No offsite discharge up to the 25 year – 3 day flood stage except through an approved control structure
- Building Finished Floor Elevations set at or above the 100 year – 3 day (zero discharge) flood stage
- Water Quality Treatment in accordance with SFWMD and Palm Beach County (PBC) criteria
- Allowable discharge per the SFWMD C-51 Basin criteria
- Compensating Storage in accordance with C-51 East Basin criteria
- Water quality treatment and flood attenuation within proposed dry detention system prior to discharge to the adjacent PBC stormsewer system
- Legal Positive Outfall to the Genessee Avenue stormsewer system
- Drainage Permits will be obtained from SFWMD, LWDD, and Palm Beach County prior to construction
- The site is located within FEMA Flood Zone X, and is not within a FEMA Special Flood Hazard Area (SFHA)
- The subject parcels do not appear to accept runoff from adjacent properties as the subject site is previously developed and higher than the adjoining residential lots

If you have any questions regarding this application, feel free to contact me at 561.689.9500 or todd@mcleodmccarthy.com.

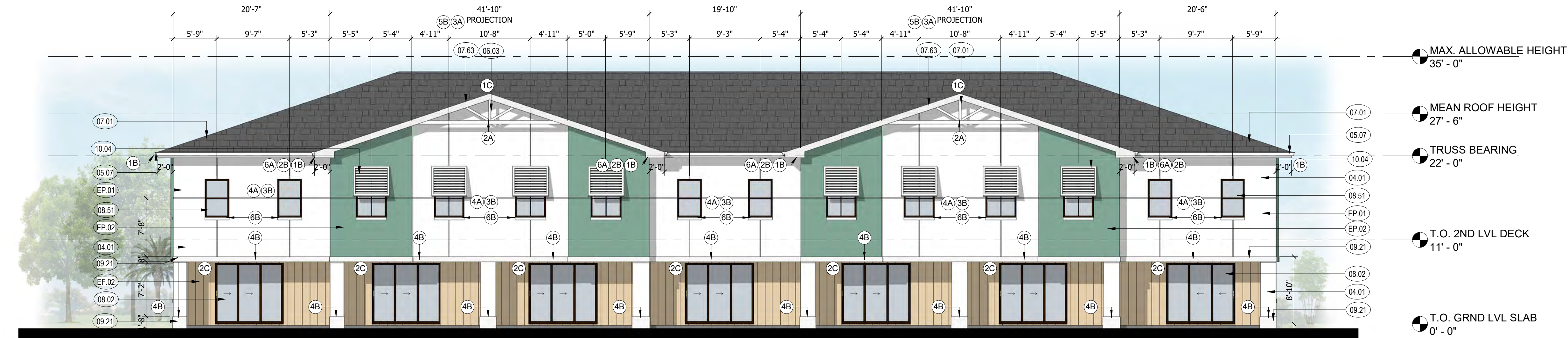
Sincerely,

10/23/2025

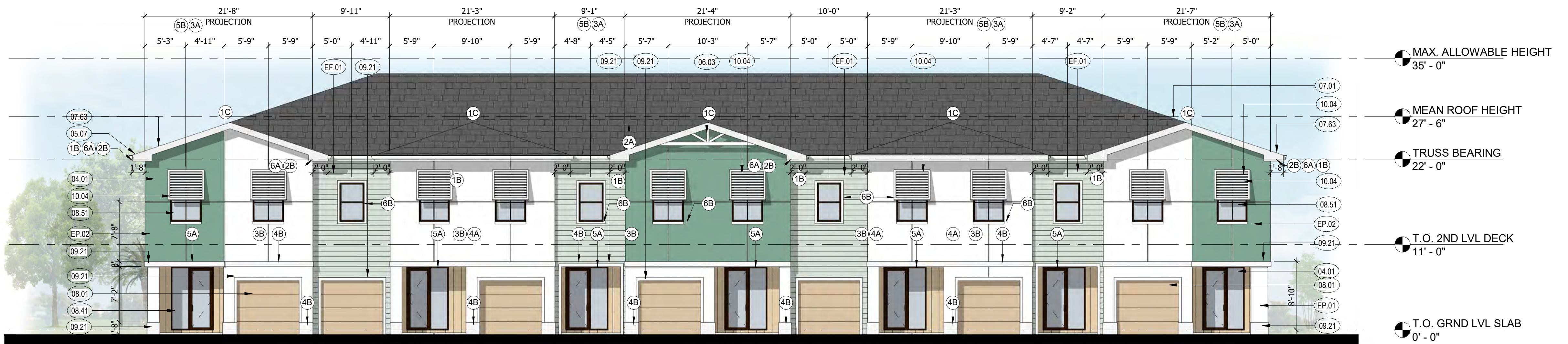
Todd N. McLeod, P.E., President

FL License No. 69188 | CA 30535

PALM BEACH COUNTY ULDC ARTICLE 5C REQUIREMENTS ARCHITECTURAL DESIGN STANDARDS CHART NON-RESIDENTIAL DEVELOPMENT BUILDING B							
	"MULTI-FAMILY"		FRONT NORTH ELEVATION	SIDE WEST ELEVATION	REAR SOUTH ELEVATION	SIDE EAST ELEVATION	
			TOTAL LENGTH = 144'-9"	TOTAL LENGTH = 62'-0"	TOTAL LENGTH = 144'-9"	TOTAL LENGTH = 62'-0"	
5.C.1.H.b ROOFLINE PRIMARY [ONE REQUIRED ELEMENT PER FACADE]	1	A	1B,1C PROVIDED PITCHED ROOF WITH 24" OVERHANGS AND 2 PLANE BREAKS.	1B PROVIDED PITCHED ROOF WITH 24" OVERHANGS	1B,1C PROVIDED PITCHED ROOF WITH 24" OVERHANGS AND 5 PLANE BREAKS.	1B PROVIDED PITCHED ROOF WITH 24" OVERHANGS	
		B					
		C					
5.C.1.H ROOFLINE SECONDARY [ONE REQUIRED ELEMENT PER FACADE]	2	A	2A, 2B, 2C CORNICES WITH DECORATIVE MOLDINGS. GABLE BRACKETS AND ARCHITECTURAL ENTRY FEATURE WITH FLOOR OVERHANGS AT ENTRIES	2B CORNICES WITH DECORATIVE MOLDINGS	2A, 2B, 2C CORNICES WITH DECORATIVE MOLDINGS. GABLE BRACKETS AND ARCHITECTURAL ENTRY FEATURE WITH FLOOR OVERHANGS AT ENTRIES	2B CORNICES WITH DECORATIVE MOLDINGS	
		B					
		C					
5.C.1.H.c.1 FACADE [ALL ELEMENTS ARE REQUIRED]	3	A	TOTAL RECESS / PROJECTIONS OF 83'-10" AT 58% OF LENGTH, 16" DEPTH	N/A NOT CONTIGUOUS TO A PUBLIC STREET OR RESIDENTIAL ZONING DISTRICT	TOTAL RECESS / PROJECTIONS OF 107'-3" AT 74% OF LENGTH, 16" DEPTH	N/A NOT CONTIGUOUS TO A PUBLIC STREET OR RESIDENTIAL ZONING DISTRICT	
		B					
		C					
5.C.1.H.c.2 FACADE [ONE ADDITIONAL ELEMENT REQUIRED]	4	A	48% OF SECONDARY TREATMENT, 100% OF FENESTRATION DETAIL OF HORIZONTAL BANDING ALONG 144'-9" LENGTH FACADE W/ 14 WINDOWS AND 7 SLIDING GLASS DOORS	PROVIDED 100% OF FENESTRATION DETAIL OF HORIZONTAL BANDING ALONG 62'-0" LENGTH FACADE AND 4 WINDOWS	75% OF SECONDARY TREATMENT, 100% OF FENESTRATION DETAIL OF HORIZONTAL BANDING ALONG 144'-9" LENGTH FACADE W/ 14 WINDOWS, 7 STOREFRONTS AND 7 GARAGE DOORS	PROVIDED 100% OF FENESTRATION DETAIL OF HORIZONTAL BANDING ALONG 62'-0" LENGTH FACADE AND 4 WINDOWS	
		B					
5.C.1.H.d PUBLIC ENTRIES PRIMARY ENTRY FEATURE [ONE REQUIRED ELEMENT PER FACADE]	5	A	5A,5B COVERED ENTRY PORTICO AND 16" WALL RECESS	N/A NO PUBLIC ACCESS	5A,5B COVERED ENTRY PORTICO AND 16" WALL RECESS	N/A NO PUBLIC ACCESS	
		B					
		C					
		D					
		E					
5.C.1.H.d PUBLIC ENTRIES SECONDARY ENTRY FEATURE [ONE REQUIRED ELEMENT PER FACADE]	6	A	6A,6B,6C,6E PROVIDED OVERHANGS, GABLE BRACKETS, COVERED ENTRY, WINDOW TRIMS AND BAHAMA SHUTTERS, MOLDINGS AND SIMULATED PLANK SIDING	N/A NO PUBLIC ACCESS	6A,6B,6C,6E PROVIDED OVERHANGS, GABLE BRACKETS, COVERED ENTRY, WINDOW TRIMS AND BAHAMA SHUTTERS, MOLDINGS AND SIMULATED PLANK SIDING	N/A NO PUBLIC ACCESS	
		B					
		C					
		D					
		E					
5.C.1.H.e COLOR	7	A	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART	
5.C.2.H.a MASTER ELEVATIONS	8	A	MASTER ELEVATIONS SHALL COMPLY WITH Art. 5.C.1.G VISUAL IMPACT ANALYSIS.	COMPLIES	COMPLIES	COMPLIES	
5.C.2.H.b BALCONIES AND PATIOS	9	B	INDIVIDUAL BALCONIES OR PATIOS PROVIDED MIN 20% OF THE TOTAL NUMBER OF UNITS EACH BUILDING.	COMPLIES	N/A, NO PUBLIC ACCESS	COMPLIES	N/A, NO PUBLIC ACCESS



BUILDING B NORTH (REAR) EXTERIOR COLORED ELEVATION 1/8" = 1'-0" (02)



BUILDING B SOUTH (FRONT) EXTERIOR COLORED ELEVATION 1/8" = 1'-0" (01)

GEN. EXT. ELEV. NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
- CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T.).
- ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
- ALL ROOF SLOPES SHALL BE PITCHED 4:12 UNO.
- VERIFY ALL EXT PAINT COLORS W/ OWNER PRIOR TO PURCHASE.
- STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- FINISHES, TRIM, DECORATIVE ELEMENTS ETC. SHALL WRAP ALL ELEVATIONS OF WALLS, COLUMNS ETC. WHEN ALL ELEVATIONS OF ARCHITECTURAL FEATURES ARE WHEN PROVIDED IN THE CONSTRUCTION DOCUMENTS.
- CIVIL ENGINEER TODD MCLEOD PROVIDED PRELIMINARY DRAINAGE CALCS TO THE DESIGN TEAM AND DETERMINED THAT FFE SHALL BE AS FOLLOWS:

BUILDING A: ARCH (0'-0") / CIVIL (15.10' NAVD)
BUILDING B: ARCH (0'-0") / CIVIL (15.10' NAVD)
BUILDING C: ARCH (0'-0") / CIVIL (15.10' NAVD)

GRAPHICS LEGEND

- INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR TERRACE
- C J 3/4" STUCCO CONTROL JOINT

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

No.	DESCRIPTION
04.01	REINF MASONRY WALLS W/ 5/8" PTD, TEXTURED STUCCO FIN W/ 3/4" VINYL HORIZ AND VERT REVEALS. REF TO STRUCT DWGS FOR FURTHER INFO.
05.07	6"x8" PREFIN ALUM K-STYLE GUTTER W/ 6"x6" PREFIN ALUM DOWNSPOUTS CONNECTED SWMS BELOW GRADE. RE CIVIL DWGS.
06.03	PTD 2'-0" OR 3'-0" HIGH DECORATIVE GABLE BRACKET ATTACHED TO FASCIA BD
07.01	ASPHALT SHINGLES OVER 3/4" EXT GRADE PLYWOOD OVER PRE-E WOOD ROOF TRUSSES W/ R38 BATT INSULATION.
07.63	METAL FASCIA
08.01	IMPACT-RATED SECTIONAL GARAGE DOOR ASSEMBLY AS SCHED.
08.02	IMPACT-RATED ALUM SLIDING GLASS DOOR ASSEMBLY AS SCHED.
08.41	IMPACT-RATED, PREFIN ALUM STOREFRONT DOOR AND WINDOW ASSEMBLY.
08.51	IMPACT-RATED, PREFIN ALUM SINGLE HUNG OR FIXED WINDOW AS SCHEDULED. PROVIDE 4" WIDE RAISED STUCCO BAND TRIM AND / OR MUNTIN PATTERN WHERE SHOWN.
09.21	8" PTD RAISED STUCCO BAND, OR PTD BASE FEATURE, OR 4" WIDE PTD TRIM AROUND FENESTRATIONS WHERE SHOWN. PROVIDE VINYL PROFILES.
10.04	PREFIN ALUM BAHAMA SHUTTER WITH CONT PIANO HINGE AT HEAD AND RIGID SUPPORT BRACKETS TIEING BACK TO BUILDING.

(7A) COLOR LEGEND

- EP.01 EXTERIOR PAINT
SHERWIN WILLIAMS SW 7004 SNOWBOUND EGGSHELL FIN
- EP.02 EXTERIOR PAINT
SHERWIN WILLIAMS SW 9042 VERDIGREEN
- EF.01 EXTERIOR MATERIAL
HARDIE PLANK LAP SIDING W/ 8" EXPOSURE OVER LIQUID APPLIED WATERPROOFING.
COLOR: SHERWIN WILLIAMS SW6210 WINDOW PANE
- EF.02 EXTERIOR MATERIAL
5/8" PTD STUCCO W/ 1/2" REVEALS 12" OC
COLOR: SHERWIN WILLIAMS SW6127 IVORIE
- EF.03 SHINGLE ROOF
OAKRIDGE - ONYX BLACK
- IMPACT RATED, PREFIN DARK BRONZE ALUM WINDOW SYSTEM W/ LAMINATED GLAZING AND GRAY TINTED GLASS

0 4'-0" 8'-0" 16'-0"

CLIENT

CATAYU GROUP
MANAGEMENT, INC.
3797 S Military Trail Lake Worth,
Florida 33463

ARCHITECT

DA
DITMAN
ARCHITECTURE
1358 WEST NEWPORT CENTER DRIVE
DEERFIELD BEACH, FL 33442
[O] 954.379.3015 AA26003648

BUILDER

CONSULTANT

PROJECT TITLE
GENESSEE
TOWNHOMES

PROJECT LOCATION
2515 & 2539 GENESSEE
AVENUE
WEST PALM BEACH,
FLORIDA 33409

PROFESSIONAL OF RECORD

STATE OF FLORIDA
CHANG M. DITMAN
AR99197
10/23/25
REGISTERED ARCHITECT
TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON THIS SHEET MEETS OR EXCEEDS APPLICABLE MINIMUM LIFE SAFETY AND BUILDING CODE REQUIREMENTS AS TO PROTECT THE LIFE, SAFETY AND WELFARE OF THE PUBLIC. COPYRIGHT ©

SUBMITTAL HISTORY

A WESTGATE CRA 10/27/25

PROJECT NUMBER
251440

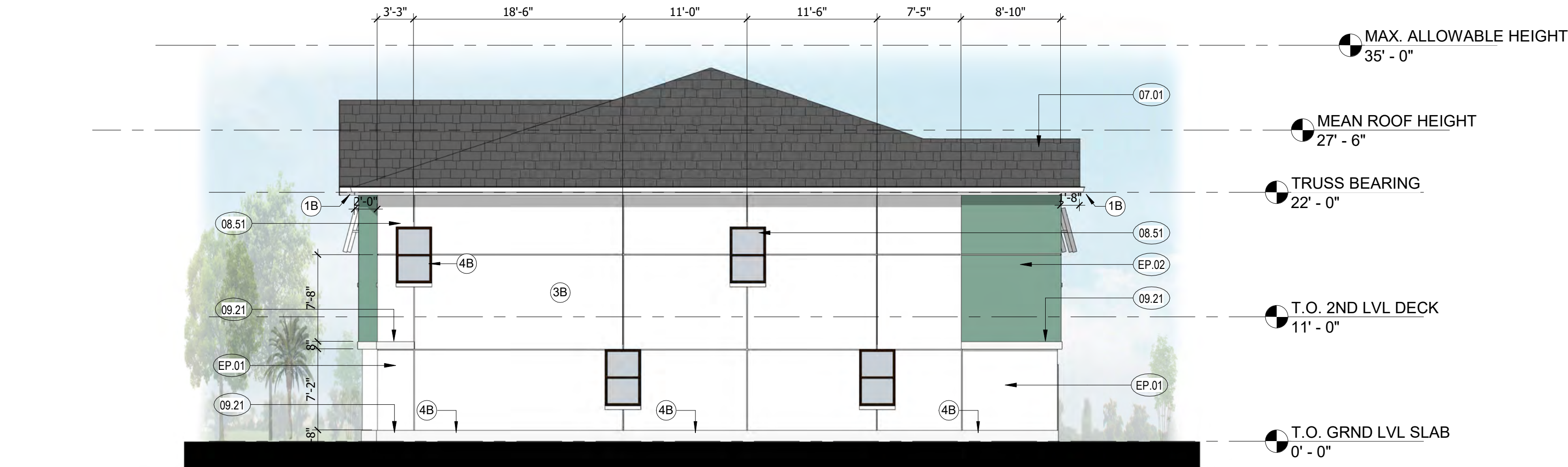
SHEET NAME
PRELIMINARY
COLORED
ELEVATIONS
BUILDING B

SHEET NUMBER

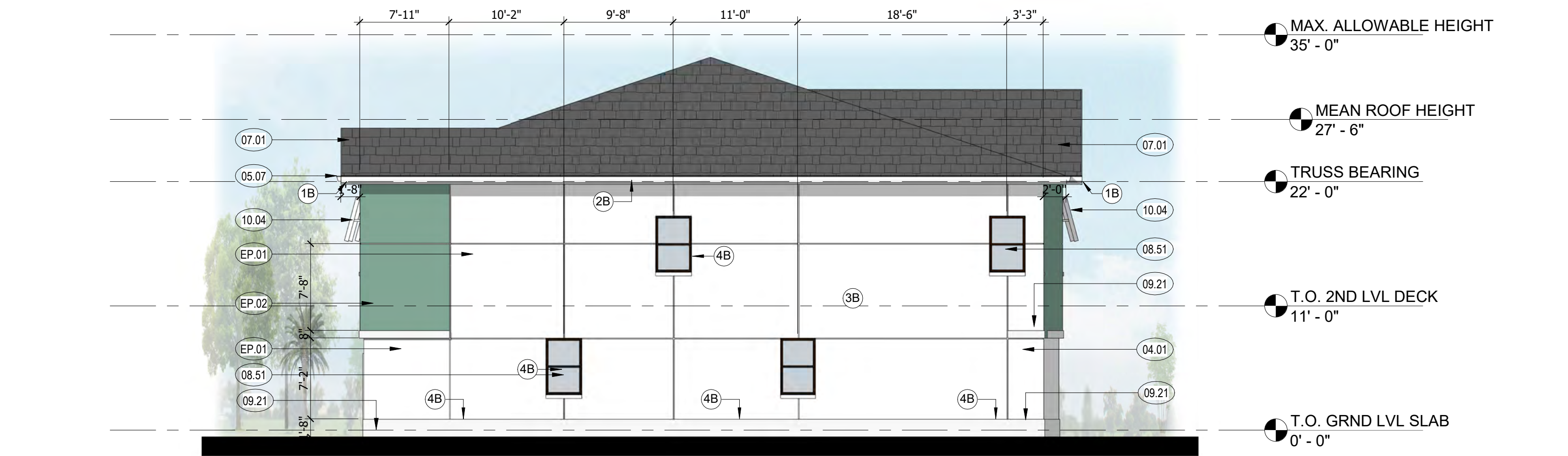
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DATE STAMP: 10/23/2025 5:08:17 PM

PALM BEACH COUNTY ULDC ARTICLE 5C REQUIREMENTS ARCHITECTURAL DESIGN STANDARDS CHART NON-RESIDENTIAL DEVELOPMENT BUILDING B						
		"MULTI-FAMILY"		FRONT NORTH ELEVATION	SIDE WEST ELEVATION	REAR SOUTH ELEVATION
				TOTAL LENGTH = 144'-9"	TOTAL LENGTH = 62'-0"	TOTAL LENGTH = 144'-9"
5.C.1.H.b ROOFLINE PRIMARY [ONE REQUIRED ELEMENT PER FACADE]	1	A	ARTICULATED PARAPET WALLS, 30% OF ROOF LINE WITH 100' MAX. SPACING BETWEEN ARTICULATION	1B,1C PROVIDED PITCHED ROOF WITH 24" OVERHANGS AND 2 PLANE BREAKS.	1B PROVIDED PITCHED ROOF WITH 24" OVERHANGS	1B,1C PROVIDED PITCHED ROOF WITH 24" OVERHANGS AND 5 PLANE BREAKS.
		B	PITCHED ROOF WITH 12" MIN. OVERHANGING EAVES			
		C	TWO OR MORE PLANE BREAKS / SLOPES PER FACADE			
5.C.1.H ROOFLINE SECONDARY [ONE REQUIRED ELEMENT PER FACADE]	2	A	DECORATIVE ROOF DETAILS [CUPOLAS, DORMERS, EXPOSED RAFTER TAILS, BALCONIES, ETC.]	2A, 2B, 2C CORNICES WITH DECORATIVE MOLDINGS. GABLE BRACKETS AND ARCHITECTURAL ENTRY FEATURE WITH FLOOR OVERHANGS AT ENTRIES	2B CORNICES WITH DECORATIVE MOLDINGS	2A, 2B, 2C CORNICES WITH DECORATIVE MOLDINGS. GABLE BRACKETS AND ARCHITECTURAL ENTRY FEATURE WITH FLOOR OVERHANGS AT ENTRIES
		B	CORNICES WITH DECORATIVE MOLDINGS			
		C	PEDIMENTS, PORTICOS, ARCHITECTURAL FEATURES AT ENTRYWAYS, OR DECORATIVE TOWERS			
5.C.1.H.c.1 FACADE [ALL ELEMENTS ARE REQUIRED]	3	A	RECESSES/PROJECTIONS: FACADES >50' SHALL PROVIDE RECESS/PROJECTION A MIN. OF 20% OF TOTAL LENGTH OF FACADE, MAX. 100' BETWEEN RECESSES/PROJECTIONS, DEPTH MIN. 12"	TOTAL RECESS / PROJECTIONS OF 83'-10" AT 58% OF LENGTH, 16" DEPTH COMPLIES	N/A NOT CONTIGUOUS TO A PUBLIC STREET OR RESIDENTIAL ZONING DISTRICT COMPLIES	TOTAL RECESS / PROJECTIONS OF 107'-3" AT 74% OF LENGTH, 16" DEPTH COMPLIES
		B	WALLS: NO BLANK WALLS EXCEEDING 10'W x 20'L, PATTERNS TO BE 10' O.C.			
		C	STOREFRONTS: DISPLAY WINDOWS ALONG 20% OF FACADE LENGTH			
5.C.1.H.c.2 FACADE [ONE ADDITIONAL ELEMENT REQUIRED]	4	A	EXTERIOR TREATMENT: 80% MAX. PRIMARY, 20% MIN. SECONDARY TREATMENTS	48% OF SECONDARY TREATMENT, 100% OF FENESTRATION DETAIL, OF HORIZONTAL BANDING ALONG 144'-9" LENGTH FACADE W/ 14 WINDOWS AND 7 SLIDING GLASS DOORS	PROVIDED 100% OF FENESTRATION DETAIL OF HORIZONTAL BANDING ALONG 62'-0" LENGTH FACADE AND 4 WINDOWS	75% OF SECONDARY TREATMENT, 100% OF FENESTRATION DETAIL OF HORIZONTAL BANDING ALONG 144'-9" LENGTH FACADE W/ 14 WINDOWS, 7 STOREFRONTS AND 7 GARAGE DOORS
		B	FENESTRATION DETAILS: PROVIDED ALONG A MIN. OF 60% OF FACADE LENGTH			
5.C.1.H.d PUBLIC ENTRIES PRIMARY ENTRY FEATURE [ONE REQUIRED ELEMENT PER FACADE]	5	A	CANOPIES, PORTE-COCHERE OR PORTICOS	5A,5B COVERED ENTRY PORTICO AND 16" WALL RECESS	N/A NO PUBLIC ACCESS	5A,5B COVERED ENTRY PORTICO AND 16" WALL RECESS
		B	WALL RECESS OR PROJECTION [12" MIN. DEPTH]			
		C	COVERED ARCADES			
		D	PEAK ROOF FORMS			
		E	ARCHES, COLUMNS OR PILASTERS			
5.C.1.H.d PUBLIC ENTRIES SECONDARY ENTRY FEATURE [ONE REQUIRED ELEMENT PER FACADE]	6	A	OVERHANGS, CORNICES AND EAVES	6A,6B,6C,6E PROVIDED OVERHANGS, GABLE BRACKETS, COVERED ENTRY, WINDOW TRIMS AND BAHAMA SHUTTERS, MOLDINGS AND SIMULATED PLANK SIDING	N/A NO PUBLIC ACCESS	6A,6B,6C,6E PROVIDED OVERHANGS, GABLE BRACKETS, COVERED ENTRY, WINDOW TRIMS AND BAHAMA SHUTTERS, MOLDINGS AND SIMULATED PLANK SIDING
		B	DECORATIVE MOLDINGS OR TRIMS AROUND WINDOWS AND DOORS			
		C	COVERED PUBLIC OUTDOOR PATIO/PLAZA INCORPORATED WITH ENTRY AREA			
		D	SPECIAL PAVERS, BRICK, DECORATIVE CONCRETE, OR OTHER SIMILAR PAVEMENT TREATMENT			
		E	ARCHITECTURAL DETAILING [TILE WORK, MOLDINGS]			
5.C.1.H.e COLOR	7	A	COLOR SHALL BE CONSIDERED TO ACHIEVE ARCHITECTURAL COMPATIBILITY WITH ARCHITECTURE IN THE SURROUNDING AREA AND TO COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART	COLORS PROVIDE ARCHITECTURAL COMPATIBILITY AND COMPLIMENT STRUCTURES WITHIN THE DEVELOPMENT SEE PROVIDED COLOR AND MATERIAL CHART
5.C.2.H.a MASTER ELEVATIONS	8	A	MASTER ELEVATIONS SHALL COMPLY WITH Art. 5.C.1.G VISUAL IMPACT ANALYSIS.	COMPLIES	COMPLIES	COMPLIES
5.C.2.H.b BALCONIES AND PATIOS	9	B	INDIVIDUAL BALCONIES OR PATIOS PROVIDED MIN 20% OF THE TOTAL NUMBER OF UNITS EACH BUILDING.	COMPLIES	N/A, NO PUBLIC ACCESS	COMPLIES



BUILDING B WEST (SIDE) EXTERIOR COLORED ELEVATION | 1/8" = 1'-0" (02)



BUILDING B EAST (SIDE) EXTERIOR COLORED ELEVATION | 1/8" = 1'-0" (01)

GEN. EXT. ELEV. NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.

3. DO NOT SCALE DIMENSIONS FROM DRAWINGS, ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).

4. CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T).

5. ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.

6. ALL ROOF SLOPES SHALL BE PITCHED 4:12 UNO.

7. VERIFY ALL EXT PAINT COLORS W/ OWNER PRIOR TO PURCHASE.

8. STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

9. FINISHES, TRIM, DECORATIVE ELEMENTS ETC. SHALL WRAP ALL ELEVATIONS OF WALLS, COLUMNS ETC. WHEN ALL ELEVATIONS OF ARCHITECTURAL FEATURES ARE NOT PROVIDED IN THE CONSTRUCTION DOCUMENTS.

10. CIVIL ENGINEER TODD MCLEOD PROVIDED PRELIMINARY DRAINAGE CALCS TO THE DESIGN TEAM AND DETERMINED THAT FFE SHALL BE AS FOLLOWS:

BUILDING A: ARCH (0'-0") / CIVIL (15.10' NAVD)

BUILDING B: ARCH (0'-0") / CIVIL (15.10' NAVD)

BUILDING C: ARCH (0'-0") / CIVIL (15.10' NAVD)

GRAPHICS LEGEND

INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR TERRACE

3/4" STUCCO CONTROL JOINT

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

No.	DESCRIPTION
04.01	REINF MASONRY WALLS W/ 5/8" PTD. TEXTURED STUCCO FIN W/ 3/4" VINYL HORIZ AND VERT REVEALS. REF TO STRUCT DWGS FOR FURTHER INFO.
05.07	6"x8" PREFIN ALUM K-STYLE GUTTER W/ 6"x6" PREFIN ALUM DOWNSPOUTS CONNECTED SWMS BELOW GRADE. RE CIVIL DWGS.
07.01	ASPHALT SHINGLES OVER 3/4" EXT GRADE PLYWOOD OVER PRE-E WOOD ROOF TRUSSES W/ R38 BATT INSULATION.
08.51	IMPACT-RATED, PREFIN ALUM SINGLE HUNG OR FIXED WINDOW AS SCHEDULED. PROVIDE 4" WIDE RAISED STUCCO BAND TRIM AND / OR MUNTIN PATTERN WHERE SHOWN.
09.21	8" PTD RAISED STUCCO BAND, OR PTD BASE FEATURE, OR 4" WIDE PTD TRIM AROUND FENESTRATIONS WHERE SHOWN. PROVIDE VINYL PROFILES.
10.04	PREFIN ALUM BAHAMA SHUTTER WITH CONT PIANO HINGE AT HEAD AND RIGID SUPPORT BRACKETS TIEING BACK TO BUILDING.

7A COLOR LEGEND

EP.01 EXTERIOR PAINT
SHERWIN WILLIAMS SW 7004 SNOWBOUND EGGSHELL FIN

EP.02 EXTERIOR PAINT
SHERWIN WILLIAMS SW 9042 VERDIGREEN

EF.01 EXTERIOR MATERIAL
HARDIE PLANK LAP SIDING W/ 8" EXPOSURE OVER LIQUID APPLIED WATERPROOFING.
COLOR: SHERWIN WILLIAMS SW6210 WINDOW PANE

EF.02 EXTERIOR MATERIAL
5/8" PTD STUCCO W/ 1/2" REVEALS 12" OC
COLOR: SHERWIN WILLIAMS SW6127 IVOIRE

EF.03 SHINGLE ROOF
OAKRIDGE - ONYX BLACK

IMPACT RATED, PREFIN DARK BRONZE ALUM WINDOW SYSTEM W/ LAMINATED GLAZING AND GRAY TINTED GLASS

0 4'-0" 8'-0" 16'-0"

CLIENT

CATAYU GROUP
MANAGEMENT, INC.

3797 S Military Trail Lake Worth,
Florida 33463

ARCHITECT

DITMAN
ARCHITECTURE

1358 WEST NEWPORT CENTER DRIVE
DEERFIELD BEACH, FL 33442
[O] 954.379.3015 AA26003648

BUILDER

CONSULTANT

PROJECT TITLE

GENESSEE
TOWNHOMES

PROJECT LOCATION

2515 & 2539 GENESSEE
AVENUE
WEST PALM BEACH,
FLORIDA 33409

PROFESSIONAL OF RECORD

TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON THIS SHEET MEETS OR EXCEEDS APPLICABLE MINIMUM LIFE SAFETY AND BUILDING CODE REQUIREMENTS AS TO PROTECT THE LIFE, SAFETY AND WELFARE OF THE PUBLIC. COPYRIGHT ©

SUBMITTAL HISTORY

A WESTGATE CRA

10/27/25

PROJECT NUMBER

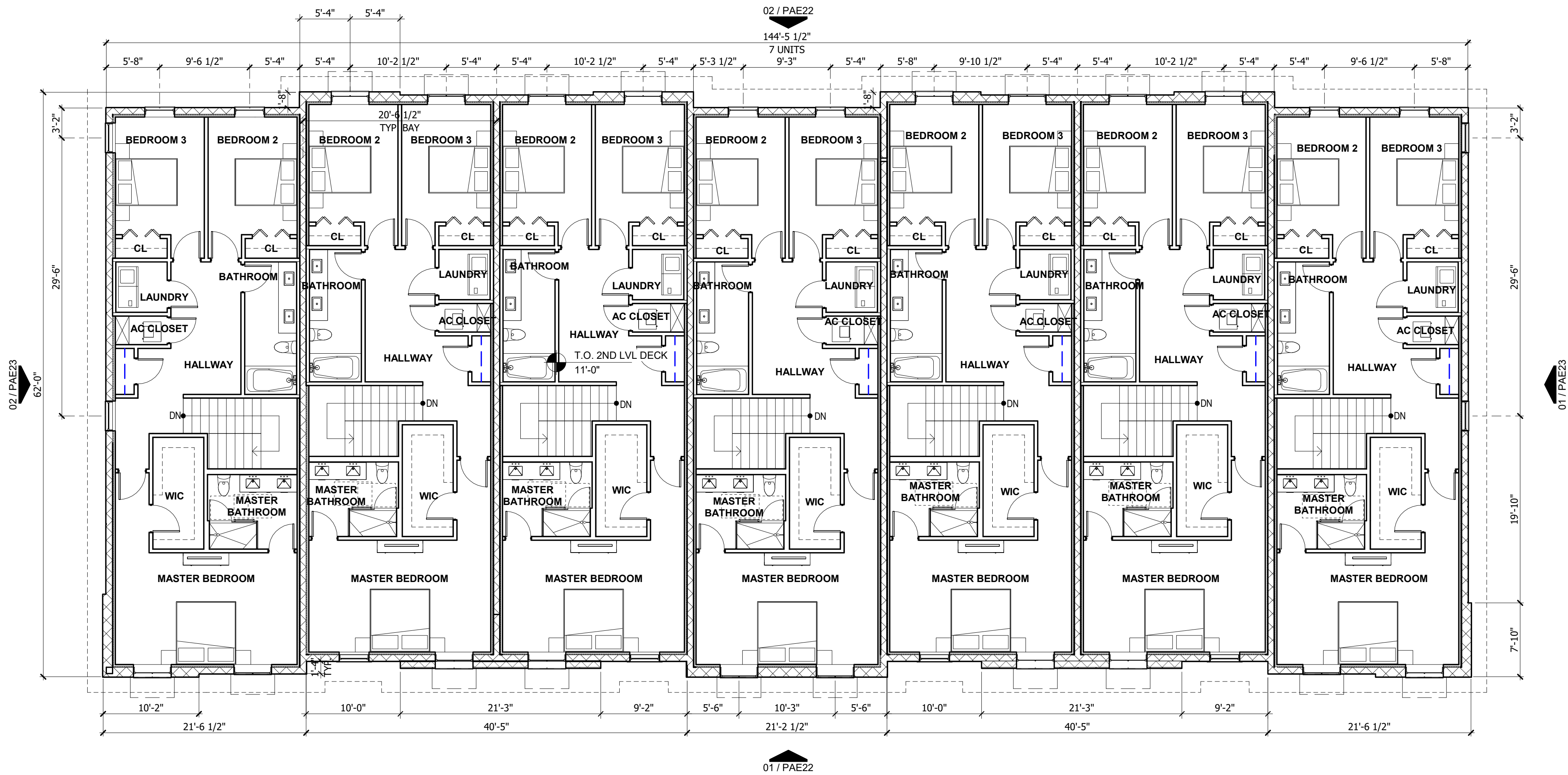
251440

SHEET NAME

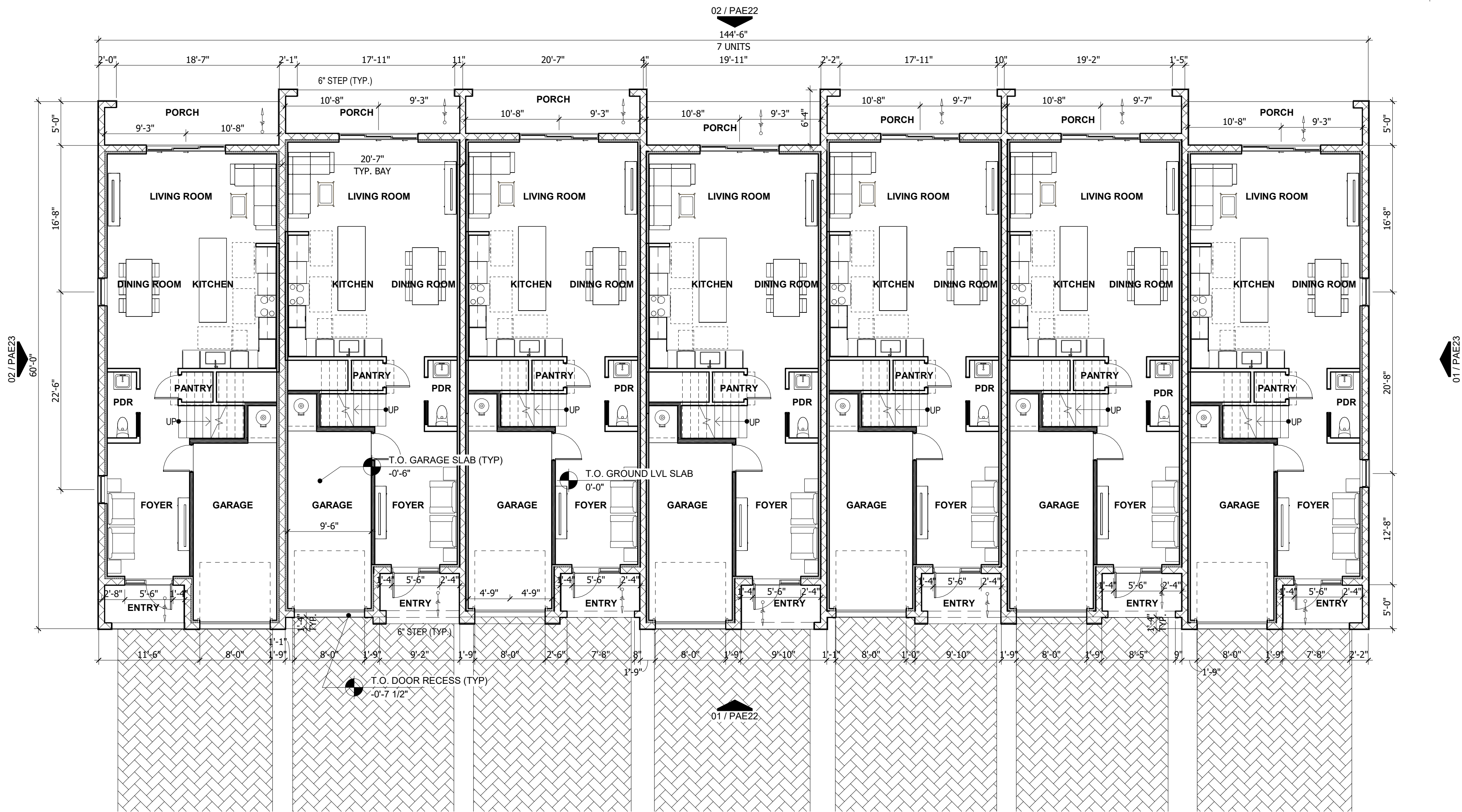
PRELIMINARY
COLORED
ELEVATIONS
BUILDING B

SHEET NUMBER

PAE21



BUILDING B SECOND LEVEL FLOOR PLAN 1/8" = 1'-0" 02



BUILDING B GROUND LEVEL FLOOR PLAN 1/8" = 1'-0" 01

UNIT EQUIPMENT/FIXTURE SCHED

EAH	AIR HANDLER UNIT / ELECT WATER HEATER
D	DRYER
DW	DISHWASHER
SINK	KITCHEN SINK WITH DISPOSAL
LAV	LAVATORY
REF	REFRIGERATOR
SHW	SHOWER
RANGE	RANGE
TUB	BATHTUB
W	WASHER
WID	STACKABLE WASH & DRYER

CLIENT

CATAYU GROUP
MANAGEMENT, INC.
3797 S Military Trail Lake Worth,
Florida 33463

ARCHITECT



DITMAN
ARCHITECTURE
1358 WEST NEWPORT CENTER DRIVE
DEERFIELD BEACH, FL 33442
(O) 954.379.3015 AA26003648

BUILDER

CONSULTANT

PROJECT TITLE
GENESSEE
TOWNHOMES

PROJECT LOCATION
2515 & 2539 GENESSEE
AVENUE
WEST PALM BEACH,
FLORIDA 33409

PROFESSIONAL OF RECORD



TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON
THIS SHEET MEETS OR EXCEEDS APPLICABLE MINIMUM LIFE
SAFETY AND BUILDING CODE REQUIREMENTS AS TO
PROTECT THE LIFE, SAFETY AND WELFARE OF THE PUBLIC.
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SUBMITTAL HISTORY

A WESTGATE CRA 10/27/25

PROJECT NUMBER
251440

SHEET NAME

PRELIMINARY FLOOR
PLANS - BUILDING B

SHEET NUMBER

PFP20



0 4'-0" 8'-0" 16'-0"

FILE NAME: R:\251440_Genessee\01_Drawings\Revit\251440_GENESSEE_SITE_ARCH_P24.rvt
DATE STAMP: 10/24/2025 1:50:58 PM



VIEW A



VIEW B



VIEW C



VIEW D



VIEW E



VIEW F



VIEW G



VIEW H



VIEW I



VIEW J



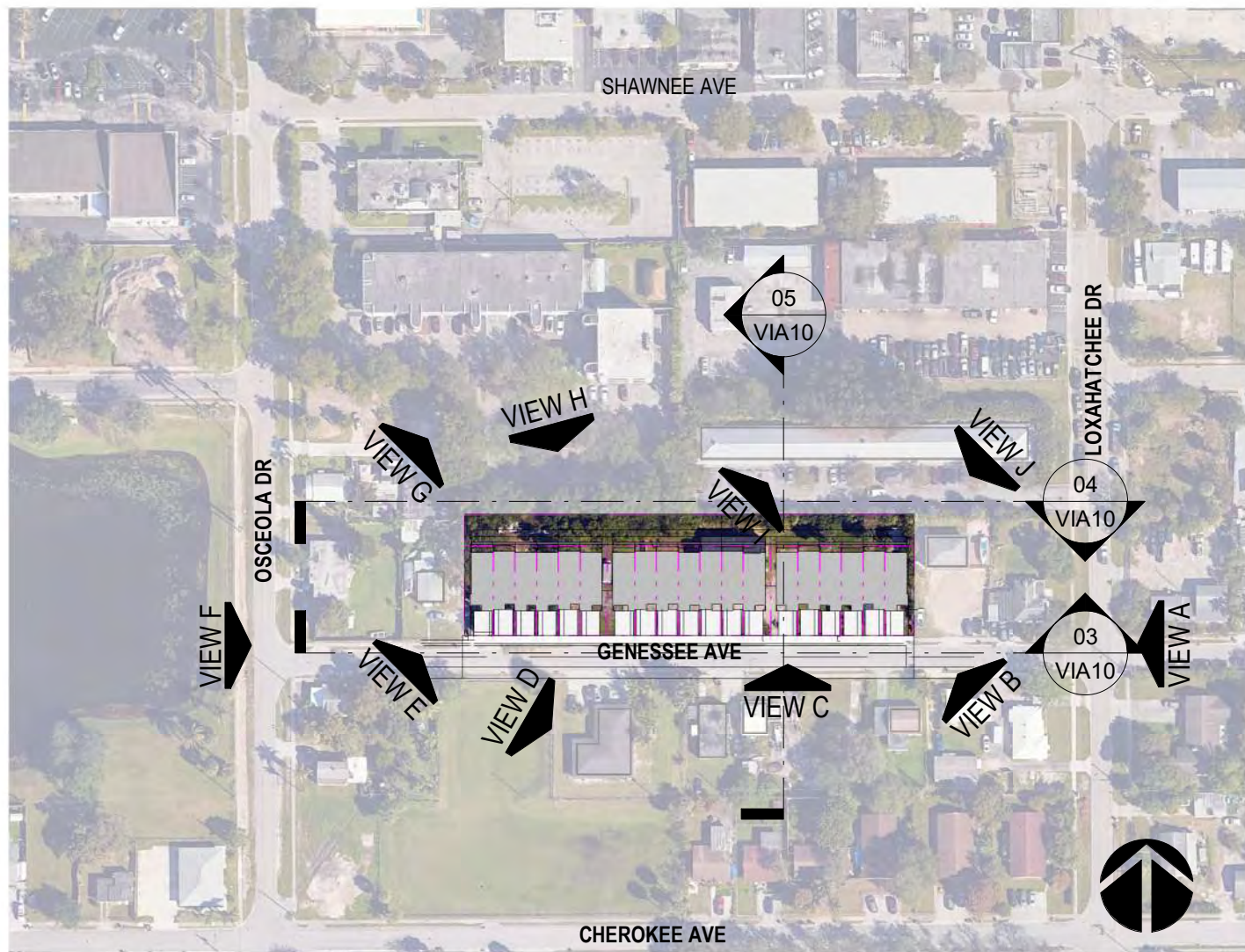
LINE OF SIGHT ANALYSIS (SECTION THROUGH GENESSEE AVE.) 1" = 30'-0" 05



LINE OF SIGHT ANALYSIS (VIEW FROM NORTH PARCEL) 1" = 30'-0" 04



LINE OF SIGHT ANALYSIS (VIEW FROM GENESSEE AVE) 1" = 30'-0" 03



KEY PLAN 1" = 160'-0" 02



ARCHITECTURAL SITE PLAN 1" = 300'-0" 01

PREVALENT THEME

THE STRATEGY BEHIND THE PROPOSED ARCHITECTURAL DESIGN AIMS TO INTEGRATE THE EXISTING BUILT ENVIRONMENT AND CREATE AN AESTHETICALLY PLEASING STRUCTURE BY INTRODUCING A VISUALLY ENGAGING AND FUNCTIONALLY ENHANCING STRUCTURE FOR BOTH FUTURE RESIDENTS AND THE SURROUNDING COMMUNITY. THE SITE'S STRATEGIC LOCATION OFFERS A DISTINCT OPPORTUNITY TO DELIVER ARCHITECTURE THAT IS BOTH STRIKING AND INVITING. ONE THAT CULTIVATES A SENSE OF COMFORT, PEACEFULNESS, AND COMMUNITY WHILE REMAINING SENSITIVE AND RESPONSIVE TO THE CONTEXTUAL CHARACTER OF THE AREA.

TO THE NORTH, THE SITE IS BORDERED BY A ROW OF LANDSCAPE AND ONE STORY APARTMENT BUILDING WITH A LOW PITCH ROOF. WHICH RUNS PARALLEL TO GENESSEE AVENUE. ALSO TO THE NORTH, THERE IS A PARKING LOT WITH ABUNDANT AMOUNT OF MATURE TREES THAT SERVE A 3 AND 2 STORY OFFICE BUILDINGS. THESE BUILDINGS EXHIBIT MOSTLY LIGHT COLORS, PREDOMINANTLY WHITE AND LIGHT GRAY.

TO THE WEST, THE SITE MEETS A ONE STORY SINGLE FAMILY HOME WITH A LOW PITCH GABLE ROOF WITH SIMILAR ARCHITECTURE TO THE HOMES ACROSS IN THE SOUTH AND EAST SIDE.

TO THE EAST, THE PROPERTY MEETS A ONE STORY STORAGE SPACE WITH A LOW PITCH HIP ROOF WITH MODEST ARCHITECTURAL TREATMENTS.

TO THE SOUTH, PROPERTY FRONTS GENESSEE AVENUE, WHICH IS A TWO LANE RESIDENTIAL ROAD. THE NEIGHBORHOOD ACROSS GENESSEE AVENUE IS PRIMARILY COMPRISED OF VACANT LOTS AND SINGLE-STORY RESIDENCES WITH LOW-PITCHED ROOFS AND EXTERIOR FINISHES IN A VARIETY OF COLORS. THESE HOMES INCORPORATE CONTEMPORARY DESIGN ELEMENTS INCLUDING CLEAN LINES, MINIMAL ORNAMENTATION, AND SIMPLE GEOMETRIES.

GIVEN THE BROAD RANGE OF ARCHITECTURAL STYLES SURROUNDING THE SITE AND THE LACK OF A CLEARLY DEFINED DESIGN THEME IN THE IMMEDIATE AREA, THE PROPOSED DEVELOPMENT OFFERS A WELCOME OPPORTUNITY TO INTRODUCE A COHESIVE AND CHARACTER-DRIVEN ARCHITECTURAL RESPONSE. BY THOUGHTFULLY BLENDING TRADITIONAL REGIONAL DESIGN ELEMENTS WITH CONTEMPORARY EXPRESSION, THE PROJECT AIMS TO UNIFY THE VARIED STYLES, MATERIALS, AND COLORS FOUND THROUGHOUT THE NEIGHBORHOOD. THIS APPROACH WILL ESTABLISH A HARMONIOUS AND DISTINCTIVE BUILT PRESENCE ALONG GENESSEE AVENUE AND LOXAHATCHEE ROAD — ONE THAT IS RESPECTFUL TO ITS SURROUNDINGS WHILE PROVIDING AN ELEVATED SENSE OF PLACE FOR FUTURE RESIDENTS AND THE COMMUNITY AT LARGE.

ARCHITECTURAL COMPLIANCE STATEMENT

THE PROPOSED ARCHITECTURAL DESIGN EMBRACES A CONTEMPORARY MODERN AESTHETIC, HARMONIZING SEAMLESSLY WITH THE SURROUNDING BUILT ENVIRONMENT BLENDING TRADITIONAL FLORIDA ARCHITECTURAL ELEMENTS WITH A MODERN TOUCH. THE DESIGN REFLECTS A THOUGHTFUL INTEGRATION OF REGIONAL CHARACTER AND CONTEMPORARY SENSIBILITIES. THE COMPOSITION IS INSPIRED BY TRADITIONAL FLORIDIAN ARCHITECTURE AND FEATURES CLEAN, RECTILINEAR LINES AND ASPHALT SHINGLE HIP ROOFS INSPIRED BY NEIGHBORING STRUCTURES RESULTING IN A BALANCED AND VISUALLY APPEALING FORM. THE ROOFLINE IS REFINED BY CONSTANT PITCH HEIGHT ADDING DEPTH AND INTEREST TO THE OVERALL MASSING.

ARCHITECTURAL FOCAL POINTS ARE STRATEGICALLY EMPHASIZED THROUGH VARIED FENESTRATION, INVITING ENTRYWAYS, AND A COMBINATION OF MATERIALS INCLUDING PLANK LAP SIDING, SCORED STUCCO, REVEALS, DECORATIVE ALUMINUM BAHAMA SHUTTERS, AND GABLE BRACKETS ENHANCING THE VISUAL TEXTURE ACCENTUATING THE UNIQUE CHARACTER OF THE FACADE. SUBTLE BANDS OF VARYING HEIGHT ARE FEATURED ON THE FRONT AND REAR ELEVATIONS AT FLOOR LINE AND AROUND WINDOWS, WHILE 3/4" SCORE LINES ARE SPECIFICALLY INCORPORATED INTO THE SIDE ELEVATIONS.

A SERENE, NEUTRAL COLOR PALETTE WITH GREEN EARTH TONE ACCENTS FURTHER ENHANCES THE BUILDING'S COHESIVE AND SOPHISTICATED APPEARANCE.

THIS PROJECT IS POISED TO BECOME A VALUABLE ADDITION TO THE COMMUNITY, ENHANCING THE SURROUNDING AREA WHILE FULLY COMPLYING WITH THE STRICT DESIGN GUIDELINES ESTABLISHED IN THE ULDC OF PALM BEACH COUNTY, FLORIDA.

CLIENT

CATAYU GROUP
MANAGEMENT, INC.
3797 S Military Trail Lake Worth,
Florida 33463

ARCHITECT

DITMAN
ARCHITECTURE
1358 WEST NEWPORT CENTER DRIVE
DEERFIELD BEACH, FL 33442
(O) 954.379.3015 AA26003648

BUILDER

CONSULTANT

PROJECT TITLE
GENESSEE
TOWNHOMES

PROJECT LOCATION
2515 & 2539 GENESSEE
AVENUE
WEST PALM BEACH,
FLORIDA 33409

PROFESSIONAL OF RECORD



TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON THIS SHEET MEETS OR EXCEEDS APPLICABLE MINIMUM LIFE SAFETY AND BUILDING CODE REQUIREMENTS AS TO PROTECT THE LIFE, SAFETY AND WELFARE OF THE PUBLIC. COPYRIGHT ©

SUBMITTAL HISTORY

A WESTGATE CRA 10/27/25

PROJECT NUMBER
251440

SHEET NAME

VISUAL IMPACT
ANALYSIS

SHEET NUMBER

VIA10

**Justification Statement
Genessee Townhomes
Palm Beach County, FL
Development Review Officer (DRO) Application
Type I Waiver Request
Original Submittal: 11.19.25**

Request

Schmidt Nichols (“Agent”), on behalf of Genessee Development, LLC (“Owner/Applicant”), respectfully requests your consideration of this Development Review Officer (DRO) Use approval for the Genessee Townhomes project consisting of 19 townhouse units as well as a Type 1 Waiver for a 50% reduction of the east and west landscape buffers achieved through Article 3.B.14.H.h – Incentives for Density Bonus Pool Projects.

The subject property consists of two parcels, totaling 1.12-acres located on the north side of Genessee Ave, approximately 0.1 miles south of Okeechobee Blvd (PCNs: 00-43-43-30-03-017-0380; 00-43-43-30-03-017-0460). The proposed site development consists of 41,900 s.f. of residential townhouse space, each unit being two stories high (27’6”) and contains a two-car driveway (site access) with a one car garage. Pedestrian access is facilitated via a 5’ sidewalk extending across the southern boundary of the property. The parcels facilitate the current use of Residential Single Family.

The applicant requests consideration of the following:

Request 1: Development Review Officer (DRO) Approval of the site plan consisting of 19 residential “for-sale” townhouse units within the Westgate Community Redevelopment Agency Overlay (WCRAO).

Request 2: Type I Waiver Request for the reduction of the eastern and western Incompatibility Landscape Buffers (Residential Attached to Residential Detached) of 50%, totaling a 5’ reduction on each side, achieved through Article 3.B.14.H.h – Incentives for Density Bonus Pool Projects.



Site Aerial

Project Overview

The subject property is located within the Urban/Suburban Tier and currently supports a Future Land Use (FLU) designation of Commercial High, with underlying High Density Residential, 8 units per acre (CH/8). The subject property is also located within the Multifamily Residential - High Density (RH) zoning district. Furthermore, the subject sites are located within the Westgate Community Redevelopment Area Overlay, specifically, the Neighborhood General (NG) sub-area boundary. This makes the subject site eligible to receive Westgate CRA Overlay Bonus Density Units.

The proposed project consists of a total of 19 townhouse units, each featuring a private garage with front-loading driveway parking. The Applicant's acquisition and assemblage of the subject sites were carefully planned to contribute to the continued enhancement of the residential corridor along Genessee Avenue. The site is strategically located in close proximity to Okeechobee Boulevard and is surrounded by a mix of complementary uses, including multifamily developments, single-family homes, offices, and commercial establishments. The project's layout and architectural design will complement the surrounding neighborhood character and strengthen the corridor's visual appeal. The development introduces high-quality housing and cohesive design elements that promote a more attractive, connected, and desirable residential community. The Neighborhood General (NG) sub-area is intended to encourage mixed-use development, including more intense commercial uses, and Townhouse and Multifamily dwelling units. This application meets the criteria of this description.

This application request includes one (1) Type 1 waiver for the reduction of the incompatibility buffers on the east and west external property lines.

There are no prior/existing land use applications, resolutions or conditions of approval for the subject site.

Below is a summary of the surrounding properties:

Adjacent Lands	FLU	Zoning	Uses
Subject Property (Proposed)	CH/8	RH	Residential Townhomes
North	CH/8 & CL/8	RH & CG	Multifamily 10 Units or More/ Office Building – Non-Medical 1 to 3 Stories
South	CH/8	RH	Multifamily < 5 Units/ Single Family/ Vacant
East	CH/8	RH	Single Family
West	CH/8	RH	Single Family

Request 1: Final DRO Site Plan Approval

When considering a DO application that is subject to the Administrative Approval processes, the DRO shall utilize the Standards a through c indicated below:

- A. Consistency with the Plan - The proposed use is consistent with the purposes, Goals, Objectives, and Policies in the Plan, including standards for densities, and intensities of use.**

Response: The proposed use of Residential “for-sale” townhomes intended as part of this application is consistent with the purposes, goals, objectives, and policies in the Plan.

The request is consistent with the subject site’s Commercial High, with underlying High Density Residential, 8 units per acre (CH/8). While the Floor Area Ratio (FAR) is not a means for calculation in the High Density Residential, 8 Units per acre, the maximum building coverage for townhomes is 100% (49% Building Coverage provided, including canopies).

Consistency with County Overlays, Plans, and Studies:

Neighborhood Plans and Studies – FLUE Policy 4.1-c states “The County shall consider the objectives and recommendations of all Community and Neighborhood Plans, including Planning Area Special Studies, recognized by the Board of County Commissioners, prior to the extension of utilities or services, approval of a land use amendment, or issuance of a development order for a rezoning, conditional use or Development Review Officer approval.”

The subject property is located and is consistent with the Comprehensive Plan’s Westgate Community Redevelopment Agency Overlay (WCRAO). Based on the proposed site dynamics, this application is consistent with the overlay. The applicable overlay to the property is as follows:

Westgate Community Redevelopment Agency Overlay (WCRAO):

The WCRA has a goal to facilitate public improvements that encourage and enhance investment while providing neighborhood stability, prevent continuation of inefficient and incompatible land use patterns, and assist revitalization and rehabilitation of older commercial and residential areas in the Westgate/Belvedere Homes area.

The proposed application introduces high-quality “for-sale” housing and cohesive design elements that promote a more attractive, connected, and desirable residential community. The applicant proposes to implement the goals of the WCRA Plan to allow for a higher density development along Genessee Avenue. The proposed 19 townhome units are designed to accommodate a range of income levels. The development strengthens the neighborhood’s housing diversity by offering attainable ownership opportunities. Prior to the original submittal of this Development Review Officer (DRO) application, a meeting regarding the WCRA board recommendation of approval will be held on 11/10/2025.

Within the WCRAO, the subject site is located within the Neighborhood General (NG) sub-area. Per Table 3.B.14.H, the maximum WCRAO Density Bonus per Acre is 30 in the Neighborhood General (NG) Sub-area.

According to Article 3.B.14.H, Density Bonus Programs: For projects with ten or more units, provides a minimum of 20 percent of the total units in the project as on-site affordable and workforce housing units such that:

- a) A minimum of ten percent, with no more than 40 percent of the total project units qualify at or below the Workforce Housing Program Low-Income Category; and a minimum of ten percent of the total project units qualify as Workforce Housing Moderate 1 Income Category, as defined in Art. 5.G.1.A.3.b, Income Categories;
- b) These units meet Art. 5.G.1.A.3.h, Design Standards; and,
- c) These units meet the provisions of Art. 5.G.1.D, Delivery of WHP Units and Art. 5.G.1.E, Enforcement.

All standards mentioned herein have been acknowledged. The townhomes will be sold as “for-sale” units. Four units will be designated as WHP category units. Two (2) of the units will be in the Low Income Category and two (2) of the units will be in the Moderate 1 Income Category. The prices are subject to the following 2025 prices:

2025 WHP Prices

Income Category			Sales Price	Minimum Buyer Contribution	Maximum Subsidy
Low	60 - 80% of AMI	\$67,080 - \$89,440	\$234,780	2.5%	\$63,390
Moderate 1	>80 -100% of AMI	>\$89,440 - \$111,800	\$301,860	3.5%	\$60,372
Moderate 2	>100 -120% of AMI	>\$111,800 - \$134,160	\$368,940	3.5%	\$55,341

Please note, the WCRAO Density Bonus Pool is subject to the WCRAO approval process. The covenant restricting these units and the monitoring of these units are handled by the Planning Division.

B. Consistency with the Code - The proposed use or amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code.

Response:

- **Article 2: Application Processes and Procedures** – The standards being addressed herein result in the consistency with this code section.
- **Article 3: Overlays and Zoning Districts** - The proposed development meets the intent of ULDC Table 3.B.14.F WCRAO Residential Property Development Regulations, in that the site plan:
 - Meets the minimum lot size of 800 square feet (1,785 min. per lot).
 - Meets the minimum Width and Frontage of 16’ (21’ provided).

- Meets the minimum depth of 50' (85' provided).
- Meets the maximum height of 36' (27' 6" provided).
- Meets the maximum building coverage of 80% (49% provided).
- Meets the front setback of 10'- 25' (Maximum 25').
- Meets the minimum side setback of 0' (0' provided) **.
- Meets the minimum rear setback of 15' (15' provided).
- Meets the maximum stories of 3 (2 stories provided).

*** Per Table 3.B.14.F, Note #3: Side setbacks may be reduced to zero in accordance with Art. 3.B.14.F.1.a, NRM, **NG**, and NC Side Setback Reduction.*

- **Article 4: Use Regulations** – Per Table 4.B.1.A, Residential Use Matrix - Standard Zoning District, a Townhouse is subject to DRO approval within the RM zoning. Please note the absence of RH on the Residential Use Matrix and all RH shall divert to the RM district.

Article 4.B.1.8.b states that townhouses on parcels with an HR-8, HR-12, or HR-18 FLU designation, may be allowed *subject to DRO approval*.

- **Article 5: Supplementary Standards** –
Architectural Review: The proposed Use is consistent with Article 5 Supplementary Use Standards. Article 5.C architectural elevations have been provided as part of this DRO application submittal.

Article 5.D.2.B.5.a – Community and Neighborhood Park Recreation Standards, WCRAO Sub-Section indicates that at the option of the Parks and Recreation Department, with a positive recommendation from the WCRA, the developer may, in lieu of or in combination with Art. 5.D.2.B.2, Calculation of Required Recreation, contribute the dollar value of the total recreational area requirement at the time the first plat is submitted for recording or issuance of the first residential or mixed-use Building Permit.

It is to the applicant's understanding that the cash out price for WCRAO parks and recreation is determined on a case-by-case basis. This is acknowledged.

- **Article 6: Parking, Loading, and Circulation** – The proposed application is consistent with the Article 6 parking requirements. Specifically, the following:
 - According to Table 6.B.1.B – Minimum Parking and Loading Requirements:

- Use classification: Townhouse requires 2 spaces per unit (3 spaces per unit provided)

19 (DU) x 2 (Parking Spaces) = **38** required spaces

19 (DU) x 3 (Parking Spaces) = **57** provided spaces

- Each townhouse is facilitated with a two-car driveway and a one-car garage, totaling 3 parking spaces per unit.

Loading Space is not a requirement for this proposed application request.

Backing onto a right-of-way is permitted for townhouse units when accessing a local residential street, consistent with ULDC Article 11.E.2.A (Access Requirements) and Table 11.E.2.A (Minimum Street Design Standards). Townhouse driveways fronting a local street are permitted to back out onto that street, provided all geometric and safety requirements are met.

- **Article 7: Landscaping** – Article 7.B.D: Overlay Exceptions states “Modifications of the requirements of this Article may be permitted pursuant to Art. 3.B.14.J, WCRAO Landscape Modifications”

A Type I Waiver has been requested as part of this application. The waiver requests a 50% reduction to the Type I Incompatibility Buffer on the east and west sides of the subject site, totaling a 5' reduction on each side. (please see request #2). This is achieved through Article 3. B.14.H.h – Incentives for Density Bonus Pool Projects.

Article 3.B.14.J will be the basis of the landscaping requirements for this development.

- The necessary quantity of trees and plantings will be provided in the Type I (east/west) and Type II (North) incompatibility buffer.
- Type I Incompatibility Buffer: 1 Canopy Tree per 20 linear feet; 1 row of small shrubs – 1 per 2 linear feet.
- Type II Incompatibility Buffer: 1 Canopy Tree per 20 linear feet; 1 palm or pine per 30 linear feet; small shrub – 1 per 2 linear feet; medium shrub – 1 per 4 linear feet

C. Adequate Public Facilities - The proposed use complies with Art. 2.F, Concurrency (Adequate Public Facility Standards).

Response: The proposed development complies with Article 2.F, Concurrency regarding the following:

The proposed project is within the South Florida Water Management District's (SFWMD) C-51 East Basin (Sub Basin #29A). Legal Positive Outfall is available via a proposed outfall culvert discharging to the existing catch basin located within the valley gutter along the north side of Genessee Avenue which drains west to the Westgate CRA stormwater system.

****Traffic statement is forthcoming and anticipated to be complete by 11/7, prior to our DRO original submittal****

PALM BEACH COUNTY HEALTH DEPARTMENT: This project meets the requirements of the Florida Department of Health.

SCHOOL IMPACTS: In accordance with the adopted Coordinated Planning Interlocal Agreement, a School Capacity Availability Determination (SCAD) will be requested and obtained before the time of certification.

PARKS AND RECREATION: It is to the applicant's understanding that the cash out price for WCRAO parks and recreation is determined on a case-by-case basis. This is acknowledged.

Request 2: Type I Waiver – 50% reduction of the required incompatibility buffer to the east and west of the subject site.

TYPE 1 WAIVER					
	ULDC CODE	REQUIRED	PROPOSED	WAIVER	APPROVAL DATE/RESOLUTION NO.
W1	Table 7.C.2.C	Type 1 Incompatibility Landscape Buffer: Minimum width of 10'	5' Landscape Incompatibility Buffer	50% (5') reduction of the Incompatibility Landscape Buffers along the east and west property lines	TBD
	Incompatibility Buffer Type				

Article 2.C.G.2, Applicability, states that Requests for Type 1 Waivers shall only be permitted where expressly stated within this Code or indicated below:

a. Overlays

- 4) "Art. 3.B.14.H.1.c.1), for landscaping for WCRAO Density Bonus Pool projects;"

Furthermore, Article 3.B.14.H.h – Incentives for Density Bonus Pool Projects states that applications for projects utilizing the WCRAO Density Bonus Pool may include requests for one or more of the incentives listed below. The requests shall be consistent with the Plan and receive a WCRA recommendation for approval:

- 1) to modify or reduce the landscape requirements pursuant to Art. 7, Landscaping subject to a Type 1 Waiver process

Because of the WCRAO Density Pool Units, the request for a Type I Waiver is permitted as part of this application.

Standards

Pursuant to Article 2.C.5.G.3., When considering a DO application for a Type 1 Waiver, the DRO shall consider the following Standards in addition to any other Standards applicable to the specific Waiver as contained in this Code.

- a. **The Waiver does not create additional conflicts with other requirements of the ULDC, and is consistent with the stated purpose and intent for the zoning district or overlay;**

Response: The requested waiver will not create any conflicts with other requirements of the ULDC. The proposed 5-foot buffer width continues to provide sufficient area for the required canopy trees and shrubs per Article 7, maintaining visual screening and compatibility between adjacent residential uses. The project remains consistent with the purpose and intent of the Neighborhood General (NG) Sub-Area of the Westgate Community Redevelopment Area Overlay (WCRAO), which encourages compact, pedestrian-oriented residential development while promoting reinvestment and compatible infill. The reduction supports efficient site utilization and reinforces the WCRAO's goal of creating a cohesive residential corridor along Genessee Avenue.

- b. **The Waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development; and**

Response: Article 3.B.14.J.2 states: *"A required R-O-W or Incompatibility Buffer width may be reduced by up to 50 percent in the NRM, NG, NC, UG, and UI Sub-areas for commercial or mixed-use projects, provided that a minimum five-foot-wide planting area is provided with no encroachments, and that all other Code requirements are met, unless indicated otherwise. A side interior perimeter buffer shall not be required when a zero side setback is used."*

Although the referenced provision specifically addresses commercial and mixed-use projects, the proposed residential-only townhouse development within the Neighborhood General (NG) Sub-area meets the same intent and functional conditions that justify this flexibility. The project incorporates high-quality landscaping and a five-foot-wide, fully planted buffer along both the east and west property lines, consistent with the WCRAO's goal of promoting compact, pedestrian-oriented infill development while maintaining neighborhood compatibility.

The 50% reduction will not negatively impact the project's overall design or aesthetic quality. The site plan incorporates a continuous, well-landscaped 5-foot buffer with required canopy trees and shrubs that maintain visual softening between buildings and adjacent properties. The buffer aligns with the overall landscape design intent for the project and complements the architecture and frontage treatments. The development remains harmonious with the surrounding residential context in both scale and design.

c. The alternative design option recommended as part of the Waiver approval, if granted, will not adversely impact adjacent properties.

Response: The proposed alternative buffer design maintains compatibility with adjacent single-family residences to the east and west. The properties on both sides are residential in nature and similar in scale and character. The 5-foot buffer includes the same planting quantities required for the full 10-foot buffer—ensuring adequate screening, shade, and aesthetic continuity. Additionally, no encroachments are proposed within the buffer area, and all trees and shrubs will be installed consistent with Article 7 standards. As a result, the waiver will not produce adverse visual, noise, or privacy impacts on neighboring properties.

On behalf of the applicant, Genessee Development, LLC (“Property Owner”), Schmidt Nichols (“Agent”) respectfully requests your approval of these requests: Development Review Officer (DRO) application with a Type I Waiver.

LEGAL DESCRIPTION

LOTS 46, 47, 48, 49, 50, 51, 52, 53 AND 54, BLOCK 17, WEST GATE ESTATES, ACCORDING TO THE PLAT IN PLAT BOOK 8 AT PAGE 38 IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA.

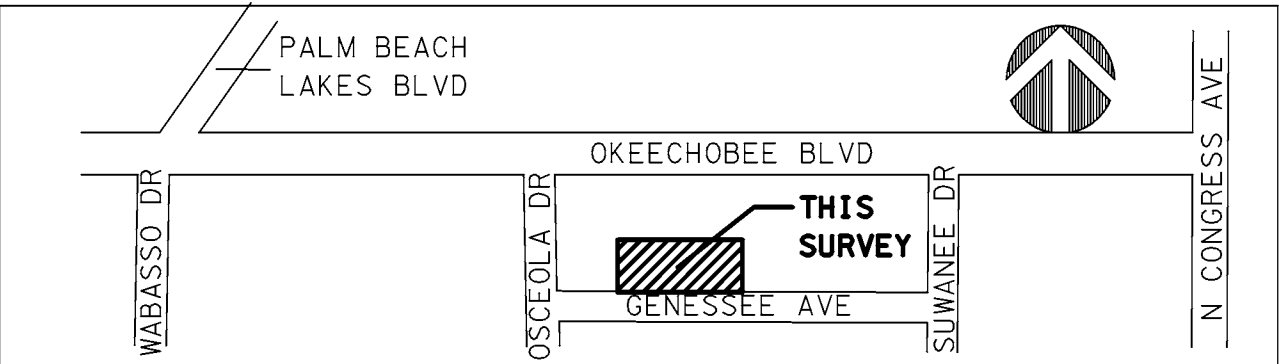
TOGETHER WITH

LOTS 38 THROUGH 45, BLOCK 17, WEST GATE ESTATES (NORTH SECTION), ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 38, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE PALM BEACH COUNTY, FLORIDA, AND CONTAIN 1.12 ACRES, MORE OR LESS.

NOTES

- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- TITLE INFORMATION IS SHOWN ON THIS SHEET.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON A LINE BETWEEN PALM BEACH COUNTY CONTROL MONUMENTS "HARVEY S-1" AND "MOTOR POOL" HAVING A GRID BEARING OF N68°36'01"E, AS DETERMINED FROM THE STATE PLANE COORDINATE SYSTEM, EAST ZONE, GRID NORTH, 1983 STATE PLANE TRANSVERSE MERCATOR PROJECTION, 1990 ADJUSTMENT. POSITIONAL ACCURACY MEETS OR EXCEEDS A 1:10,000 MINIMUM RELATIVE DISTANCE ACCURACY. ALL DISTANCES SHOWN ARE GROUND DISTANCES, UNLESS OTHERWISE LABELED OTHERWISE. SCALE FACTOR USED FOR THIS PLAT IS 1.000043131. GRID DISTANCE - GROUND DISTANCE X SCALE FACTOR. UNIT - US SURVEY FOOT.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM PALM BEACH COUNTY BENCHMARK "BOATWRIGHT", ELEVATION: 19.194'.
- PROPERTY ADDRESS: 2515 & 2539 GENESSEE AVE. WEST PALM BEACH, FL.
- GRID INFORMATION IS AS FOLLOWS:
COMMUNITY NUMBER 120192
PANEL NUMBER 12099C0579F
DATE OF FIRM INDEX 10-05-2017
ZONE "X"
BASE FLOOD ELEVATION N/A for "X"



LOCATION MAP
NOT TO SCALE

ABBREVIATIONS

AC - AIR CONDITIONER
ALF - ALUMINUM FENCE
CBS - CONCRETE BLOCK & STUCCO
CLF - CHAIN LINK FENCE
CONC. - CONCRETE
Δ - DELTA (CENTRAL ANGLE)
D.E. - DRAINAGE EASEMENT
ELEV. - ELEVATION
FF - FINISHED FLOOR
GAR. - GARAGE
G.E. - GRATE ELEVATION
I.E. - INVERT ELEVATION
IP - IRON PIPE
IR - IRON ROD
IRC - IRON ROD & CAP
L - ARC LENGTH
L.M.E. - LAKE MAINTENANCE EASEMENT
MON. - MONUMENT
N/D - NAIL AND DISC
P.B. - PLAT BOOK
P.B.C.R. - PALM BEACH COUNTY RECORDS
PG. - PAGE
PROP. - PROPOSED
R - RADIUS
R.E. - RIM ELEVATION
R/W - RIGHT-OF-WAY
TYP. - TYPICAL
U.E. - UTILITY EASEMENT

LEGEND

- WATER SERVICE
- ELECTRIC SERVICE
- TELEPHONE BOX
- CABLE TV BOX
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- WATER VALVE
- SIGN
- FIRE HYDRANT
- CATCH BASIN
- LIGHT POLE
- WOOD UTILITY POLE
- CLEAN OUT
- CENTERLINE
- EXISTING ELEVATION
- MAILBOX
- TREE

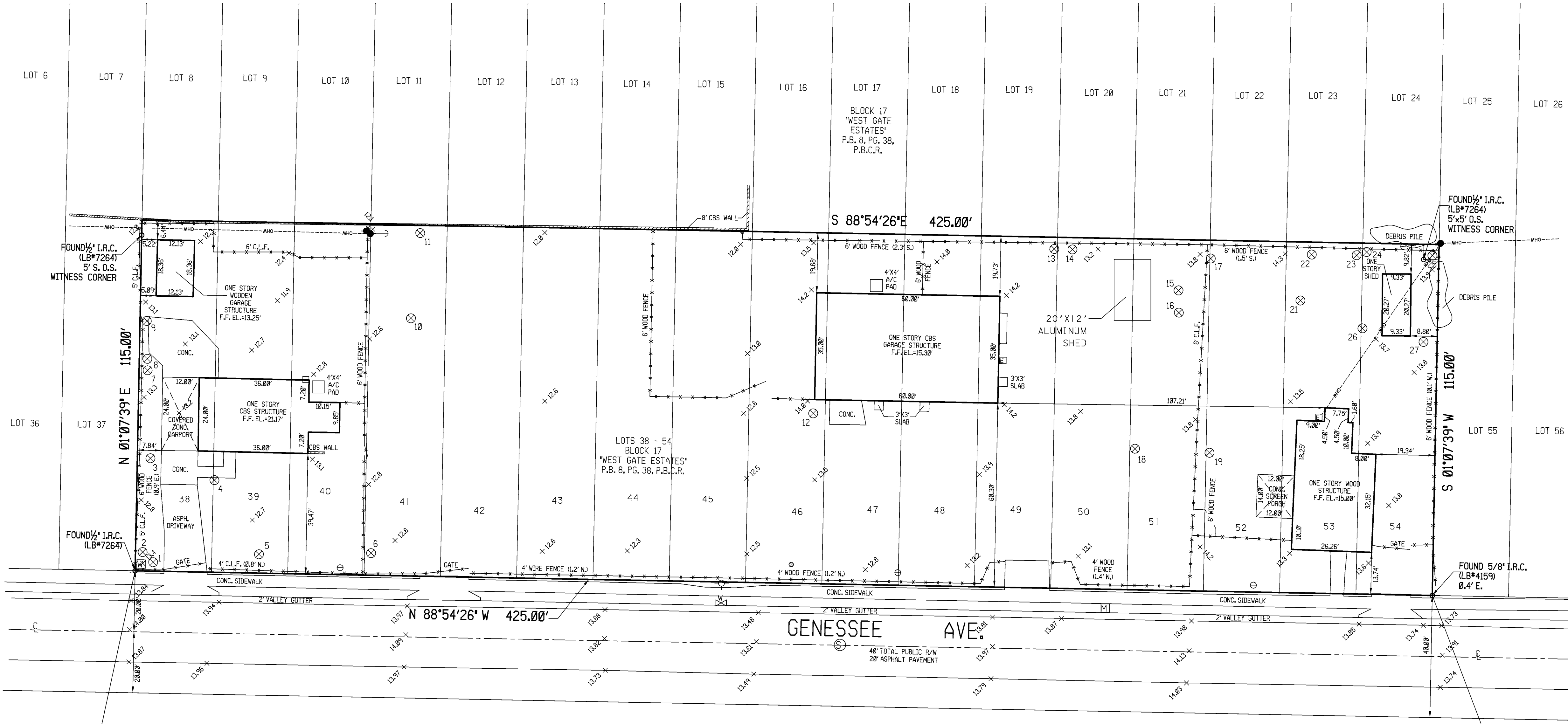
COORDINATES, BEARINGS, DISTANCES

STATE PLANE COORDINATES ARE GRID
DATUM - NAD 83 1990 ADJUSTMENT
ZONE - FLORIDA EAST
LINEAR UNIT - U.S. SURVEY FOOT
COORDINATE SYSTEM 1983 STATE PLANE TRANSVERSE
MERCATOR PROJECTION
ALL DISTANCES ARE GROUND, UNLESS OTHERWISE NOTED
SCALE FACTOR - 1.000043131
GROUND DISTANCE X SCALE FACTOR - GRID DISTANCE
BEARING IS SHOWN HEREON ARE GRID DUM
NAD 83 1990 ADJUSTMENT, FLORIDA EAST ZONE.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111
DATE OF LAST FIELD WORK: AUGUST 28, 2025



TREE LIST

- | | | | |
|-----|-----------------|-----|----------------|
| 1. | 8" QUEEN PALM | 15. | 18" SABAL PALM |
| 2. | 8" QUEEN PALM | 16. | 12" SABAL PALM |
| 3. | 8" QUEEN PALM | 17. | 8" MANGO |
| 4. | 8" QUEEN PALM | 18. | 12" SABAL PALM |
| 5. | 24" OAK | 19. | 2" SABAL PALM |
| 6. | 24" OAK | 20. | 12" SABAL PALM |
| 7. | 8" QUEEN PALM | 21. | 12" CYPRESS |
| 8. | 8" QUEEN PALM | 22. | 12" SABAL PALM |
| 9. | 30" OAK | 23. | 12" SABAL PALM |
| 10. | 18" PINE | 24. | 12" SABAL PALM |
| 11. | 18" BLACK OLIVE | 25. | 10" PALM |
| 12. | 10" THATCH PALM | 26. | 12" SABAL PALM |
| 13. | 12" SABAL PALM | 27. | 18" MANGO |
| 14. | 12" SABAL PALM | | |

TITLE INFORMATION

TITLE COMMITMENT • 25074524DP1
2515 GENESSEE AVE (LOTS 46-54)
PREPARED BY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
EFFECTIVE DATE: JULY 2, 2025

BOOK/PAGE	DESCRIPTION	APPLIES?	PLOTTED?
7 PB 8 PG 38	PLAT	YES	YES
8 ORB 6495 PG 761	CHANCERY NO. 407	YES	NO
8 ORB 6495 PG 1165	CHANCERY NO. 407	YES	NO
8 ORB 5729 PG 763	DEED	YES	NO
8 ORB 22240 PG 733	WARRANTY DEED	YES	NO
8 ORB 33993 PG 50	WARRANTY DEED	YES	NO

TITLE COMMITMENT • 25074523DP1
2539 GENESSEE AVE (LOTS 38-45)
PREPARED BY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
EFFECTIVE DATE: JULY 2, 2025

BOOK/PAGE	DESCRIPTION	APPLIES?	PLOTTED?
7 PB 8 PG 38	PLAT	YES	YES
8 ORB 6495 PG 761	CHANCERY NO. 407	YES	NO
8 ORB 6495 PG 1165	CHANCERY NO. 407	YES	NO
8 ORB 17900 PG 29	DEED	YES	NO
8 ORB 22240 PG 739	WARRANTY DEED	YES	NO
8 ORB 33993 PG 50	WARRANTY DEED	YES	NO

FOUND PALM BEACH COUNTY
BRASS DISK IN C.M.
STAMPED "HARVEY S-1"
N=85°158.741
E=954366.765



947 Clint Moore Road
Boca Raton, Florida, 33487
Certificate of Authorization No. LB7264

Tel: (561) 241-9988
Fax: (561) 241-5182

2515 & 2539 GENESSEE AVE. WEST PALM BEACH, FL
BOUNDARY, TOPOGRAPHIC AND TREE SURVEY

NO.	DATE	BY	CK'D	REVISIONS:	FB/PG
1	11/16/22	GY		SURVEY	
2	08/28/25	JSH		UPDATE SURVEY	
3					
4					
5					
6					

SEAL

JOB NO. 22206
SCALE 1"=20'
DRAWN JSH
CHECKED GY
SHEET 1 OF 1

Westgate CRA Board Meeting
November 10, 2025

REGULAR AGENDA ITEM SUMMARY
Development Review for WCRA Recommendation

Mavis Tires

1098 N. Military Trail

Military Belvedere Shopping Center (Walmart Plaza MUPD)

DRO Approval for Site Plan and Light Repair & Maintenance Use
Control No. 1992-00023



Location Map – impacted outparcel

Site Background

The subject site is an ±0.68-acre outparcel at the Walmart Plaza, located on the northeast corner of N. Military Trail and Belvedere Rd. The Walmart Plaza is approximately 22.4 acres in total and consists of four buildings: the anchor tenant, a Walmart Supercenter, a vacant restaurant site (building demolished), a vacant future redevelopment site that once housed the Murphy Express Gas

Station, and the new Murphy Express gas station at the corner of N. Military Trail and Belvedere Rd. The applicant proposes to redevelop the vacant restaurant site as light repair and maintenance.

The overall site was originally zoned for multifamily and general commercial development, but was rezoned to exclusively CG in 1993 via R-1993-0508. In 1997, the site plan accompanying R-1993-0508 was amended to increase the site area to 25 acres, and added a Lowe's as a proposed use. R-2001-1667 rezoned the overall site from CG to MUPD. The final resolution governing the overall site is R-2003-0940, which amended the site plan to allow the existing Walmart Supercenter as the anchor development, and reduced the size of the MUPD to 22.4 acres. The current total square footage of the MUPD is 209,734 sf., and the total area of the outparcel affected by the proposed redevelopment is 0.68 acres or 29,538 sf.

The entire site is within the UH (Urban Highway) Sub-area of the WCRAO, and is zoned MUPD (Multiple Use Planned Development) with a Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre). The site is in the URA (Urban Redevelopment Area), the U/S (Urban/Suburban) Tier, RRIO, and in the Westgate CCRT area. There are Vehicle Sales & Rental Uses to the north on Military Trail (zoned CG/SE with a CH/8 FLU). To the west, across N. Military Trail is the Town of Haverhill, to the south, across Belvedere Rd. is a KFC Restaurant (zoned CC/SE with a CH FLU), and to the is vacant PBIA owned land zoned PO with a Transit/Utilities (U/T) FLU.

Proposed NEW Redevelopment Use – Mavis Tires

In November 2021, the DRO approved a 2,700-sf. car wash on this now vacant outparcel located just to the north of the new Murphy Express Gas Station. The owner no longer wishes to develop the site as a car wash due to shifting market trends, and instead proposes to redevelop the site as a Mavis Tires, considered a light repair and maintenance use.

All other areas within the MUPD are to be unaffected as a part of the application. ULDC Art. 4 requires a Light Repair & Maintenance use in MUPDs to be approved by the DRO. MUPD zoning standards allow for revisions to square footage for permitted or DRO approval uses within a percentage range without requiring BCC approval for a Development Order Amendment to the MUPD.

Summary of Petition

The application requests the following approvals:

1. Final DRO site plan approval for a 6,889 sf Repair and Maintenance, Light use within the Walmart Plaza MUPD; and,
2. A in increase of 5 pm peak hour trips, and 1 am peak hour trip, and a reduction of 28 daily trips to be allocated from the WCRA Transportation Concurrency Exception Area (TCEA) pool.



Existing Conditions from 2020 to 2025 – this building is now demolished, and the site has been cleared.

Staff Analysis & Review – Consistency with the CRA Community Redevelopment Plan

The departure of Walgreen's Pharmacy in 2017, and the closure of the restaurant, originally built in 1969, have negatively impacted perception of this important corner of the CRA district; vacancy is counterproductive to redevelopment and encourages disinvestment and the furtherance of blight in the community. This is particularly true when vacant commercial buildings front prime arterial roadways, such as Military Trail. The vacant restaurant site had fallen into severe blight, and the property had been used on occasion for food trucks. The Walmart Superstore is a frequently used amenity for the neighboring residential community of Belvedere Homes and by other residents of the district. Given its acreage and square footage, the site is considered among the highest contributors to the CRA's TIF, which allows the Agency to continue redevelopment activities that benefit the community.

While a light repair and maintenance use may not be generally viewed as a catalyst to redevelopment, it is a complementary use to the Walmart Superstore, as well as to the newly constructed and improved Murphy Express gas station and convenience store at the MUPD corner parcel; each attract passer-by interest and create internal trip capture, better activating the overall site, and generating economic development. Once this application is processed and construction is complete, two new buildings will front the corridor, with a middle +/- 0.45 ac. vacant outparcel available to future redevelopment.



Newly completed Mavis Tires in Orlando, FL

Consistency with WCRAO Use Regulations & Sub-area PDRs

WCRAO Sub-area use regulations for Repair and Maintenance, Light uses default to the PDRs of the MUPD zoning district; as stated, the use is permitted by DRO approval in MUPDs with a CH FLU. The intent of the UH Sub-area recognizes that Military Trail and Okeechobee Blvd are well-established, intense commercial corridors, and as such, few property development standards are required in this sub area by the WCRAO.

Although the project is located within an MUPD zoning district, as a new development, WCRAO UH Sub-area PDRs are applicable to this application. The parcel is 125 ft. in depth; a minimum of 100 ft. is required in the UH. The site has a frontage of 159 ft. where 100 ft. is required. The WCRAO allows for a minimum 10' front setback in the UH Sub-area; the building is set back 30 ft. from the Military Trail (west) property line due to ROW buffer width requirements and a 5 ft. utility easement. The west façade acts as the building frontage and is designed with good fenestration and without working bays. Access to the building is from the north side, along with 4 of 8 of the work bays. A rear setback of 62 ft. is provided on the east, along with the remaining 4 bays, and a 23 ft. side setback is provided at the south side; a minimum of 15 ft side, and 25 ft. rear are required WCRAO set-backs. The building is oriented so that repair activities do not take place with open bay doors that directly face Military Trail, rather the bays are along the north and east sides of the building. A modern design aesthetic with a parapet feature creates visual interest. 18 parking spaces, as required by Art. 6, are provided.

Traffic & Drainage Considerations

Traffic—

Since the restaurant use has been closed for several years, no credit has been applied to the trips associated with the use. There is anticipated trip capture between the proposed use and the Walmart Superstore. Per the submitted Traffic Impact Analysis, “The Mavis Tire project site is an outparcel of the existing plaza located on the northeast corner of Military Trail & Belvedere Road, in Palm Beach County, Florida. The overall existing plaza is vested for 194,410 SF of shopping center, and a gas station with 8 fueling positions and 238 SF of convenience store. The applicant is proposing to develop one of the plaza’s outparcels with a 6,944 SF tire store to replace the previously approved car wash.”

The proposed plan of development results in a decrease in 28 daily trips, an increase in 1 AM peak hour trip, and an increase in 5 PM peak hour trips in comparison to the existing site approval that included a car wash use. The changes in traffic trips from the previous site vested uses, including a return of 28 daily trips, will be reflected in Westgate Transportation Concurrency Exception Area (TCEA) trip pool.

Drainage—

A drainage statement has been provided with the application. The site received an ERP from SFWMD for the approved car wash use. The applicant will be required to revise the existing permit to ensure the new proposed use will be in compliance. Stormwater runoff from the project currently drains to existing off property drainage basins to the north and south.

Stormwater storage and treatment will be provided off-site via an exfiltration trench system that is independent of the Walmart system. The new project will have an increase in impervious area, however exfiltration trench volume will be also be increased to compensate through the ERP revision.

Staff Recommendation

Staff recommends approval of applicant’s request for:

3. Final DRO site plan approval for a 6,889 sf Repair and Maintenance, Light use within the Walmart Plaza MUPD; and,
4. A in increase of 5 pm peak hour trips, and 1 am peak hour trip, and a reduction of 28 daily trips to be allocated from the WCRA Transportation Concurrency Exception Area (TCEA) pool.



Palm Beach County Zoning Division
 2300 N. Jog Road
 West Palm Beach, Florida 33411
 Phone: (561) 233-5200

2025 GENERAL APPLICATION - INSTRUCTIONS

All Zoning applications require submittal of this General Application and must be preceded with a Pre-Application Review (PAR) with issuance of a Referral Number and invoice for online submittal. Part 2 is not required for not required for Unity of Title or Release, Unity of Control or Release, Temporary Use, Temporary Sign, Reasonable Accommodation, or Special Permit. The Part 2 table below can be deleted for those applications. For Confirmation of Community Residence, use Form 132 in lieu of this General Application form. Email questions and request for Word version of this form to PZB-ZoningIntake@pbc.gov . See [GeoNav](#) for yellow items.

Part 1 – General Information			
Application Name	Military Belvedere Shopping Center - Mavis Tire	Date	10/27/2025
Control No./Name	1992-00023 / Military Belvedere Shopping Center	Control Acres	0.68
Address or Location	1098 N. Military Trail, Haverhill, FL 33409		
PCNs	00-42-43-25-31-001-0060		
Owner Name	M&M N Military LLC		
Agent/Applicant	Katie Fitzjarrald		
Email	Katie.fitzjarrald@kimley-horn.com	Phone	(772) 794-4130
A. Request Summary			
Application Summary	Proposed Mavis Tires Auto Repair Facility on .68 acres vacant lot		
Zoning Requests	DRO Use for Repair and Maintenance, Light and site plan		
B. Subject Site Data			
Existing Uses	Vacant (Approved Car Wash – Unbuilt)		
Future Land Use	CH		
Zoning	MUPD		
Overlay*	WCRAO, URA, RRIO		
Acres – with additions/deletions	0.68 Acres – no deletions or additions		
Access	Existing access driveways off N. Military Trail and Belvedere Road into Shopping Center through existing cross-access agreements		
Development Order	N/A – DRO use only		
Code Violation	N/A		
Building Permits	Yes, but for previous car wash approval		

Part 2 – Detailed Information	
A. Prior and Concurrent Applications	
WHP/TDR	N/A
FLUA Amendment	N/A
Monitoring	N/A
Resolution & Conditions of Approval	N/A
B. Concurrency Determination Data	
Non-Residential Intensity	6,944 SF of Light Repair and Maintenance
Residential Density Units	N/A
Residents/Beds	N/A
Water	The site is connected to water. New connection may be needed with PBCWUD
Sewer	The site is connected to sewer New connection may be needed with PBCWUD.
Health Dept. Uses	N/A
Health Dept. Hazardous Material	The site will be storing new and used oil within the building.
C. Environmental Determination Data	
ERM Regulations	This site is not within a wellfield protection zone Site is not located within the Coastal Protection Zone
ERM Review of Native Vegetation	Site was previously permitted by ERM for vegetation removal, however this will need to be updated with new proposed site plan

Part 3. Applicant Data	
A. Agent Information	
Agent 1	
Name(s)	Katie Fitzjarrald
Company Name	Kimley-Horn & Associates, Inc.
Address	445 24 th St Suite 200
City, State, Zip	Vero Beach, FL 32960
Phone / Fax Number	772-794-4130
Email Address	Katie.fitzjarrald@kimley-horn.com
Agent 2	
Name(s)	Damian Brink
Company Name	Miskel Backman, LLP

Address	14 SE 4 th Street, Suite 36
City, State, Zip	Boca Raton, FL 33432
Phone / Fax Number	561-405-3322
Email Address	dbrink@miskelbackman.com
B. Applicant Information	
Identify the information for each Property Owner and Contract Purchaser. Duplicate table as needed. Each Owner and each Applicant / Contract Purchaser must submit Attachment C & Attachment E.	
Name	James Micik
Company Name	Mavis Southeast LLC
Address	100 Hillside Avenue
City, State, Zip	White Plains, New York 10603
Phone / Fax Number	914-215-6772
Email Address	jmicik@mavis.com
Interest	Contractor Purchaser – Director of Entitlements
Ownership Information	
Name	William D. Matz
Company Name	M&M N Military LLC
Address	3325 S University Dr Suite 210
City, State, Zip	Davie, FL 33328
Phone / Fax Number	
Email Address	bmatz@ross-realty.com
Interest	Property Owner

Note: Refer to PZB Zoning Website for all ULDC Articles <http://www.pbcgov.com/uldc/index.htm>
referenced in this document and the Technical Manual for helpful information
<http://www.pbcgov.com/techmanual/index.htm>

October 2025

Mavis Tire Supply, LLC

1098 N. Military Trail,
West Palm Beach, FL 33436

DRAINAGE ANALYSIS FOR

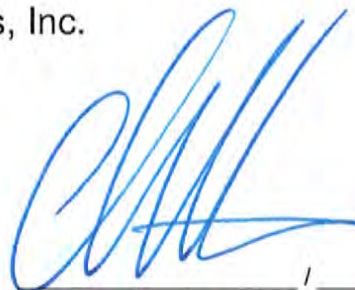
**South Florida Water Management District, Lake Worth
Drainage District, and Palm Beach County.**

Prepared By:

Kimley-Horn and Associates, Inc.

445 24th Street, Suite 200

Vero Beach, Florida 32960



10-23-2025

Chris Hollen, P.E.
FL P.E. #74685

Date

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- A. Car Wash Vs. Mavis Tires & Brakes Exfiltration Calculations
- B. Car Wash Vs. Mavis Tires & Brakes Paving, Grading, & Drainage Plans

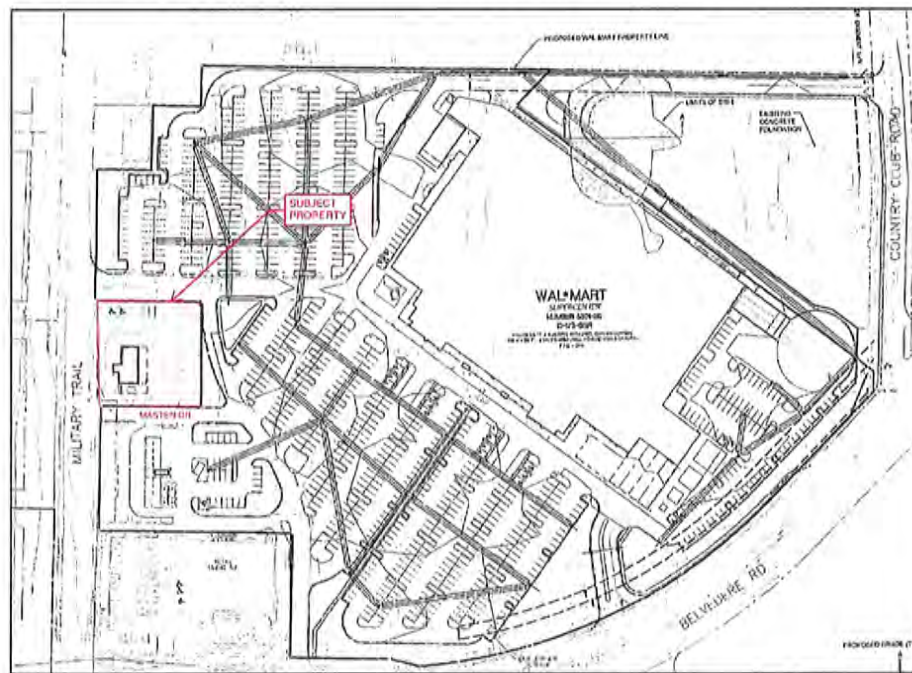
I. INTRODUCTION

This drainage statement is intended to provide a summary of the existing and proposed conditions related to the existing development at 1098 N. Military Trail in West Palm Beach, FL. The site is currently an abandoned restaurant with an associated parking area within a Wal-Mart development. The proposed redevelopment will be a Mavis Tires & Brakes auto repair store containing $\pm 6,944$ SF of retail space ($\pm 1,245$ SF office space and $\pm 5,699$ SF maintenance space) with 18 parking spaces on a 0.68 acre site.

An existing ERP (No. 50-109558-P) obtained by another applicant exists for a proposed EZ Express Carwash and was approved by SFWMD on December 7, 2023. That project permitted the construction of a 2,560 SF tunnel car wash with parking and 200 LF of exfiltration trench. The existing permit did not propose outfall to Wal-Mart's stormwater system in the design storm event. This project aims to alter the permitted use design linked to this ERP and ensure that the proposed Mavis Tires & Brakes is compliant with the original permit.

II. EXISTING CONDITIONS

The site is located on the northeast corner of N. Military Trail and Masten Drive. Stormwater runoff from the project site currently drains to an off property existing catch basin to the north on the access entrance to the Wal-Mart and to an existing off property catch basin to the south on Masten Dr.



III. PROPOSED DESIGN

Stormwater storage and treatment will be provided on-site via an exfiltration trench system that is independent of the Wal-Mart master drainage system. The new development will comply with the existing SFWMD ERP permit assumption of 83.1% maximum impervious area within the property.

Car Wash Permitted Under ERP No. 50-109558-P		
Area Description	Proposed	%
Impervious	0.44 ac	65.1%
Pervious	0.24 ac	35.9%
Total Area	0.68 ac	100%

Proposed Mavis Tires & Brakes		
Area Description	Proposed	%
Building Area	0.16 ac	23.5%
Other Impervious Area	0.29 ac	43.0%
<i>Total Impervious Area</i>	<i>0.45 ac</i>	<i>66.5%</i>
Pervious Area	0.23 ac	33.5%
Site Area	0.68 ac	100.00%

The increased impervious area for this proposed Mavis Tires & Brakes will require additional on-site storage accomplished via additional proposed exfiltration trench storage. This project makes the following proposed changes to the permitted exfiltration system as shown in the table below.

Exfiltration Trench Comparison		
	Car Wash	Mavis Tires & Brakes
Required Exfiltration Trench Volume	0.087 ac-ft	0.19 ac-ft
Exfiltration Trench Volume Provided	0.864 ac-ft	1.068 ac-ft*
Length of Exfiltration Trench	200 LF	207 LF
Depth of Exfiltration Trench	5 ft	6.64 ft
Width of Exfiltration Trench	7-ft	6-ft
Pipe Diameter	15 in	18 in

*Includes Factor of Safety - 2.0

Despite the increased impervious area of the proposed Mavis Tires & Brakes, the provided exfiltration trench volume will contain the additional runoff produced on site as the exfiltration trench has been modified to accommodate this site.

IV. CONCLUSION

The proposed Mavis Tires & Brakes site, while more impervious than the originally permitted Car Wash, will retain the additional design storm runoff created by the larger impervious land cover while remaining independent of the Wal-Mart master drainage system. Because of these considerations, this proposed Mavis Tires & Brakes project is in compliance with the original ERP for the Car Wash.

APPENDIX A

CAR WASH VS. MAVIS TIRES & BRAKES EXFILTRATION CALCULATIONS

Project: EZ Express Car Wash - Military Trail
POST-ANALYSIS

Date: 05/31/2023

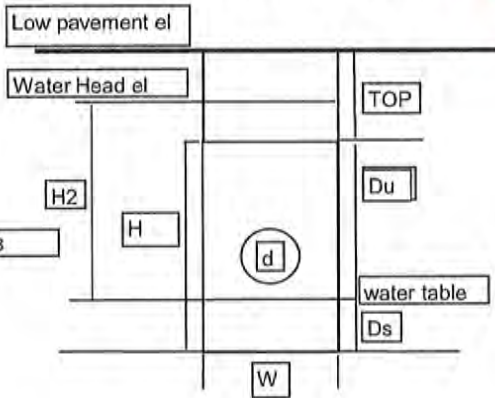
Flood Routing Description:

Client: M&M Land Enterprises Development LLC

Job Number: 010896-01-001

Table 22-1 EXFILTRATION TRENCH -1 INFORMATION

INPUT INFORMATION	
Trench Width (Ft) (W) (Keep W <= 2*H to avoid "Bad" Exfil Formula)	7.00
Trench Height (Ft) (H)	5.00
Diameter of Pipe (inches) (d)	15
Invert of Pipe (Ft) (IE)	12.5
Top of trench elevation	15.4
Low pavement elevation	17
Water Head elevation (Ft)	17.00
Avg. Hydraulic Conductivity (Cfs/Ft ²) (k)	1.14E-03



Length of Exfiltration trench Provided (Ft) (L)	200
Water table elevation (Ft)	11.00
Trench Data	
Depth To Top Of Trench (Ft) (TOP)	1.60
Bottom of trench elevation	10.40
Saturated Trench Depth (Ds)	0.60
Non-Saturated Trench Depth (Du)	4.40
Depth To Water Table or Trench Bottom (Ft) (H2)	6.00
Trench Storage Begins at Higher of Water Table or Trench Bot. Elev.	11.00

= Water head El - Top of Trench El.

= Top of Trench El. - Trench Height (H)

= Trench Height below water Table (Keep Ds <= Du to avoid "Bad" Exfil Formula)

= Trench depth above water Table

= Water head El to the water table or bottom of trench

Trench Volumes Stored & Exfiltrated in 1 hour (CF)

1 Hr. Vol by exfil SFWMD Eq.7 (Du > Ds and W < 2H) (CF)	71,504
1 Hr. Vol by exfil SFWMD Eq.8 (Du < Ds or W > 2H) (CF)	0
This Trench Volume with Safety Factor of 2 (V(trnSF))	35,752
Max. Vol allowed in Exfil (3.28" = 0.273 Ac-Ft / Ac) (Val) (CF)	No Max
Total EXFIL Vol Provided ALL EXFIL Trenches (Vtot) (CF)	35,752
Total EXFIL Vol USED ALL EXFIL Trenches (Vtot) (CF)	35,752
Equivalent Wet Detention Vol:50% credit ALL EXFIL (CF)	71,504
Total System ALL EXFIL Volume Used in Stage-Storage (CF)	37,646

Note: 3630 in Eqn. is conversion factor from (Ac-In) to (CF)-> (43560 SF/Ac)(1FT/12In)

$$V_{trn} = 3630 * L * [k * ((H2 * W) + (2 * H2 * Du) - Du^2 + (2 * H2 * Ds)) + ((1.39 * 10^{-4}) * (W * Du))]$$

$$V_{trn} = 3630 * L * [k * ((2 * H2 * Du) - Du^2 + (2 * H2 * Ds)) + ((1.39 * 10^{-4}) * (W * Du))]$$

$$V(trnSF) = V_{trn} / (\text{Safety Factor of 2})$$

$$= V_{tot}$$

$$= V_{tot}$$

$$= V_{tot} * 2$$

$$= V_{tot} * 2$$

*Takes into account SF choice

0.821	Ac-Ft	9.85	Ac-In
No Max	Ac-Ft	No Max	Ac-In
0.821	Ac-Ft	9.85	Ac-In
0.821	Ac-Ft	9.85	Ac-In
1.642	Ac-Ft	19.70	Ac-In
0.864	Ac-Ft	10.37	Ac-In

This Exfil Trench

This Exfil Trench

This Exfil Trench

Totals for All Exfil Trench

Totals for All Exfil Trench

Totals for All Exfil Trench

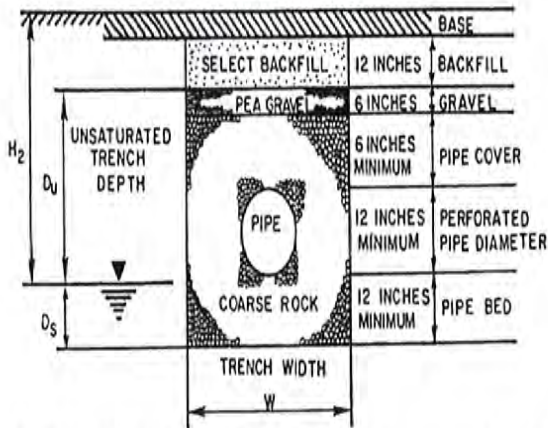
Totals for All Exfil Trench

Totals for All Exfil Trench

*NOTE: Per SWERP SFWMD formula, For Exfiltration Trench design, a safety factor of 2 is used for WQ in all conditions.

Because of the built in safety factor of only using EXFIL trench discharge for one hour, during the 72 hour storm event, some Agencies allow the use of the Exfiltration trench volume, up to the required Water Quality Volume, without a safety factor of 2, in the Stage-Storage, for use in storm routing calculations. Select on the Stage-Storage Tab (E15), to Choose Y/N - To Use EXFIL Vol. in Stage Storage, up to Water Quality Vol., without safety Factor of 2.

Exfiltration Trench Calculations:



Total: 207 L.F.

	Elevation (NAVD)	
Minimum Grate:	8.00 in.	17.31 ft.
Asphalt/Base Thickness:	12.00 in.	16.64 ft.
Select Backfill:	6.00 in.	15.64 ft.
Pea Gravel Thickness:	6.00 in.	15.14 ft.
Weir Elevation:		17.31 ft.
Pipe Cover:	6.00 in.	14.64 ft.
Pipe Wall Thickness:	2.00 in.	14.48 ft.
Pipe Diameter:	18.00 in.	12.98 ft.
Pipe Invert:		12.98 ft.
Seasonal High Water:		10.50 ft.
Pipe Bed (Ds):	1.50 ft.	9.00 ft.
Trench Bottom:		9.00 ft.

Required Pre Treatment Minimum for this Basin

3.28 in. over 0.680

acres:

0.19 ac-ft.

K=HYDRAULIC CONDUCTIVITY (cfs/ft²*ft head)
H2=DEPTH TO WATER TABLE (ft)

W=WIDTH OF TRENCH (ft)
Du=NON-SATURATED TRENCH DEPTH (ft)
Ds=SATURATED TRENCH DEPTH (ft)

L=LENGTH OF TRENCH
TD=TRENCH DEPTH
V=VOLUME OF WATER STORED

K=	0.0011400
H2=	6.81
Weir Elevation at H2	17.31
W=	6.00
Du=	5.14
Ds=	1.50
L=	207.00
TD=	6.64

EQUATION USED FOR THIS CALCULATION:

$$V = (L) * (K * (H2 * W + 2 * H2 * Du - Du^2 + 2 * H2 * Ds) + 1.39E10^{(-4)} * W * Du)$$

$$V (ac-ft) = 2.137$$

FACTOR OF SAFETY: 2

$$V (ac-ft) = 1.068$$

The following equations are used to determine the storage of the exfiltration trench.

EQ. #1 $V = (L) * (K * (H2 * W + 2 * H2 * Du - Du^2 + 2 * H2 * Ds) + 1.39E10^{(-4)} * W * Du)$

L (Equation 1) = 25.64044006

EQ. #2 $V = (L) * (K * (2 * H2 * Du - Du^2 + 2 * H2 * Ds) + (1.39 * 10^{(-4)}) * W * Du)$

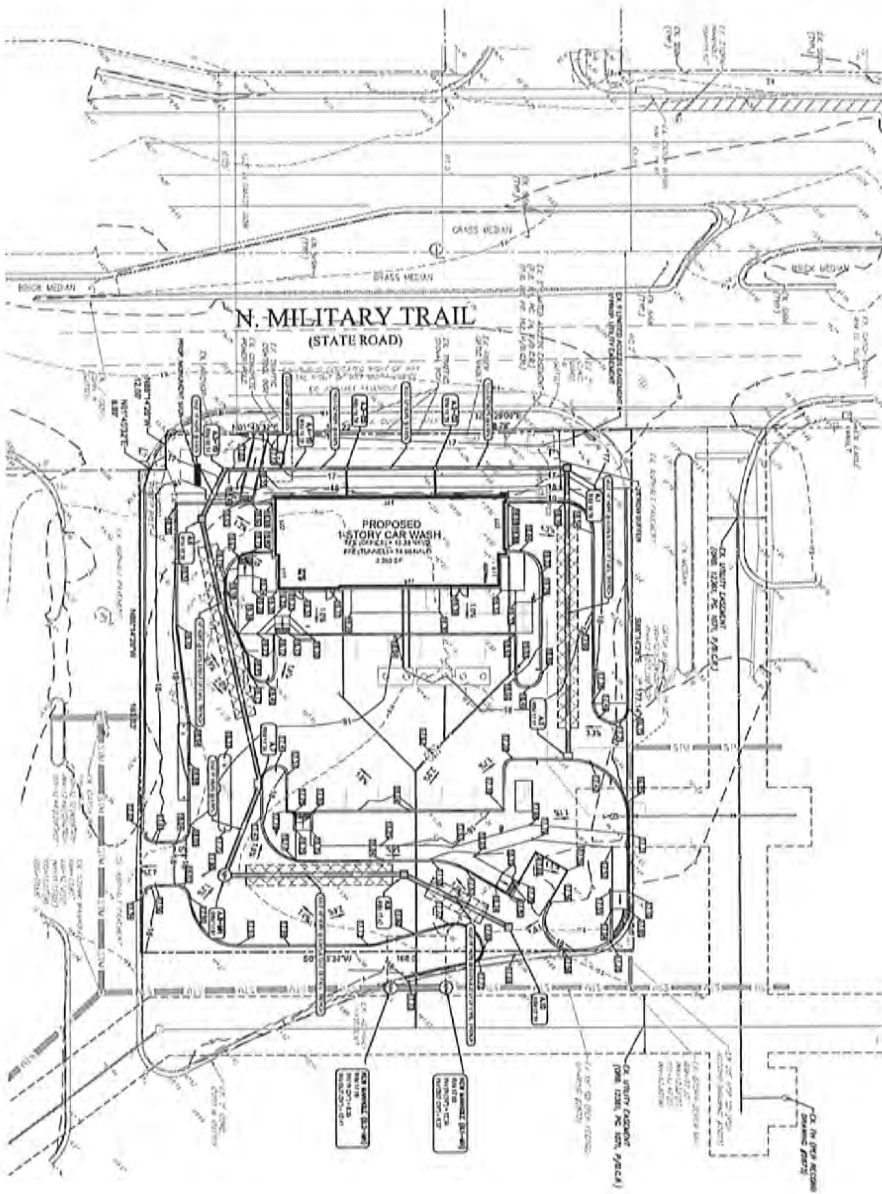
L (Equation 2) = 15.99829726

IF SATURATED DEPTH OF TRENCH > NON-SATURATED DEPTH OF TRENCH
or IF THE TRENCH WIDTH IS > 2* TOTAL TRENCH DEPTH

APPENDIX B

CAR WASH VS. MAVIS TIRES & BRAKES PAVING, GRADING, & DRAINAGE PLANS

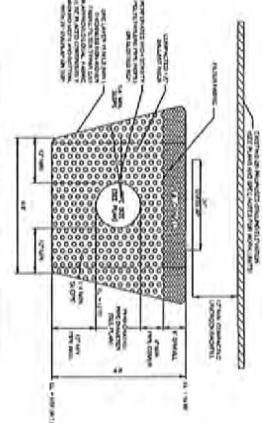
CAR WASH GRADING & DRAINAGE PLANS
PERMITTED UNDER ERP
 NO. 50-109558-P



- GENERAL GRADING NOTES**
1. ALL ELEVATIONS ARE UNLESS OTHERWISE NOTED.
 2. THE PROPOSED GRADING SHALL BE BASED UPON THE EXISTING GRADE AND THE LOCATION OF THE PROPOSED STRUCTURES AND UTILITIES.
 3. THE PROPOSED GRADING SHALL BE BASED UPON THE EXISTING GRADE AND THE LOCATION OF THE PROPOSED STRUCTURES AND UTILITIES.
 4. THE PROPOSED GRADING SHALL BE BASED UPON THE EXISTING GRADE AND THE LOCATION OF THE PROPOSED STRUCTURES AND UTILITIES.
 5. THE PROPOSED GRADING SHALL BE BASED UPON THE EXISTING GRADE AND THE LOCATION OF THE PROPOSED STRUCTURES AND UTILITIES.
 6. THE PROPOSED GRADING SHALL BE BASED UPON THE EXISTING GRADE AND THE LOCATION OF THE PROPOSED STRUCTURES AND UTILITIES.
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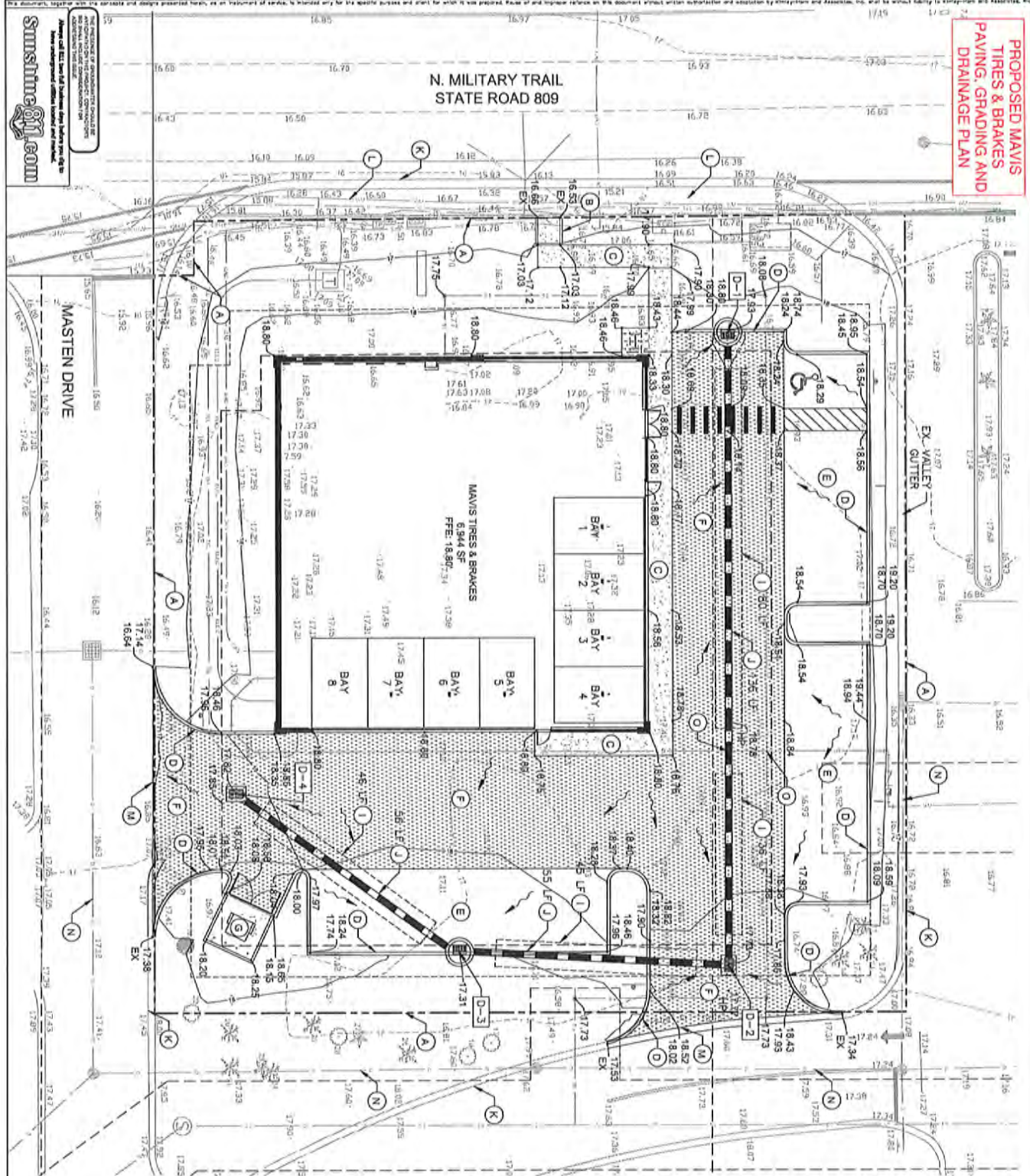
STORMWATER STRUCTURE TABLE

STRUCTURE NO.	STRUCTURE TYPE	INVERT	OUTLET	REMARKS
A-1	STORMWATER	10.00	10.00	
A-2	STORMWATER	10.00	10.00	
A-3	STORMWATER	10.00	10.00	
A-4	STORMWATER	10.00	10.00	
A-5	STORMWATER	10.00	10.00	
A-6	STORMWATER	10.00	10.00	
A-7	STORMWATER	10.00	10.00	
A-8	STORMWATER	10.00	10.00	
A-9	STORMWATER	10.00	10.00	
A-10	STORMWATER	10.00	10.00	
A-11	STORMWATER	10.00	10.00	
A-12	STORMWATER	10.00	10.00	
A-13	STORMWATER	10.00	10.00	
A-14	STORMWATER	10.00	10.00	
A-15	STORMWATER	10.00	10.00	
A-16	STORMWATER	10.00	10.00	
A-17	STORMWATER	10.00	10.00	
A-18	STORMWATER	10.00	10.00	
A-19	STORMWATER	10.00	10.00	
A-20	STORMWATER	10.00	10.00	
A-21	STORMWATER	10.00	10.00	
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A-23	STORMWATER	10.00	10.00	
A-24	STORMWATER	10.00	10.00	
A-25	STORMWATER	10.00	10.00	
A-26	STORMWATER	10.00	10.00	
A-27	STORMWATER	10.00	10.00	
A-28	STORMWATER	10.00	10.00	
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A-30	STORMWATER	10.00	10.00	
A-31	STORMWATER	10.00	10.00	
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A-98	STORMWATER	10.00	10.00	
A-99	STORMWATER	10.00	10.00	
A-100	STORMWATER	10.00	10.00	



- DETAIL A: EXFILTRATION TRENCH TRANSVERSE CROSS SECTION**
1. THE EXFILTRATION TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FILL OVER THE FILTER LAYER.
 2. THE EXFILTRATION TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FILL OVER THE FILTER LAYER.
 3. THE EXFILTRATION TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FILL OVER THE FILTER LAYER.
 4. THE EXFILTRATION TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FILL OVER THE FILTER LAYER.
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 10. THE EXFILTRATION TRENCH SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FILL OVER THE FILTER LAYER.

**PROPOSED MAVIS
TIRES & BRAKES
PAYING, GRADING AND
DRAINAGE PLAN**



- LEGEND**

- ① **RESEARCHER** (the **DATA** **ANALYST**)
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THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
CHRISTOPHER J. HOLLEN ON THE DATE ADJUNCT TO THE SEAL.
SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

67

Kimley»Horn

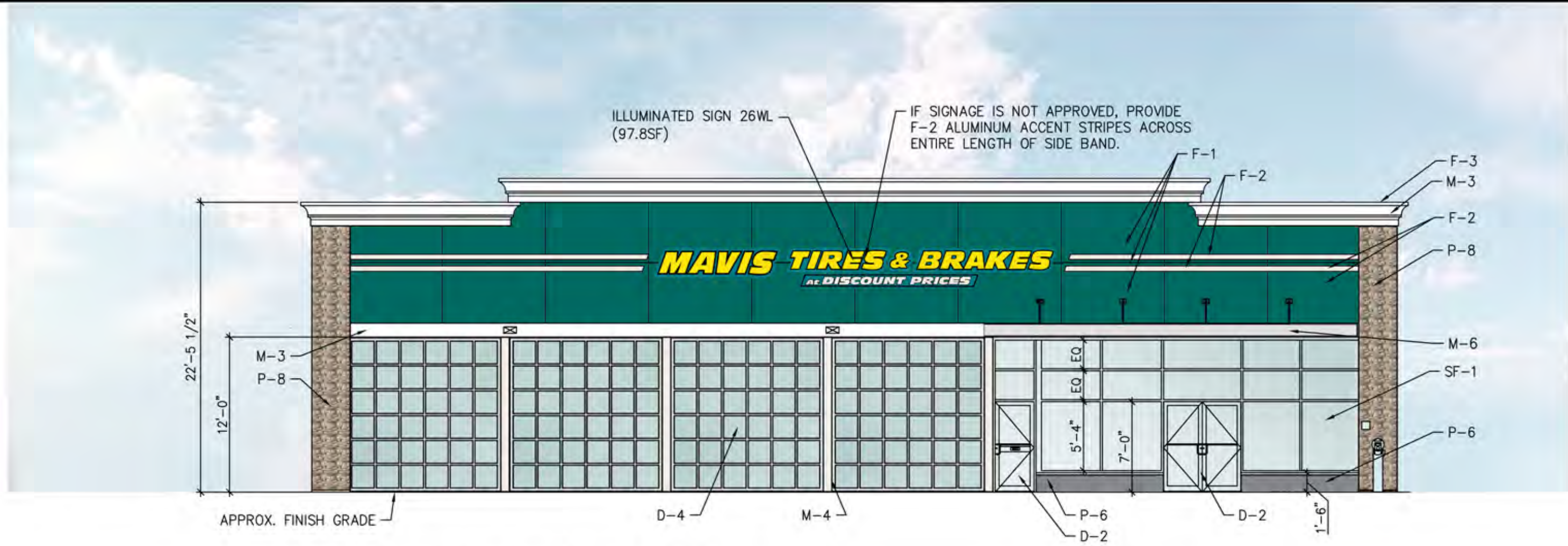
© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32900
PHONE: 772-794-4000
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

PAVING, GRADING
AND DRAINAGE PLAN

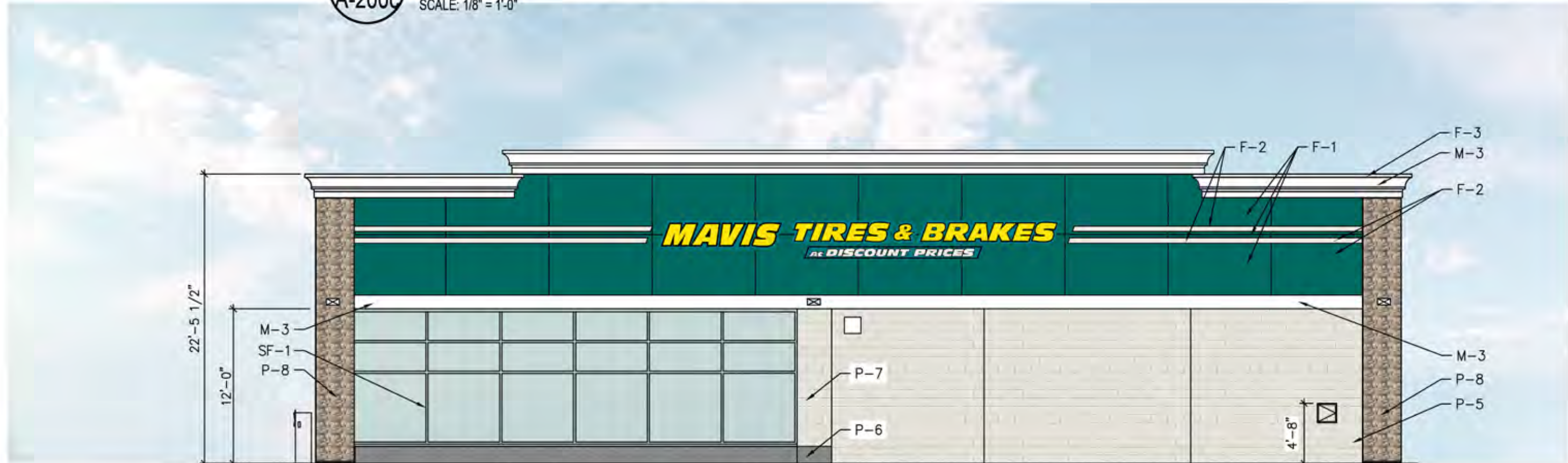
MAVIS - PALM BEACH
PREPARED FOR
MAVIS TIRE SUPPLY, LLC

BALM BEACH COUNTY FLORIDA

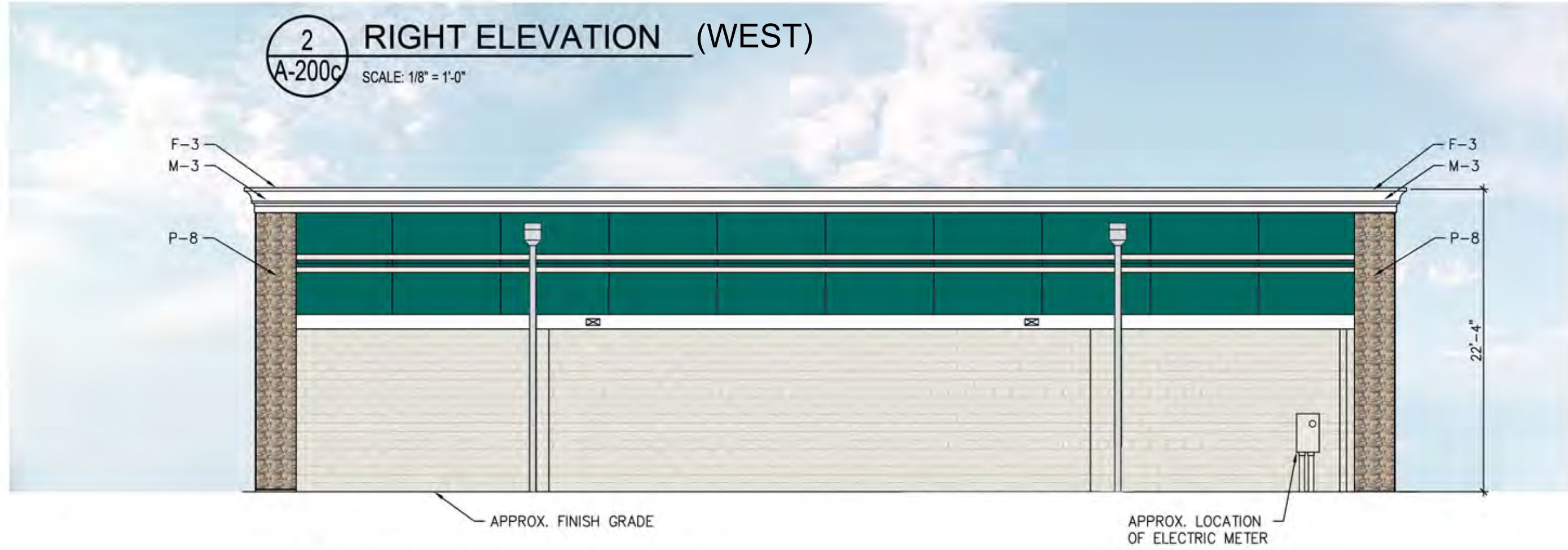
SHEET NUMBER
C-400



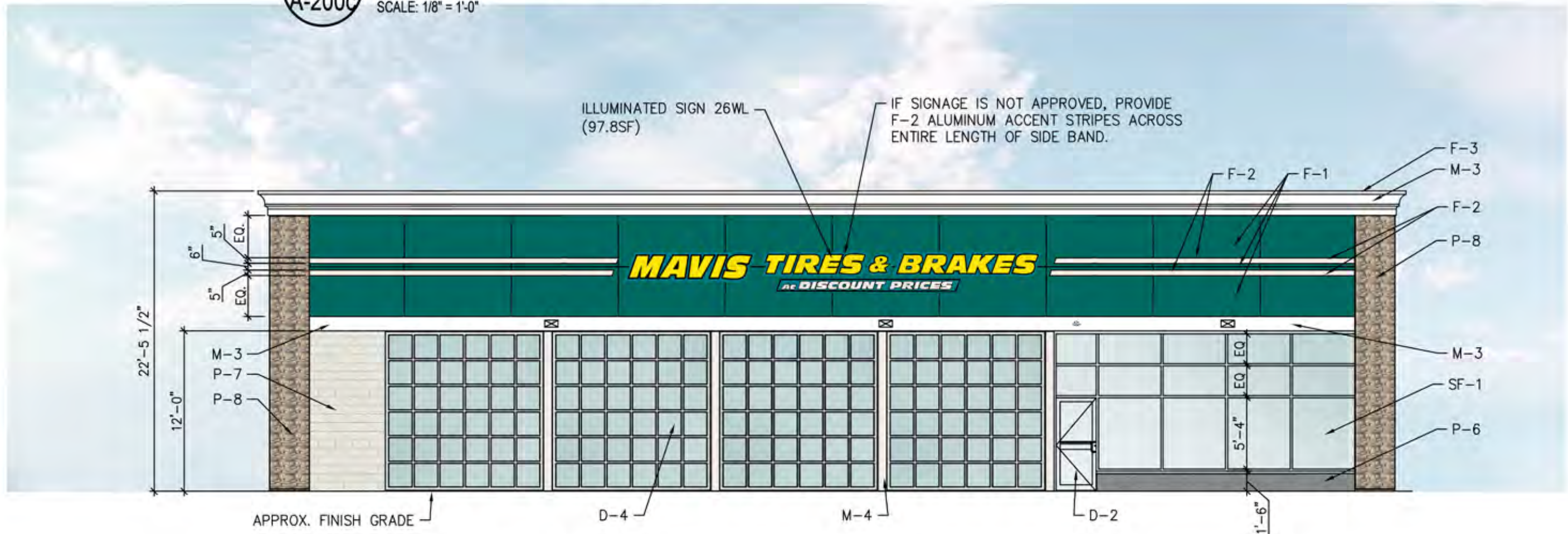
1 FRONT ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS SCHEDULE					
	MARK	MATERIAL	MANUFACTURER	STYLE/COLOR	NOTES
DOOR FINISHES	D-2	ALUMINUM STOREFRONT DOOR & FRAME	KAWNEER	COLOR: CLEAR ANODIZED ALUMINUM	INSTALL PER MFR RECOMMENDATIONS.
	D-4	ALUMINUM AND GLASS OH DOORS	RAYNOR GARAGE DOORS	RAYNOR AV200 COLOR: CLEAR SATIN ANODIZED ALUMINUM	INSTALL PER MFR RECOMMENDATIONS. RE: SPECS FOR ADDITIONAL INFO. *DOORS AT RACKING SHALL BE FIXED AND SECURE CONTACT DH PACE: ADAM POSLOSKY, ADAM.POSLOSKY@DHPACE.COM, 816-480-2361
	F-1	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL WITH RECESS TRIM WITH COUNTERSUNK FASTENERS PRIMED FOR PAINT. COLOR: #19 TEAL	INSTALL PER MFR RECOMMENDATIONS.
	F-2	ALUMINUM ACCENT STRIPE	ATAS	0.032" ALUMINUM COLOR: #26 BONE WHITE	INSTALL PER MFR RECOMMENDATIONS.
	F-3	METAL ROOF COPING	ROOF MFR	MATCH ROOF SYSTEM COLOR: MATCH WALL BELOW	INSTALL PER MFR RECOMMENDATIONS.
	F-4	EIFS BAND	DRYVIT OR APPROVED EQUAL	COLOR: #101 SUPER WHITE	INSTALL PER MFR RECOMMENDATIONS.
	M-3	EIFS CORNICE	DRYVIT OR APPROVED EQUAL	COLOR: #101 SUPER WHITE	INSTALL PER MFR RECOMMENDATIONS.
	M-4	PAINT FOR STEEL LINTELS & COLUMNS	BENJAMIN MOORE	COLOR: OC-129 ALABASTER WHITE SHEEN: LOW LUSTRE	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT- BM SUPER SPEC HP ACRYLIC PRIMER #HP04 FINISH COAT: (2) COATS- BM SUPER SPEC HP D.T.M. ACRYLIC LOW LUSTRE #HP25
	M-5	ALUMINUM GUTTERS & DOWNSPOUTS	-	COLOR: WHITE MILL FINISH	INSTALL PER MFR RECOMMENDATIONS.
	M-6	SUPER LUMIDECK FLAT SOFFIT	MAPES ARCHITECTURAL CANOPIES	STYLE/ COLOR: MAPES WHITE BAKED ENAMEL 12" SMOOTH FASCIA	INSTALL PER MFR RECOMMENDATIONS.
	P-6	PAINTED SPLIT FACE BLOCK	BENJAMIN MOORE	COLOR: HC-164 PURITAN GRAY SHEEN: LOW LUSTRE	FINISH AND INSTALL PER MFR RECOMMENDATIONS. PRIMER: (1) COAT- BM ULTRA SPEC MASONRY HI-BUILD BLOCK FILLER 571 FINISH COAT: (2) COATS- BM ULTRA SPEC ELASTOMERIC LOW LUSTRE 360
	P-7	PAINTED SPLIT FACE BLOCK	BENJAMIN MOORE	COLOR: OC-129 ALABASTER WHITE SHEEN: LOW LUSTRE	FINISH AND INSTALL PER MFR RECOMMENDATIONS. PRIMER: (1) COAT- BM ULTRA SPEC MASONRY HI-BUILD BLOCK FILLER 571 FINISH COAT: (2) COATS- BM ULTRA SPEC ELASTOMERIC LOW LUSTRE 360
	P-8	STONE VENEER	DUTCH QUALITY STONE	STYLE: WEATHER LEDGE COLOR: PRESTIGE	INSTALL PER MFR RECOMMENDATIONS.
	SF-1	ALUMINUM STOREFRONT SYSTEM	KAWNEER	COLOR: CLEAR ANODIZED ALUMINUM	INSTALL PER MFR RECOMMENDATIONS. INSTALL WITH 1" LOW-E INSULATED GLAZING. MAX U-FACTOR: U-0.32 MAX SHGC: 0.40
GENERAL NOTES: A. ALL FINISHES ON MATERIAL SCHEDULE MAY NOT BE USED B. CENTER WALL LIGHTS OVER COLUMNS, DOORS & WINDOWS, ETC., AS SHOWN U.O.N. C. MOUNTING HEIGHT OF EXTERIOR LIGHT FIXTURE ON REAR AND SIDE ELEVATIONS TO MATCH MOUNTING HEIGHT OF LIGHT FIXTURES ON FRONT ELEVATION D. SIGNAGE UNDER SEPARATE PERMIT/SUBMISSION BY SIGN VENDOR.					

EXTERIOR ELEVATION KEYNOTES	
1	16"x16" INSULATED ALUMINUM ACCESS DOOR BY BEST ACCESS DOORS. SKU # BA-PAL-16-16. FINAL COLOR SELECTION TO BE APPROVED BY OWNER AND ARCHITECT. RE: DETAIL 3/A-502 FOR ADDITIONAL INFO. (ACCESS DOOR IS FOR USE TO ACCESS OIL TANKS. COORDINATE FINAL LOCATION WITH TANK INSTALLER)
2	PROVIDE KEY DROP SLOT IN GARAGE ENTRY DOOR. FINAL INSTALLATION LOCATION TO BE DIRECTED BY MAVIS.
3	FREESTANDING AIR INFLATOR- LOCATION TO BE SITE SPECIFIC. (RE: RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFO.)
4	PROVIDE KNOX BOX WHERE REQUIRED BY JURISDICTION (PURCHASED FROM LOCAL FIRE DEPARTMENT.) MOUNT PER FIRE DEPARTMENT REQUIREMENTS ON WALL ADJACENT TO ENTRANCE. CONTRACTOR TO MAKE APPLICATION FOR KNOX BOX AND COORDINATE WITH LOCAL APPROVING AUTHORITY.
5	EXPANSION JOINT MATERIAL COLOR TO MATCH ADJACENT FINISH COLOR.
6	EXTERIOR WALL PACK LIGHT. RE: ELECTRICAL DRAWINGS.

LDG

Larson Design Group, Inc.

3000 WESTINGHOUSE DRIVE

SUITE 400

CRANBERRY TWP, PA 16606

(724) 591-8562

MAVIS TIRE SUPPLY, LLC

100 HILLSIDE AVENUE

WHITE PLAINS, NY 10603

(914) 984-2500

CLIENT

COMMENTS

DATE

MARK

MAVIS DISCOUNT TIRE

MAVIS DISCOUNT TIRE #2333 WEST PALM BEACH, FLORIDA

1098 N MILITARY TRAIL HAVERHILL, FLORIDA 33409

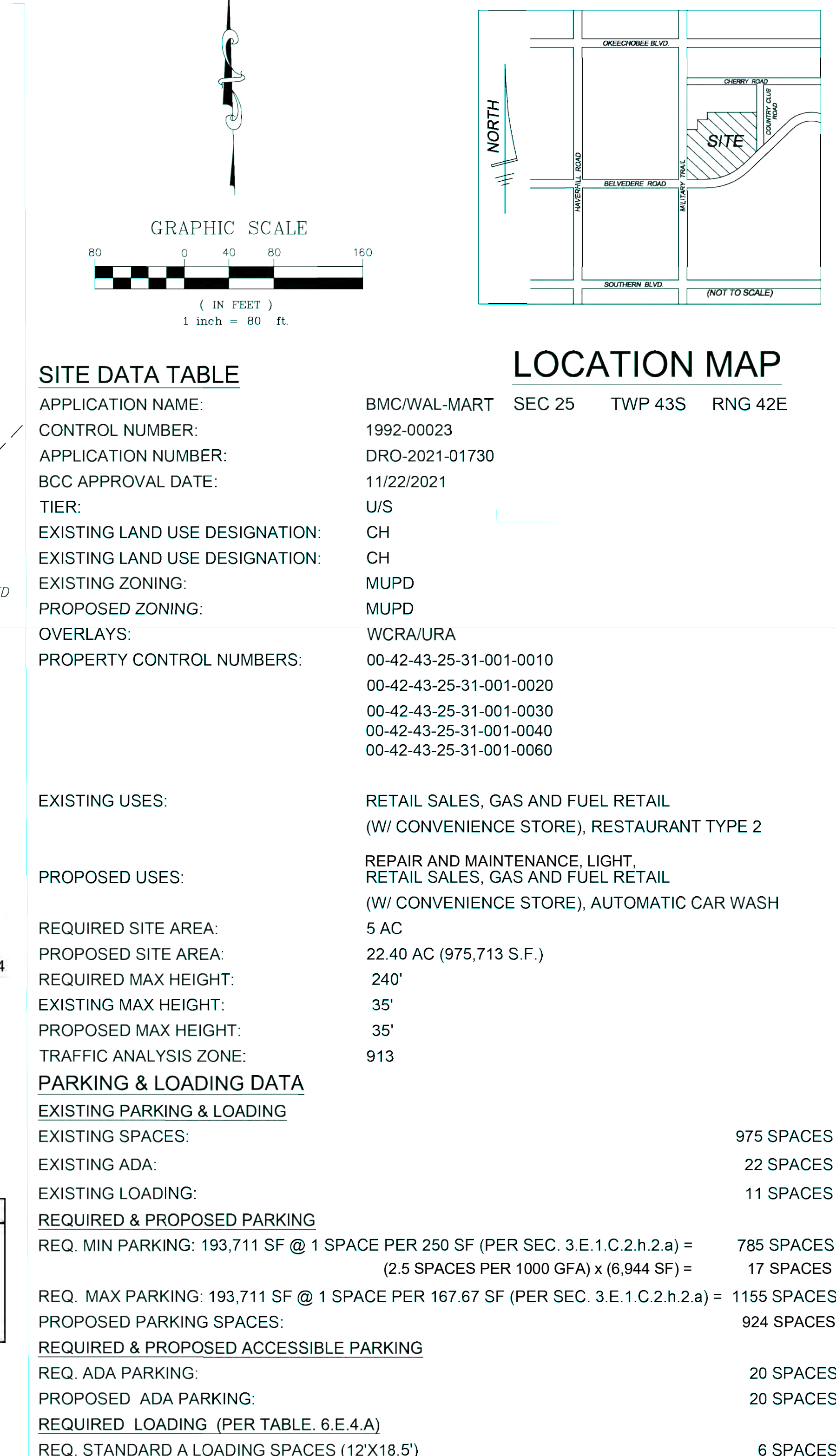
EXTERIOR ELEVATIONS - COLORED

Project No.: 11432-243

Sheet No.: FAE-1

68

BASED ON 8-BAY SQUARE PROTOTYPE DATED OCT 25 2024



PLANNED DEVELOPMENT TABULAR DATA					
LAST BCC APPROVED			PROPOSED		
ART. 4 USE CLASSIFICATION	APPROVED USE	SQUARE FOOTAGE	ART. 4 USE CLASSIFICATION	PROPOSED USE	SQUARE FOOTAGE
RETAIL, SALES	RETAIL, SALES	190,887	RETAIL, SALES	RETAIL, SALES	190,887
REPAIR AND MAINTENANCE, LIGHT	REPAIR AND MAINTENANCE, LIGHT	6,944	REPAIR AND MAINTENANCE, LIGHT	REPAIR AND MAINTENANCE, LIGHT	6,944
CONVENIENCE STORE W/ RETAIL GAS & FUEL SALES	CONVENIENCE STORE W/ RETAIL GAS & FUEL SALES	2,824	CONVENIENCE STORE W/ RETAIL GAS & FUEL SALES	CONVENIENCE STORE W/ RETAIL GAS & FUEL SALES	2,824
			-	-	-
TOTAL	-	200,655	-	-	200,655

AMENDMENT STAMP	ZONING STAMP

<u>PARKING & LOADING DATA</u>	
<u>EXISTING PARKING & LOADING</u>	
EXISTING SPACES:	975 SPACES
EXISTING ADA:	22 SPACES
EXISTING LOADING:	11 SPACES
<u>REQUIRED & PROPOSED PARKING</u>	
REQ. MIN PARKING: 193,711 SF @ 1 SPACE PER 250 SF (PER SEC. 3.E.1.C.2.h.2.a) =	785 SPACES
(2.5 SPACES PER 1000 GFA) x (6,944 SF) =	17 SPACES
REQ. MAX PARKING: 193,711 SF @ 1 SPACE PER 167.67 SF (PER SEC. 3.E.1.C.2.h.2.a) =	1155 SPACES
PROPOSED PARKING SPACES:	924 SPACES
<u>REQUIRED & PROPOSED ACCESSIBLE PARKING</u>	
REQ. ADA PARKING:	20 SPACES
PROPOSED ADA PARKING:	20 SPACES
<u>REQUIRED LOADING (PER TABLE. 6.E.4.A)</u>	
REQ. STANDARD A LOADING SPACES (12'X18.5')	6 SPACES
REQ. STANDARD B LOADING SPACES (15'X55')	5 SPACES
TOTAL REQUIRED LOADING SPACES	11 SPACES
<u>PROPOSED LOADING</u>	
PROPOSED STANDARD A LOADING SPACES (12'X18.5')	0 SPACES
PROPOSED STANDARD B LOADING SPACES (15'X55')	11 SPACES
TOTAL PROPOSED LOADING SPACES	11 SPACES

Kimley»»Horn
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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

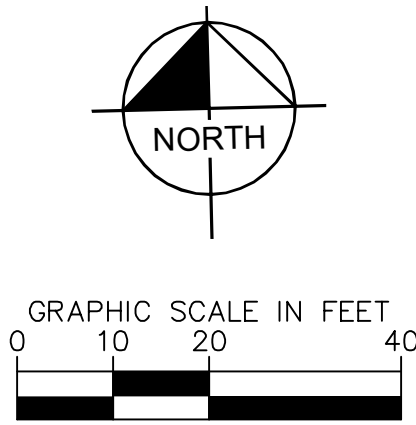
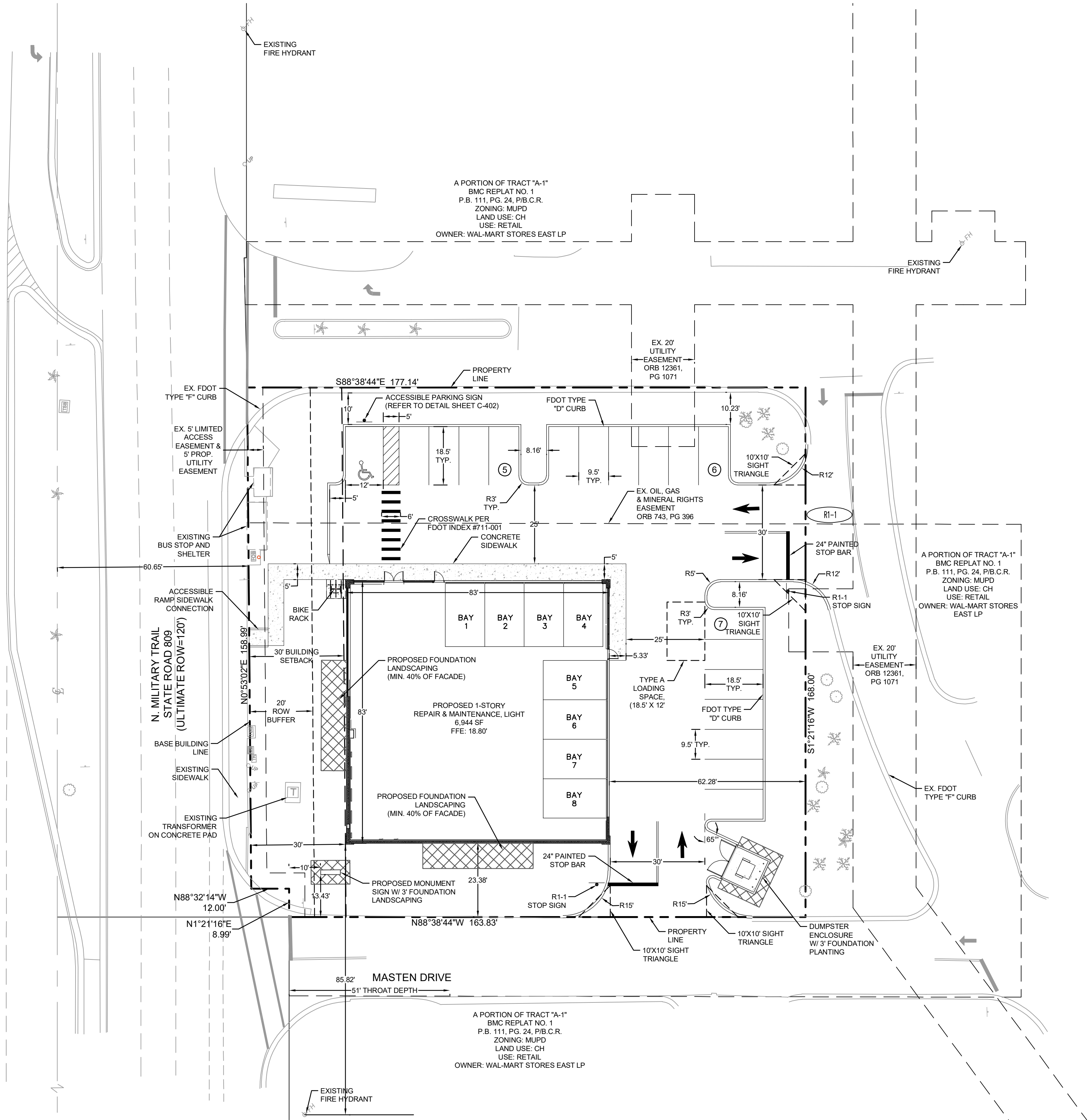
FINAL SITE PLAN
MILITARY BELVEDERE
SHOPPING CENTER - MAVIS TIRE
1098 N. MILITARY TRAIL

MAVIS - PALM BEACH
PREPARED FOR
MAVIS TIRE SUPPLY, LLC
PALM BEACH COUNTY FLORIDA

Plotted By: Meeks, Liz Sheet: Set: Mavis PBC L:\Output\FSP-3 SITE PLAN October 27, 2025 06:15:22am K:\VRB-LDEV\Mavis Tire\Paln Beach\CADD\PlanSheets\C-301 SITE PLAN.dwg This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

Always call 811 two full business days before you dig to have underground utilities located and marked.



SITE DATA	
PROJECT DESCRIPTION:	CONSTRUCTION OF A STAND ALONE TIRE AND AUTO SERVICE SHOP WITH 8 SERVICE BAYS
PARCEL ID:	00-42-43-25-31-001-0060
LOCATION:	SECTION 25, TOWNSHIP 43S, RANGE 42E
ADDRESS:	1098 N MILITARY TRAIL, WEST PALM BEACH, FL 33409
ZONING DISTRICT:	MULTIPLE USE PLANNED DEVELOPMENT (MUPD)
OVERLAY DISTRICT:	URBAN REDEVELOPMENT AREA OVERLAY DISTRICT (URAO) WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AREA OVERLAY DISTRICT (WCRAO)
LAND USE:	COMMERCIAL HIGH (CH)
PROPOSED USE:	REPAIR & MAINTENANCE LIGHT
FLOOD ZONE:	ZONE X, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12099C0578F, EFFECTIVE DATE OCTOBER 5, 2017
PROPERTY AREA:	29,470 S.F. (0.68 AC.)
PARKING SUMMARY:	REQUIRED 17 PROVIDED 17
STANDARD ACCESSIBLE TOTAL:	1* 1
* 1 SPACES REQUIRED BASED ON TOTAL PROVIDED PARKING PER ADA CODE	
PARKING CALCULATION:	(2.5 SPACE/1000 SF GFA) 6,944 SF = 17 SPACES (WCRAO REDUCTION APPLIED)

SIGN LEGEND	
	TP-21-06 ACCESSIBLE PARKING
	TP-22-06 ACCESSIBLE PENALTY
	R1-1 STOP SIGN

SYMBOL LEGEND	
	ACCESSIBLE PARKING SPACE
	PARKING STALL COUNT - DO NOT PAINT
	PROPERTY LINE

- NOTES:
- REFER TO PAVING, GRADING AND DRAINAGE DETAILS SHEET FOR PAVEMENT DETAILS.
 - REFER TO LANDSCAPE PLANS FOR LANDSCAPE DETAILS.
 - ALL STRIPING ON ROADWAYS AND DRIVE AISLES (STOP BARS, CROSSWALKS, LANE STRIPING) SHALL BE THERMOPLASTIC.
 - ALL LANDSCAPE ISLAND RADII ARE TO BE 10' OUTSIDE ADJACENT TO MAIN DRIVE AISLE AND 3' INSIDE RADII ADJACENT TO PARKING SPACE UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

LOCATION MAP

AMENDMENT STAMP

ZONING STAMP

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
CHRISTOPHER J. HOLLEN ON THE DATE ADJACENT TO THE SEAL
SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
145199002	9/29/2025	AS SHOWN	ESM	ESM	CJH

FINAL SITE PLAN
MILITARY BELVEDERE
SHOPPING CENTER - MAVIS TIRE
1098 N MILITARY TRAIL

MAVIS - PALM BEACH
PREPARED FOR
MAVIS TIRE SUPPLY, LLC
PALM BEACH COUNTY
FLORIDA

SHEET NUMBER
TSP-3

REVISIONS

DATE

JUSTIFICATION STATEMENT
Military Belvedere Shopping Center – Mavis Tire
Palm Beach County Development Review Officer (DRO) Application
Original Submittal: October 27, 2025 (Westgate CRA)

Introduction

MAVIS SOUTHEAST, LLC (“Applicant”) is the contract purchaser of the ±0.68-acre (29,538.04 square foot) property located at 1098 North Military Trail (“Property”), which is generally located on the east side of North Military Trail approximately 0.10 miles north of Belvedere Road within unincorporated Palm Beach County (“County”). The Property is an outparcel located within the Military Belvedere Shopping Center Multiple Use Planned Development (“MUPD”) and is identified by the Palm Beach Property Appraiser Parcel Control Number 00-42-43-25-31-001-0060. The Property is designated CH, Commercial High, on the County’s Future Land Use Map, is located within the MUPD, Multiple Use Planned Development, zoning district. Further, the MUPD is within the County’s RRIO, Revitalization and Redevelopment Overlay, URA, Urban Redevelopment Area, and the UH, Urban Highway, subdistrict of the Westgate Community Redevelopment Area Overlay (“WCRAO”). The Property was previously developed as a severely blighted restaurant, which was recently demolished and is now prime for redevelopment within this designated redevelopment area. Most recently, the Property was approved for use as a car wash, which is no longer feasible due to changes in the market. At this time, Applicant seeks to redevelop the Property into a tire and auto service center with eight (8) service bays (“Project”).

Application Request

According to the County’s Unified Land Development Code (“ULDC”) Article 4, Table 4.B.2.A – Commercial Use Matrix, a Repair and Maintenance, Light use is subject to Development Review Officer (“DRO”) approval. As such, Applicant respectfully requests approval for:

- DRO Approval to allow a 6,889 square foot Repair and Maintenance, Light, use with eight (8) service bays and eighteen (18) parking spaces (“Tire and Auto Service Center”) and reconfigure the approved Site Plan to accommodate the proposed use.

Every effort was made to preserve in place the existing trees on the site but due to the size of the property (under $\frac{3}{4}$ of an acre) a few trees will need to be removed. See attached Survey and Final Site Plan (FSP-3) for the trees that are able to be preserved in place.

The Project was the subject of Preliminary Agency Review (PAR) by County Zoning staff on June 11, 2015 (PAR-2025-00765) and submitted to the Westgate CRA staff on October 27, 2025. The Westgate CRA Board reviewed the preliminary site plan and overall MUPD site plan at their November 7, 2025, regular meeting and (WCRAO decision to be added here) (See attached letter from Westgate CRA).

Compatibility with Surrounding Uses

The Project is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the Property. Below is a summary of surrounding properties:

Adjacent Lands	Uses	FLU	Zoning
Subject Property	Vacant – Approved Car Wash (unbuilt)	CH/8	MUPD
North	Car Dealership (part) & PBIA and PBC Vacant land for drainage (part)	CH/8 (part) & UT (part)	CG/SE (part) & PO (part)
South	Type I Restaurant and PBIA	CH (part) & UT (part)	CC/SE (part) & PO (part)
East	PBIA and PBC Vacant land for drainage	UT	PO
West	Town of Haverhill Commercial Shopping Center with (Retail, Restaurant, Liquor Store and personal services)	Commercial	C-1

- North: The property located to the north of the Property is the +/- 4.74 acre car dealership development, which is approved and used for sales and service of automobiles. (Control No. 1990-00009), is designated Industrial (CH/8) on the County's FLUA and is located within a CG/SE zoning district.
- South: The property located across Belvedere Road is developed as the +/- 0.83-acre Kentucky Fried Chicken Development (Control No. 2000-00092), which is designated CH on the County's FLUA and is located within the CC/SE zoning district.
- East: The property located east of the Property is the +/- 2.28 acre open parcel of land which is controlled by the County (Control No. 1992-00023), is designated Commercial High (U/T) on the County's FLUA and is located within the PO zoning district. This property was originally a part of the MUPD, was conveyed to the County as a part of Resolution R-2003-0940.
- West: The property located to the west of the Property is made up of various commercial zoned properties which are controlled by the Town of Haverhill. These properties are designated as CH/8 on the Town of Haverhill's FLUA and is zoned CG/SE. Uses served on this property include gas station, restaurants, and retail establishments.

Property History

The County has approved several zoning applications for the MUPD, as detailed below. The most recently approved site plan of record is the Military Belvedere Shopping Center (Control Number 1992-23) – Exhibit No. 57 (Pages 1-3), which was approved on March 10, 2023 by the County DRO. The latest Palm Beach County Board of County Commissioners approval was on November 22, 2021 (Resolutions R-2021-1754, R-2021-1755, & R-2021-1756).

Application No.	Title & Request	Resolution	Decision	Approval Date
Z/SE-1992-00023	Title: Official Zoning Map Amendment Request: Rezoning from Multi-Family (medium density) (RM) zoning district to General Commercial (CG) zoning district	R-1993-00508	Approved	04/20/1993
Z/SE-1992-00023	Title: Special Exception Request: Special Exception	R-1993-00509	Approved With Conditions	04/20/1993
SA/DOA-1992-00023	Title: Development Order Amendment Request: reinstate the previously approved development order (R-93-509) for a development order amendment to redesign the site plan and modify conditions of approval	R-1997-01292	Approved With Conditions	09/25/1997
EAC-1992-00023	Title: Expedited Application Consideration Request: Reconfigure Master plan and increase phases	R-2000-01708	Approved	10/26/2000
PDD/DOA-1992-00023	Title: Official Zoning Map Amendment to a Planned Development District Request: Rezone from commercial to MUPD	R-2001-01667	Approved	10/02/2001
PDD/DOA-1992-00023	Title: Development Order Amendment Request: Rezone from commercial to MUPD	R-2001-01668	Approved	10/02/2001
DOA-1992-00023	Title: Development Order Amendment Request: To delete land area (schedule for June 26 2003)	R-2003-00940	Approved	06/26/2003
LGA-2008-00028			Adopted	12/03/2008
ABN/DOA/CA-2021-00249	Title: a Development Order Abandonment	R-2021-01754	Adopted	11/22/2021

	Request: to abandon a Special Exception to allow Retail Gas and Fuel Sales and Convenience Store.			
ABN/DOA/CA-2021-00249	Title: a Development Order Amendment Request: to modify the Site Plan; add and delete square footage; and, modify Conditions of Approval.	R-2021-01755	Adopted With Conditions	11/22/2021
ABN/DOA/CA-2021-00249	Title: a Class A Conditional Use Request: to allow Retail Gas and Fuel Sales with a Convenience Store.	R-2021-01756	Adopted With Conditions	11/22/2021

There have also been several Zoning Administrative Amendments over the years to reconfigure parking areas, amend signage, and other minor changes to the site plan.

Development Review Officer (DRO) Administrative Review Standards

Applicant will demonstrate below that the requested Administrative Modification to a Development Order complies with the standards enumerated in Article 2.C.5.B.2 of the County's Unified Land Development Code ("ULDC").

a. Consistency with the Plan

The Project is consistent with the purposes, goals, objectives, and policies in the Plan, including standards for densities, and intensities of use. The Property is designated CH on the County's Future Land Use Map, which is consistent with the existing MUPD zoning district and is intended for commercial uses such as the proposed Tire and Auto Service Center. More specifically, the Project is consistent with the following Comprehensive Plan Policies:

Objective 1.1 Managed Growth Tier System, #5. *Facilitate and support infill development and revitalization and redevelopment activity through coordinated service delivery and infrastructure upgrades;*

This objective encourages infill development and redevelopment activity, which is exactly what the Project accomplishes. The Property was previously developed with restaurant use but unfortunately it closed and the Property has been intermittently used for temporary food trucks. The restaurant building was demolished in August 2025, and a car wash is currently approved on the Property, which is no longer viable in this location. Approval of the Project to allow a modern Light Repair and Maintenance in this location will serve to eliminate the blight caused by a vacant commercial lot and allow the Property to once again contribute to this vibrant community.

Policy 1.2-b: *Palm Beach County shall encourage and support sustainable urban development, including restoration, infill and adaptive reuse.*

As noted above, the Property is located within the Military Belvedere Shopping Center MUPD at the northeast corner of North Military Trail and Belvedere Road, and area that has been developed for several decades. The previous restaurant use and approved car wash use are no longer viable on the Property, and it is a prime infill redevelopment opportunity located within a designated redevelopment area.

The proposed FAR is permissible with regard to the 0.85 maximum floor area ratio set forth in Table 2.2-e.1 of the Plan, as the proposed FAR for the overall MUPD is 0.20. Further, the services and facilities will meet or exceed the levels of service standards identified per Policy 3.5-a of the Plan.

b. Consistency with the Code

The Project complies with the applicable standards and provisions of the County ULDC for use, layout, function, and general development characteristics. The requested DRO Approval to allow the Project and to reconfigure the site plan does not affect the MUPD's consistency with the ULDC. The Project is consistent with ULDC Articles 2, 3, 4, 5, 6, 7 and 8 as shown on the preliminary site plan and detailed below:

Article 2: The Project is consistent with Article 2 as it relates to the DRO administrative review procedures and application requirements.

Article 3: The Project is consistent with Article 3 as it relates to the MUPD zoning district, as well as the Westgate CRA Overlay specifically:

The Project meets the intent of ULDC Table 3.B.14.E – WCRAO Sub-area Use Regulations in that a Light Repair and Maintenance is permitted subject to supplementary standards listed in 4.B.2.C.4.

The proposed use meets the intent of ULDC Table 3.B.14.F – WCRAO Non-Residential and Mixed Use Sub-area PDRs, in that the preliminary site plan:

- Meets the minimum setbacks for UH as follows:
 - Front or Side Street: 10 feet Min. (30 feet provided – west side of building); (Note: there are no side and rear setbacks as the lot lines are internal to an existing MUPD)

Article 4: The Project is consistent with Article 4 as it relates to the use regulations, specifically in Article 4.B.2.C.4 – Light Repair and Maintenance as outlined below:

29. Repair and Maintenance, Light

a. Definition

An indoor establishment engaged in the minor repair or maintenance of automobiles, light duty commercial vehicles rated one ton capacity or less, boats, motorcycles, personal watercraft, golf carts, mopeds, lawn mowers, major household appliances, or household furniture.

Response: The proposed Tire and Auto Center is consistent with this definition as the proposed repair and maintenance will occur indoors within the proposed building, including automobiles, light duty commercial vehicles rated one ton capacity or less, and other vehicles of lesser size as needed.

b. Typical Uses

Light Repair and Maintenance establishments may include but are not limited to tune-up stations, glass shops, quick-lube stations, muffler shops, upholstery shops, tire installation and service, alignment shops, replacement of brake linings, and lawn mower repair and maintenance.

Response: The proposed Tire and Auto Center is consistent with the Typical Uses as the services provided will include tune-up stations, quick-lube stations, muffler replacement, tire installation and service, alignment shops, and the replacement of brake linings.

c. Overlay – Westgate Community Redevelopment Area Overlay (WCRAO)

Light Repair Maintenance uses are prohibited in the NR, NRM, NG, and NC Sub-areas, as outlined in Table 3.B.14.E, WCRAO Sub-area Use Regulations.

Response: This criterion is not applicable as the Property is located within the UH sub-area of the WCRAO.

d. Zoning Districts – CN and CC District and Commercial Pod of PUD

Shall be limited to a maximum of 5,000 square feet of GFA.

Response: This criterion is not applicable as the Property is located within the MUPD zoning district.

e. Accessory Use

Light Repair and Maintenance may be Permitted by Right as an accessory use to Heavy Repair and Maintenance.

Response: This criterion is not applicable as the proposed Tire and Auto Center is not associated with or accessory to a Heavy Repair and Maintenance use.

f. Setbacks

No repair or maintenance building, structure, or activity shall be allowed within 100 feet of any parcel of land with a residential FLU designation or use.

Response: Not applicable as the proposed Tire and Auto Center is not within 100 feet of any parcel of land with a residential FLU designation or use. In fact the nearest residential property/use is on the west side of Military Trail and the ultimate ROW for this roadway is 120 feet.

g. Nuisances

1) Enclosed Repair Activities

All repair and maintenance activities shall be conducted within an enclosed structure.

Response: Complies as all repair and maintenance activities will be conducted within the proposed building. Scrap tires are stored inside the building and are removed on a weekly basis, or more frequently if the storage area fills up. A licensed recycling company, specializing in tire and scrap metal disposal, handles the pickup and ensures proper recycling in compliance with environmental regulations. New and used oil & fluids are stored in holding drums within the building.

2) Vehicle or Equipment Testing on Residential Streets

Testing of vehicles, equipment, or other similar shall be prohibited on Residential Streets.

Response: Complies as there will be no testing of vehicles, equipment, or other similar activity on Residential Streets.

h. Outdoor Parking or Storage

1) The outdoor storage of disassembled vehicles, equipment, or parts shall be prohibited.

Response: The proposed Tire and Auto Center operates entirely indoors and will comply with this provision.

2) All vehicles or equipment shall be stored in designated storage areas, except for the following:

a) Automobiles dropped off by customers may be temporarily parked in designated parking spaces, not to exceed a maximum of one 24-hour period; and

b) Automobiles placed for customer pick-up may be temporarily parked in designated parking spaces, not to exceed a maximum of one 24-hour period.

Response: The proposed Tire and Auto Center will comply with these provisions.

Article 5: The proposed Tire and Auto Service Center is consistent with Article 5 Supplementary Use Standards, specifically the following:

The proposed uses meet the standards listed in ULDC Art.5, Supplementary Standards, as follows:

- Per ULDC Art.5.B.1.A.8 a dumpster and recycling area has been provided with enclosure, gates and the required landscape hedge shown.

Article 6: The proposed Tire and Auto Service Center is consistent with Article 6 Parking, specifically the following:

- The Project meets the standards listed in ULDC Art.6, Parking, as follows:
 - Per ULDC Table 6.A.1.B, Minimum Off-Street Parking and Loading Requirements, the project will provide the minimum off-street parking spaces for the uses as follows:
 - Light Repair and Maintenance – Parking: 2.5 spaces per 1,000 SF @ 6,944 SF = 17 spaces
Required: 17 spaces
Provided: 17 spaces
(Note: 2.5 SPACE/1000 SF GFA WCRAO Reduction Applied)
 - Per ULDC Table 6.A.1.D, Parking Space for Persons Who Have Disabilities, the proposed uses meet the required spaces for persons who have disabilities as follows:
 - Requires 1 ADA space, provided 1 ADA spaces with access to building and ROW.
 - Per ULDC Table 6.E.2.B, Minimum Loading Requirements
 - Proposed Light Repair and Maintenance use meets the minimum off-street loading spaces for the uses as follows:

- Light Repair and Maintenance: Standard “A”
A loading space not required as the Project is under 10,000 SF according to ULDC Sec. 6.E.2.B.1. However a 18.5’ x 12’ loading space is shown in drive aisle on the east side of the building.

Article 7: The proposed uses are consistent with Article 7 Landscaping, specifically the following:

- The proposed amendment meets the standards listed in ULDC Art.7, Landscaping, as follows:
 - Per ULDC Art.7.C.2, Perimeter Buffers, the project provides 20-foot ROW landscape buffers along N Military Trail. All other property line buffers are interior to the MUPD and the minimum 10’ divider medians are shown.
 - Per ULDC Art.7.C.3.B, Foundation Planting, the project provides the minimum 8-foot width along the west and south sides of the building. The Tire and Auto Center bay door openings are exempt from this requirement on the north and east sides of the building.

Article 8: The Project will be designed consistent with Article 8 Signage. The Applicant is proposing a monument sign as permitted by Article 8 for an outparcel of an MUPD.

c. Adequate Public Facilities

The proposed use complies with Art. 2.F, Concurrency (Adequate Public Facility Standards). The subject property is located within the Urban/Suburban Tier in the Urban Service Area with frontage along an Urban Principal Arterial Roadway (N. Military Trail). Detailed information on each of the required facilities and services can be found below:

- a. **Traffic:** Please see attached traffic study by Kimley-Horn. and their conclusion that the proposed development meets the requirements of the Palm Beach County Traffic Performance Standards.
- b. **Mass Transit:** The nearest Palm Tran Route is Route #3 – PBG - BCR via MILITARY and Route #44 – WPB X-TOWN via BELVEDERE. The nearest bus stops are directly in from of property: Bus Stop ID#1228, Name: MILITARY TRL & DURHAM ST (northbound) and across Military Trail Bus Stop ID#1041, Stop Name: MILITARY TRL @ DURHAM ST (southbound).
- c. **Potable Water and Wastewater:** Potable water and wastewater service will be provided by Palm Beach County Water Utilities Department who has capacity and availability and currently services the existing development on the Property.
- d. **Drainage:** The Property is within the boundaries of the Lake Worth Drainage District (LWDD). Legal positive outfall will be provided by piped connections to a drainage canal to the east. Drainage leaving the proposed system will be routed through outfall structures to meet water quality requirements before discharging offsite into existing exfiltration system serving the western portion of the MUPD system and ultimately the

SFWMD C-10 Canal. Please refer to the Drainage Statement prepared by Bowman Consulting Group, Ltd. being included with this application.

- e. **Fire Rescue:** The nearest Palm Beach County Fire Rescue station is Station #24 (1734 Seminole Boulevard) located approximately 1.4 miles from the subject property.

Conclusion

In conclusion, the Project is consistent with the Goals, Objectives, and Policies of Palm Beach County Comprehensive Plan, the ULDC and the Westgate/Belvedere CRA regulations. The Project is also compatible with the surrounding area, which is commercial in nature of this area of Palm Beach County. On behalf of the Applicant, Miskel & Backman, LLP and Kimley Horn and Associates, as co-agents, respectfully request approval of this DRO application.

ALTA/NSPS LAND TITLE SURVEY

GENERAL SURVEY NOTES:

1. BEARING STRUCTURE IS BASED ON THE MONUMENTED EAST R/W LINE OF MILITARY TRAIL, BEING S01°45'32"W PER DESC.

2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.

3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (McKIM & CREED) AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ENGINEER AND CONTRACTOR SHALL VERIFY MEASUREMENTS OF CONNECTIONS TO EXISTING UTILITIES BEFORE ORDERING MATERIALS AND BEFORE COMMENCEMENT OF CONSTRUCTION. IF THERE IS A DISCREPANCY BETWEEN THE MEASUREMENTS SHOWN HEREON AND THE VERIFYING MEASUREMENTS, THIS SURVEYOR SHALL BE CONTACTED IMMEDIATELY TO FURTHER VERIFY THE DISCREPANCY.

4. THIS SITE LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 12099C0578F, COMMUNITY NO. 120192, UNINCORPORATED PALM BEACH COUNTY, FLORIDA, HAVING AN EFFECTIVE DATE OF OCTOBER 5, 2017.

5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.

6. THIS SURVEY MADE WITH BENEFIT OF COMMITMENT FOR TITLE NO. 16-25-0134, EFFECTIVE: APRIL 8, 2025, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN SCHEDULE A OF THE TITLE COMMITMENT.

7. THIS **"BOUNDARY AND TOPOGRAPHIC SURVEY"** WAS MADE IN ACCORDANCE WITH LAWS AND/OR STANDARDS OF PRACTICE FOR THE STATE OF FLORIDA.

8. THIS SURVEY IS VALID ONLY TO THE PARTIES TO WHOM IT IS CERTIFIED AND IS NON-TRANSFERABLE.

9. THE PROPERTY IS CONTIGUOUS WITH N MILITARY TRAIL (STATE ROAD 809), A PAVED PUBLIC RIGHT-OF-WAY.

10. OBSERVABLE SURFACE EVIDENCE OF UTILITIES SERVING THE PROPERTY AND STORM DRAINAGE FACILITIES ARE SHOWN HEREON.

11. ALL PARCELS AND/OR LOTS SHOWN HEREON ARE CONTIGUOUS BETWEEN SAID PARCELS AND/OR LOTS AND DO NOT CREATE ANY GAPS, GORES OR HIATUSES.

12. NO SURFACE EVIDENCE OF SITE USE AS A CEMETERY WAS OBSERVED.

13. ELEVATIONS ARE BASED ON BENCHMARK DESIGNATION S 75, BEING: 17.845 FEET, (NAVD 1988), PUBLISHED BY PALM BEACH COUNTY.

14. THE MAPPED FEATURES SHOWN HEREON ARE RELATIVE TO FLORIDA STATE PLANE COORDINATE SYSTEM EAST ZONE, NAD(83)-(2011)-(EPOCH 2010.0000), ESTABLISHED PER FDOT FPRN. THE COORDINATE SYSTEM AND DISPLAYED UNITS ARE IN U.S. SURVEY FEET.

NOTES PERTAINING TO TABLE A ITEMS OF ALTA/NSPS LAND TITLE SURVEY STANDARDS:


ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

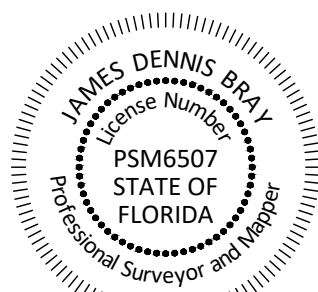
ALTA/NSPS Land Title Survey Certification

TO: MAVIS SOUTHEAST LLC; FIDELITY NATIONAL TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 7(b), 7(c), 8, 9, 11(a), 11(b), 13, and 16 of Table A thereof. The field work was completed on 05/01/2025.

Date: 05/01/2025


JAMES D. BRAY PSM 6507



Altamax Surveying
910 Belle Avenue, Suite 1100
Casselberry, FL 32708
Phone: 407-677-0200
Licensed Business No. 7833
www.altamaxsurveying.com
James@altamaxsurveying.com



SCHEDULE B-2 EXCEPTIONS NOTES:

6. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of BMC Replat No. 1, recorded in Plat Book 111, Page 24 through 26, inclusive, of the Public Records of Palm Beach County, Florida. (ON SUBJECT PROPERTY-BLANKET IN NATURE)

7. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of BMC Plat, recorded in Plat Book 86, Page 162 through 164, inclusive, of the Public Records of Palm Beach County, Florida. (ON SUBJECT PROPERTY-BLANKET IN NATURE)

8. Terms, covenants, conditions and restrictions contained in Resolution Fixing Setback Requirements recorded in Deed Book 1145, Page 510, of the Public Records of Palm Beach County, Florida. (ON SUBJECT PROPERTY-BLANKET IN NATURE. CONTAINS CONDITIONAL BUILDING SETBACK REQUIREMENTS THAT ARE NOT GRAPHICALLY DEPICTED HEREON. THE SETBACKS ARE MEASURED FROM THE CENTERLINE OF MILITARY TRAIL)

9. Restrictions, covenants, and conditions as set forth in those instruments recorded in Covenants, conditions, restrictions and easements contained in Declaration of Unity of Control and Cross Easements/Architectural Restrictive Covenants recorded in Official Records Book 11511, Page 1567, as amended by Supplemental Declaration of Covenants, Conditions and Restrictions recorded December 30, 1999 in Official Records Book 11537, Page 1507, and First Amendment to Declaration to Unity of Control and Cross Easements/Architectural Restrictive Covenants recorded in Official Records Book 34968, Page 1865 and Official Records Book 34968, Page 1877 as may be subsequently amended, of the Public Records of Palm Beach County, Florida. (ON SUBJECT PROPERTY-BLANKET IN NATURE)

10. Utility Easement in favor of Palm Beach County, Florida (Water Utilities Department) recorded in Official Records Book 12361, Page 1071, of the Public Records of Palm Beach County, Florida, and shown on survey prepared by Richard E. Cousins, PSM No. 4188 for Cousins Surveyors and Associates, Inc., under Project No. 9585-21. (ON SUBJECT PROPERTY-SHOWN HEREON)

11. Oil, gas and mineral rights in favor of the Everglades Drainage District (now South Florida Water Management Drainage District) reserved by Deed recorded in Deed Book 743, Page 396. (As to Parcel II - Easement) (ON SUBJECT PROPERTY-SHOWN HEREON)

12. Terms, conditions, and provisions of Avigation and Clearance Easement recorded in Official Records Book 1664, Page 1709. (As to Parcel II - Easement) (ON OVERALL PLAT-DOES NOT TOUCH SUBJECT PROPERTY)

13. Easements in favor of Florida Power & Light Company recorded in Official Records Book 2154, Page 450, partially released in Official Records Book 15538, Page 1727; Official Records Book 20075, Page 256. (As to Parcel II Easement) (ON OVERALL PLAT-DOES NOT TOUCH SUBJECT PROPERTY)

14. Easements in favor of Golfview Shopping Plaza Associates recorded in Official Records Book 4532, Page 442 and Official Records Book 4532, Page 445, as assigned to Palm Beach County in Official Records Book 9859, Page 1881. (As to Parcel II - Easement) (ON OVERALL PLAT-DOES NOT TOUCH SUBJECT PROPERTY)

15. Avigation easement and clearance zone in favor of Palm Beach County contained in Agreed Order of Taking recorded in Official Records Book 5496, Page 1293. (As to Parcel II - Easement) (ON OVERALL PLAT-DOES NOT TOUCH SUBJECT PROPERTY)

ZONING INFORMATION:

NOT PROVIDED AT TIME OF SURVEY.

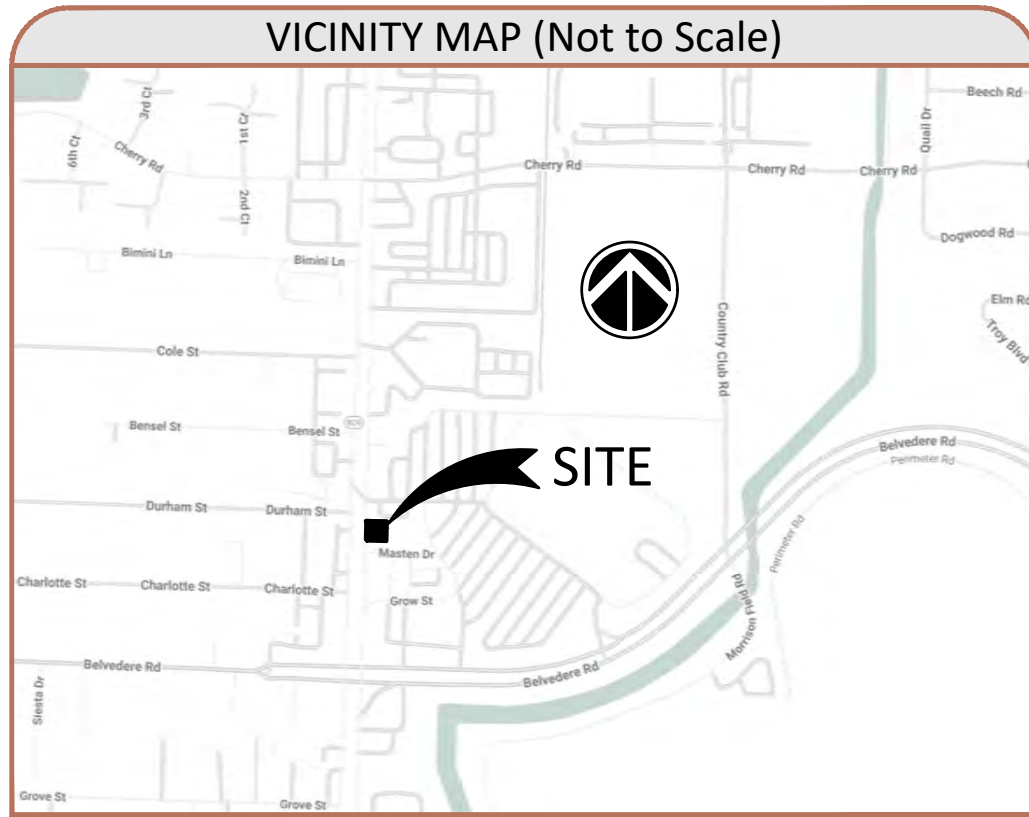
PARKING COUNT:

REGULAR SPACES: 0
HANDICAP SPACES: 0
TOTAL SPACES: 0

NOTE: PARKING SPACES ARE FADED AND NOT WELL DEFINED

LAND AREA:

29,470 SQUARE FEET
0.6765 ACRES
MORE OR LESS.



LEGEND	
AC	- AIR CONDITIONER
BB	- BOTTOM OF BANK
BHM	- BUILDING HEIGHT MEASUREMENT
BF	- BACK FLOW PREVENTER
B	- BENCHMARK
0	- BOLLARD
-E	- BURIED ELECTRIC LINE
-C	- BURIED CABLE TELEVISION LINE
CALC	- CALCULATED
C&M	- CALCULATED & MEASURED
A	- CENTRAL ANGLE
CBW	- CONCRETE BLOCK WALL
CC	- COVERED CONCRETE
CCR	- CERTIFIED CORNER RECORD
CF	- CONCRETE FLUME
CHW	- CONCRETE HEADWALL
CLF	- CHAIN LINE FENCE
C	- CENTERLINE
CM	- CONCRETE MONUMENT
CMP	- CORRUGATED METAL PIPE
+CO	- CLEAN OUT
CONC	- CONCRETE
COVD	- COVERED
CP	- CONCRETE PAD
CRB	- CURB INLET
CW	- CONCRETE WALKWAY
D	- DESCRIBED
DB	- DEED BOOK
DE	- DRAINAGE EASEMENT
DI	- DUMPSTER
DW	- DRIVEWAY
EN	- EASEMENT NUMBER
EB	- ELECTRIC BOX
EM	- ELECTRICAL METER
EL	- ELEVATION
ESMT	- EASEMENT
EP	- EDGE OF PAVEMENT
FDOT	- FLORIDA DEPARTMENT OF TRANSPORTATION
FPRN	- FLORIDA PERMANENT REFERENCE NETWORK
FIRM	- FLOOD INSURANCE RATE MAP
FFE	- FINISHED FLOOR ELEVATION
FM	- FIRE HYDRANT
FM	- BURIED FORCE MAIN LINE
FND	- FOUND
FO	- BURIED FIBER OPTIC CABLE LINE
FOC	- FIBER OPTIC CABLE BOX
FP	- FLAG POLE
GS	- BURIED GAS LINE
G	- GAS METER
GVS	- GAS VALVE
G	- GREAT TRAP MANHOLE
Y	- GUY WIRE ANCHOR
H	- HANDICAP PARKING
HDPF	- HIGH DENSITY POLYETHYLENE PIPE
INST#	- RECORD INSTRUMENT#
IR	- INVERT ELEVATION
IR	- IRON PIPE
IR	- IRON ROD
L	- ARC LENGTH
LB	- LICENSED BUSINESS
LS	- LIGHT POLE
LS	- LICENSED SURVEYOR
LSA	- LANDSCAPED AREA
MF	- METAL FENCE
MS	- METAL SHED
END	- MITERED END SECTION
M	- MONITORING WELL
NAD	- NAD 83
NAVD	- NORTH AMERICAN VERTICAL DATUM
NAD	- NORTH AMERICAN DATUM
NGVD	- NATIONAL GEODETIC VERTICAL DATUM
NTS	- NOT TO SCALE
ORB	- OFFICIAL RECORDS BOOK
OW	- OVERHEAD WIRE
PB	- PLAT BOOK
PC	- POINT OF CURVATURE
PCC	- POINT OF COMPOUND CURVATURE
PP	- PER PLANS
PR	- PAGE
PI	- POINT OF INTERSECTION
PGB	- POINT OF BEGINNING
POC	- POINT OF COMMENCEMENT
PRC	- POINT OF REVERSE CURVATURE
PPS	- PARKING SPACES
PSM	- PROFESSIONAL SURVEYOR & MAPPER
PSP	- PEDESTRIAN SIGNAL POLE
PT	- POINT OF TANGENCY
PVC	- POLYVINYL CHLORIDE PIPE
R	- CURVE RADIUS
RCF	- REINFORCED CONCRETE PIPE
RU	- REUSE WATER LINE
RU	- REUSE WATER METER
RV	- REUSE WATER VALVE
RP	- RAMP
RW	- RIGHT OF WAY
S	- SANITARY MANHOLE
S	- BURIED SANITARY LINE
S	- SURVEY
SF	- SQUARE FEET
SP	- STATE PLANE
SDD	- SHOWDOWN FOR DIRECTION ONLY
SN	- SIGN
SWF	- STOCK WIRE FENCE
SV	- SEWER VALVE
XX0.00	- SPOT ELEVATION
TM	- BURIED TELECOMMUNICATIONS LINE
T	- TELECOMMUNICATIONS MANHOLE
TI	- STORM INLET
TI	- TOP OF BANK
CTP	- TRAFFIC SIGNAL POLE
TS	- TRAFFIC SIGN
TT	- TRANSFORMER/JUNCTION BOX
TR	- TELEPHONE RISER
TSB	- TRAFFIC SIGNAL BOX
TD	- TELEVISION BOX
TW	- TRAFFIC SIGNAL WIRE
TY	- TYPICAL
U	- UNKNOWN UTILITY
UE	- UTILITY EASEMENT
UP	- UTILITY POLE
UM	- UTILITY MARKER
VCP	- VITRIFIED CLAY PIPE
VF	- VINYL FENCE
W	- BURIED WATER LINE
WF	- WOOD FENCE
WS	- WOOD SHED
WV	- WATER VALVE
WM	- WATER METER
YD	- YARD DRAIN

ADDRESS:

1098 N MILITARY TRAIL
HAVERHILL, FL 33409

Job Information

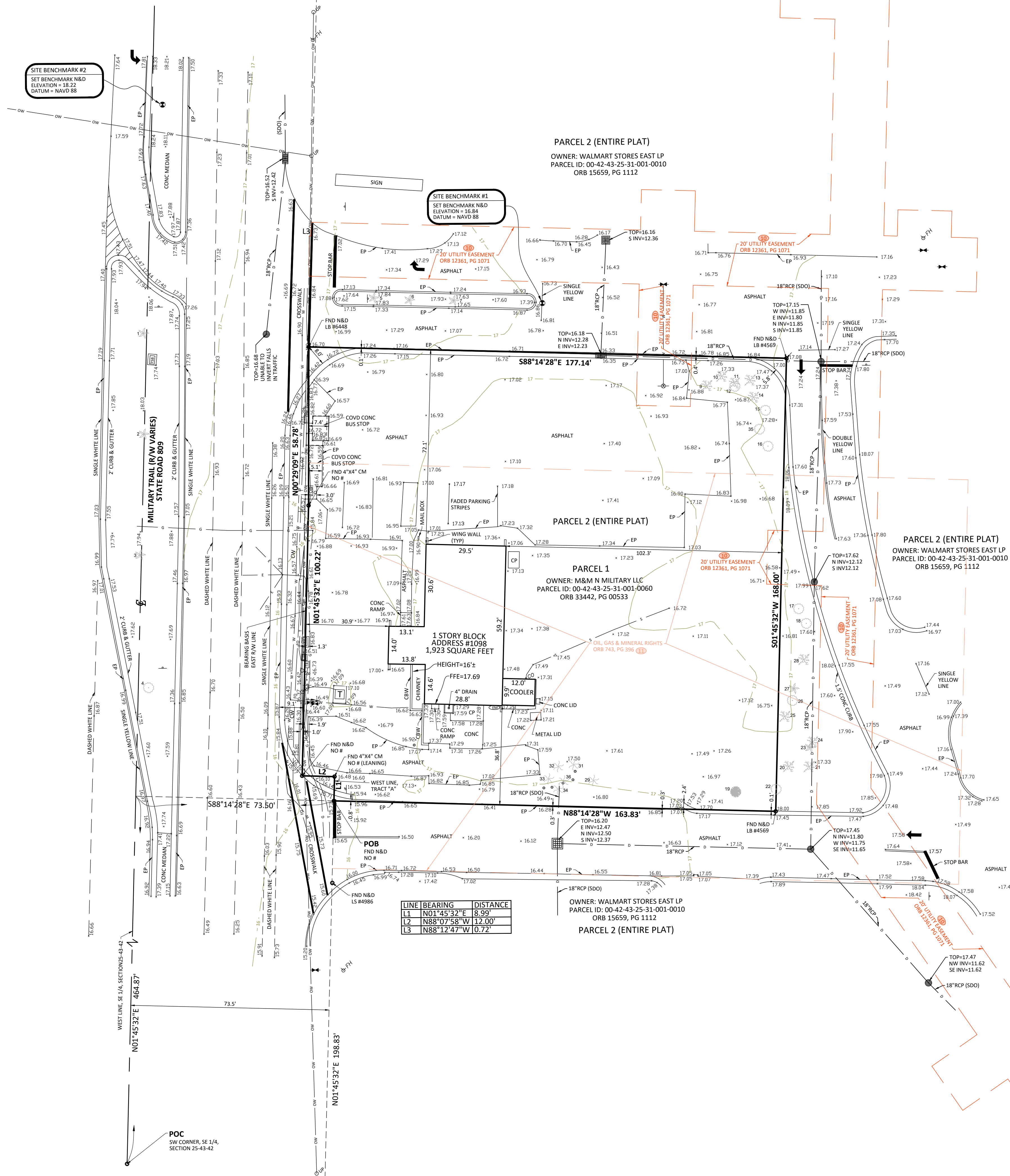
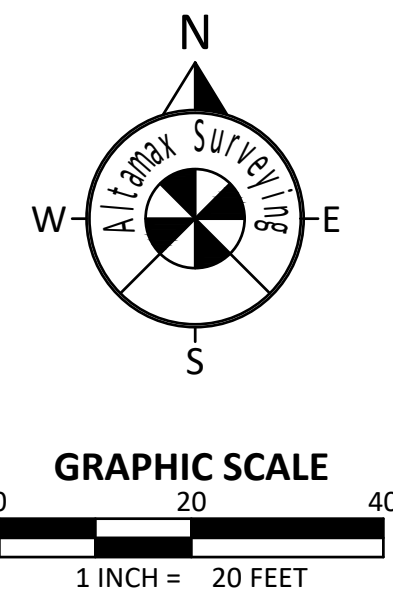
JOB NO. 906864
CF NO. PBC-111-24-TRACT A1
FIELD DATE: 05/01/2025
DRAWN BY: GLT

Revisions

DATE:	DESCRIPTION:	BY:
6/2/25	REVISED EXCEPTION 8	JB

This Survey is "NOT VALID" without the original signature and seal of this Florida licensed Surveyor and Mapper, unless provided with electronic signature. The seal appearing on this document was authorized by the signing Professional Surveyor and Mapper on the Date of the electronic signature.

ALTA/NSPS LAND TITLE SURVEY



Tree ID#	DBH Size	Tree Type
1	10"	PALM
2	11"	PALM
3	12"	PALM
4	6"	GUMBO LIMBO
5	10"	PALM
6	11"	PALM
7	10"	PALM
9	10"	PINE
10	9"	PINE
11	6"	PINE
12	7"	GUMBO LIMBO
13	5"	PINE
14	5"	PINE
15	11"	FIG
16	5"	FIG
17	40"	FIG
18	10"	OAK
19	18"	MAHOGANY
20	6"	PINE
21	5"	PINE
22	40"	FIG
23	18"	PALM
24	8"	PINE
25	7"	PINE
26	14"	FIG
27	9"	PALM
28	7"	PINE
29	40"	BANYAN
31	24"	BANYAN
32	22"	BANYAN
33	32"	BANYAN
34	12"	BANYAN
35	12"	MAHOGANY
36	2-6"	BANYAN

LEGEND	
AC	AIR CONDITIONER
BB	BOTTOM OF BANK
BHM	BUILDING HEIGHT MEASUREMENT
BP	BACK FLOW PREVENTER
BM	BENCHMARK
B	BOLLARD
E	BURIED ELECTRIC LINE
EC	BURIED CABLE TELEVISION LINE
CALC	CALCULATED
C&M	CALCULATED & MEASURED
CA	CENTRAL ANGLE
CBW	CONCRETE BLOCK WALL
CC	COVERED CONCRETE
CCR	CERTIFIED CORNER RECORD
CF	CONCRETE FUME
CHW	CONCRETE HEADWALL
CL	CHAIN LINE FENCE
CL	CENTERLINE
CM	CONCRETE MONUMENT
CMF	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COVD	COVERED
CP	CONCRETE PAD
CRB	CURB INLET
CW	CONCRETE WALKWAY
D	BURIED STORM/RAIN LINE
DI	DISCRED
DB	DEED BOOK
DE	DRAINAGE EASEMENT
DOT	DOT MARK
DP	DUMPSTER PAD
DW	DRIVEWAY
E	EASEMENT NUMBER
EB	ELECTRIC BOX
EL	ELECTRIC METER
EL	ELEVATION
ESMT	EASEMENT
EP	EDGE OF PAVEMENT
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HOPE	HIGH DENSITY POLYETHYLENE PIPE
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IP	IRON PIPE
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PSP	PEDS/THAN SIGNAL POLE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
R	CURVE RADIUS
RCP	REINFORCED CONCRETE PIPE
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RU	REUSE WATER METER
RU	REUSE WATER VALVE
RP	RAMP
RW	RIGHT OF WAY
SM	SANITARY MANHOLE
S	BURIED SANITARY LINE
S	SURVEY
SF	SQUARE FEET
SP	STATE PLANE
SOD	SHOW FOR DIRECTION ONLY
SN	SIGN
SWF	STOCK WIRE FENCE
SV	SEWER VALVE
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TT	TRANSFORMER/JUNCTION BOX
TT	TELEPHONE RISER
TT	TRAFFIC SIGNAL BOX
TT	TELEVISION BOX
TW	TRAFFIC SIGNAL WIRE
TY	TYPICAL
U	UNKNOWN UTILITY
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TRAFFIC IMPACT ANALYSIS

MAVIS TIRE

PALM BEACH COUNTY, FL

PREPARED FOR:

MAVIS TIRE SUPPLY, LLC

Kimley»Horn

Project # 015354069

October 27, 2025

Registry No 35106

Kimley-Horn and Associates, Inc.

477 South Rosemary Avenue, Suite 215

West Palm Beach, Florida 33401

561 840-0848 TEL

TRAFFIC IMPACT ANALYSIS

MAVIS TIRE

PALM BEACH COUNTY, FL

Prepared by:
Kimley-Horn and Associates, Inc.
West Palm Beach, Florida



Project # 015354069
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477 South Rosemary Avenue, Suite 215
West Palm Beach, Florida 33401
561 840-0848 TEL

Adam B. Kerr, P.E.
Florida Registration Number 64773

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Introduction

The Mavis Tire project site is an outparcel of the existing plaza located on the northeast corner of Military Trail & Belvedere Road, in Palm Beach County, Florida. The overall existing plaza is vested for 194,410 SF of shopping center, and a gas station with 8 fueling positions and 238 SF of convenience store. The site has existing approvals to expand the gas station to 16 fueling positions and 2,824 SF of convenience store use as well as adding a 1-lane automated car wash. The applicant is proposing to develop one of the plaza's outparcels with a 6,944 SF tire store to replace the previously approved car wash.

Figure 1 illustrates the location of the project site. The proposed site plan is included in *Appendix A*.

The purpose of this study is to evaluate the impacts of the proposed conversion on the surrounding roadway network and determine if adequate capacity is available to accommodate future traffic volumes using the criteria defined in *Article 12* of the *Palm Beach County Unified Land Development Code (ULDC)* for buildout in 2030. This report summarizes the project trip generation, project trip distribution, significance analysis, and driveway analysis.



Military Tr

Belvedere Rd



LEGEND

 Project Site

FIGURE 1
SITE LOCATION
MAVIS TIRE

Inventory and Planning Data

The data used in this analysis was obtained from the Palm Beach County Traffic Division.

Project Traffic

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project and the distribution and assignment of that traffic over the study roadway network.

Existing and Proposed Land Uses

The overall existing plaza is vested for 194,410 SF of shopping center, and a gas station with 8 fueling positions and 238 SF of convenience store. The site has existing approvals to expand the gas station to 16 fueling positions and 2,824 SF of convenience store use as well as adding a 1-lane automated car wash. The applicant is proposing to develop one of the plaza's outparcels with a 6,944 SF tire store to replace the previously approved car wash.

Trip Generation

The trip generation potential for the proposed development program was calculated based on rates and equations published by the Palm Beach County Traffic Division, which is based on rates and equations published by the *Institute of Transportation Engineers (ITE)* in *Trip Generation, 11th Edition*. As shown in *Table 1*, the proposed plan of development results in a decrease in 28 daily trips, an increase in 1 AM peak hour trip (+3 in, - 2 out), and an increase in 5 PM peak hour trips (+1 in, +4 out) in comparison to the existing site approval. Because the proposed plan of development results in an increase in trips on a peak hour basis, further trip generation calculations were conducted to determine the differential between the trip generation potential of the proposed plan of development and the trip generation potential of the vested portions of the site which have been in place for at least five (5) years.

As shown in *Table 1*, proposed the proposed outparcel and unvested portions of the plaza are projected to generate an increase of 909 net new external daily trips, an increase of 67 net new external AM peak-hour trips (43 in, 36 out), and an increase of 87 net new external PM peak-hour trips (43 in, 44 out). Based on the impact analysis guidelines established in *Article 12* of the *Palm Beach County ULDC*, it was determined that the radius of development influence is one (1) mile for the Test 1 and Test 2 analyses.

Table 1: Trip Generation

Source	Land Use	ITE Code	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour				
					Total	In	Out	Total	In	Out		
Approved Scenario												
PBC	Shop Center (>150ksf)	ITE 820	194,410 ksf	7,195	163	101	62	661	317	344		
PBC	Gas Station	ITE FDOT	16 FP	2,814	197	99	98	197	99	98		
PBC	Convenience Store	ITE FDOT	2,824 ksf	626	44	22	22	44	22	22		
PBC	Carwash (Automated)	ITE PBC	1 lane(s)	166	12	6	6	14	7	7		
			Subtotal	10,801	416	228	188	916	445	471		
Internal Capture			% Daily	% AM	% PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Convenience Store		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Carwash (Automated)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
			Subtotal	0	0	0	0	0	0	0		
Pass-By Capture			Daily	AM	PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		61.0%	61.0%	61.0%	1,717	120	60	120	60	60	
	Convenience Store		61.0%	61.0%	61.0%	382	27	13	14	27	13	14
	Carwash (Automated)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
			Subtotal	2,099	147	73	74	147	73	74		
Driveway Volumes				10,801	416	228	188	916	445	471		
Net New External Trips				8,702	269	155	114	769	372	397		
Existing Scenario												
PBC	Shop Center (>150ksf)	ITE 820	194,410 ksf	7,195	163	101	62	661	317	344		
PBC	Gas Station	ITE FDOT	16 FP	2,814	197	99	98	197	99	98		
PBC	Convenience Store	ITE FDOT	2,824 ksf	626	44	22	22	44	22	22		
			Subtotal	10,635	404	222	182	902	438	464		
Internal Capture			% Daily	% AM	% PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Convenience Store		0.0%	0.0%	0.0%	0	0	0	0	0	0	
				Subtotal	0	0	0	0	0	0	0	
Pass-By Capture			Daily	AM	PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		61.0%	61.0%	61.0%	1,717	120	60	120	60	60	
	Convenience Store		61.0%	61.0%	61.0%	382	27	13	14	27	13	14
				Subtotal	2,099	147	73	74	147	73	74	
Driveway Volumes				10,635	404	222	182	902	438	464		
Net New External Trips				8,536	257	149	108	755	365	390		
Existing/Vested Scenario >5 Years												
PBC	Shop Center (>150ksf)	ITE 820	194,410 ksf	7,195	163	101	62	661	317	344		
PBC	Gas Station	ITE FDOT	8 FP	1,407	98	49	49	98	49	49		
PBC	Convenience Store	ITE FDOT	0.238 ksf	53	4	2	2	4	2	2		
			Subtotal	8,655	265	152	113	763	368	395		
Internal Capture			% Daily	% AM	% PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Convenience Store		0.0%	0.0%	0.0%	0	0	0	0	0	0	
				Subtotal	0	0	0	0	0	0	0	
Pass-By Capture			Daily	AM	PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		61.0%	61.0%	61.0%	858	60	30	30	60	30	30
	Convenience Store		61.0%	61.0%	61.0%	32	2	1	1	2	1	1
				Subtotal	890	62	31	31	62	31	31	
Driveway Volumes				8,655	265	152	113	763	368	395		
Net New External Trips				7,765	203	121	82	701	337	364		
Proposed Scenario												
PBC	Shop Center (>150ksf)	ITE 820	194,410 ksf	7,195	163	101	62	661	317	344		
PBC	Gas Station	ITE FDOT	16 FP	2,814	197	99	98	197	99	98		
PBC	Convenience Store	ITE FDOT	2,824 ksf	626	44	22	22	44	22	22		
PBC	Tire Store	ITE 848	6,944 ksf	192	18	12	6	26	11	15		
			Subtotal	10,827	422	234	188	928	449	479		
Internal Capture			% Daily	% AM	% PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Convenience Store		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Tire Store		0.0%	0.0%	0.0%	0	0	0	0	0	0	
			Subtotal	0	0	0	0	0	0	0		
Pass-By Capture			Daily	AM	PM							
	Shop Center (>150ksf)		0.0%	0.0%	0.0%	0	0	0	0	0	0	
	Gas Station		61.0%	61.0%	61.0%	1,717	120	60	120	60	60	
	Convenience Store		61.0%	61.0%	61.0%	382	27	13	14	27	13	14
	Tire Store		28.0%	28.0%	28.0%	54	5	3	2	7	3	4
			Subtotal	2,153	152	76	76	154	76	78		
Driveway Volumes				10,827	422	234	188	928	449	479		
Net New External Trips				8,674	270	158	112	774	373	401		
Proposed Net External Trips-Existing Net New External Trips (Capacity Analysis)				138	13	9	4	19	8	11		
Proposed Net External Trips-Vested Net New External Trips (Significance Analysis)				909	67	37	30	73	36	37		
Proposed-Approved Trips				-28	1	3	-2	5	1	4		
Radius of Development Influence:				1 mile(s)								
Land Use		Daily		AM Peak Hour			PM Peak Hour			Pass By		
Shop Center (>150ksf)		37.01 trips/ksf		0.84 trips/ksf (6.2% in, 38% out)			3.4 trips/ksf (48% in, 52% out)			0.0%		
Gas Station		14.3 x PM trips		PM trips (50% in, 50% out)			12.3 trips/ksf (50% in, 50% out)			61.0%		
Convenience Store		14.3 x PM trips		PM trips (50% in, 50% out)			15.5 trips/ksf (50% in, 50% out)			61.0%		
Carwash (Automated)		166 trips/ksf		11.97 trips/ksf (50% in, 50% out)			13.65 trips/ksf (50% in, 50% out)			0.0%		
Tire Store		27.69 trips/ksf		2.61 trips/ksf (8.4% in, 36% out)			3.75 trips/ksf (43% in, 57% out)			28.0%		

Traffic Distribution

Traffic distribution is the pairing of trip ends from the subject site with other land uses in the area. These trips were assigned to the surrounding roadways based upon a review of the roadway network proposed to be in place at the time of buildout and its travel time characteristics.

Traffic Assignment

The site traffic was assigned to the surrounding roadway network based upon existing travel patterns and the traffic distribution. *Figure 2* illustrates the roadway link assignment. The AM and PM peak hour trips for the project were then assigned to the surrounding roadway network projected to be in place by 2030.

November 6, 2025

SENT VIA E-MAIL (emichel@pbc.gov); (dpennell@pbc.gov)

Elizee Michel, AICP, FRA-RA, HDFP

Executive Director

Westgate CRA, Palm Beach County
1280 Old N. Congress Avenue, Suite 215
West Palm Beach, FL 33409

**Subject: Westgate/Belvedere Homes Community Redevelopment Agency (Westgate CRA)
Proposal for CRA Plan Update
25-0409.P0001**

Dear Mr. Michel:

Chen Moore and Associates (CMA) is pleased to submit this proposal to update the Westgate/Belvedere Homes Community Redevelopment Agency Plan (Westgate CRA). The Westgate CRA has made significant progress in implementing its 2005 and 2017 Redevelopment Plans. However, recent initiatives, such as the Density Bonus Program expansion, ULDC revisions, and the CRA Mobility Framework, necessitate a comprehensive update to the CRA Plan to align with new housing, economic development, mobility, and land use priorities through-2047.

PROJECT INTRODUCTION AND BACKGROUND

The Westgate/Belvedere Homes Community Redevelopment Agency (Westgate CRA) is a special district of Palm Beach County, established in 1989 under Florida Statutes Chapter 163, Part III. The CRA's mission is to eliminate blight, stimulate reinvestment, and improve quality of life for residents and businesses within the approximately 1,300-acre Westgate district.

The current Redevelopment Plan, adopted in 2017, built upon earlier versions (1989 and 2005) guided many successful initiatives such as the Westgate Avenue streetscape, drainage improvements, infill housing, façade enhancement programs among other accomplishments. *Since its creation, the CRA has successfully leveraged public-private partnerships and Tax Increment Financing (TIF) to deliver key infrastructure, housing, and economic development projects.*

A number of major initiatives have transformed the policy and development environment since the 2017 plan including the following:

- Comprehensive Plan and ULDC Amendments. Palm Beach County, in collaboration with the CRA, has initiated amendments to the Future Land Use Element (FLUE) Policy 1.2.3-b and the Unified Land Development Code (ULDC) Article 3, increasing flexibility in density and parking standards within the Westgate CRA Overlay (WCRAO).
- The CRA's Density Bonus Pool, initially capped at 1,300 units, is being expanded to 4,300 units to accommodate major redevelopment opportunities such as the Palm Beach Kennel Club site (1,145 units proposed).
- Parking, landscaping, and setback regulations are being modernized to promote compact, mixed-use, and transit-oriented development.

- **Mobility and Infrastructure Evolution.** The Westgate Mobility Framework and Strategies (2025) establishes a comprehensive approach to mitigating transportation impacts from increased density through Transportation Demand Management (TDM) programs, on-demand service pilots, and complete streets implementation
- These mobility initiatives require integration into a broader redevelopment framework to ensure synchronized implementation with land use and capital planning.
- **Housing Affordability and Live Local Act Compliance.** Rising housing costs have intensified the need for workforce and attainable housing within proximity to employment centers and transit. The updated Plan must explicitly incorporate Live Local Act (2023–2025) provisions, evaluate opportunities for mixed-income redevelopment, and reinforce preservation of existing affordable housing stock.
- **Economic Redevelopment and Private Investment.** The CRA is now attracting significant developer interest for mixed-use and residential projects. Strategic planning is needed to guide this growth, leverage infrastructure investment, and avoid displacement. RMA’s expertise in redevelopment economics and market positioning will be crucial in crafting implementable strategies that support both community goals and financial feasibility.
- The district’s 11,540 residents, with a median age of 35.7 and 63% Hispanic population, reflect a youthful, diverse, and largely working-class community. Engagement strategies must be bilingual, accessible, and participatory, ensuring that residents shape the area’s transformation and benefit equitably from new development.

Purpose and Approach of the CRA Plan Update

The Westgate CRA Plan Update will be a policy, planning, and implementation document that will be graphically driven and based on the community input and a robust public engagement process. The updated CRA Plan will accomplish the following goals:

- Reflect the community’s current values, needs and vision.
- Align redevelopment policies with Palm Beach County’s Comprehensive Plan, ULDC, and Mobility Framework to establish multimodal connectivity and mitigation strategies
- Provide actionable guidance for land use, housing, transportation, economic development, and infrastructure investment.
- Incorporates benchmarks and performance measures to track progress and ensure accountability.
- Serve as the foundation for future funding, grants, and public-private partnerships.
- Proposed 3D renderings and visuals for upcoming redevelopment initiatives.

This update is a strategic opportunity to redefine Westgate’s redevelopment trajectory as the County’s model for equitable, transit-connected, mixed-use urban revitalization that is embraced by its residents and community partners.

CMA will deliver a comprehensive and meaningful CRA Plan update through a collaborative, data-driven, and design-forward process that integrates planning, economics, and community vision. The methodology emphasizes:

- **Partnership**: Continuous coordination with CRA staff, Palm Beach County Planning & Zoning, Engineering, and Transportation agencies.
- **Engagement**: Vibrant and proactive public input through multilingual surveys, kiosks at CRA events, one-on-one interviews, and workshops.
- **Integration**: Seamless linkage between policy (Comprehensive Plan), zoning regulations (ULDC), and implementation (CRA programs).
- **Visualization**: GIS mapping, 3D conceptual renderings to communicate ideas effectively.
- **Accountability**: Benchmarks and metrics aligned with CRA and County reporting cycles.

PROJECT STAFFING

- Chen Moore and Associates (Primary Consultant: planning, engineering, landscape architecture, community engagement, GIS, 3D Renderings).
- RMA (Subconsultant: TIF projections, market analysis and economic development).

SCOPE OF SERVICES

The scope of services our firm shall provide under this agreement as per our recent discussions and correspondence is as follows:

Task 1: Project Initiation & Coordination with CRA Staff

Consultant shall perform the following:

- Kick-Off meeting to coordinate timeline and delivery of the project.
- Coordination meetings with CRA Staff throughout the project as needed.
- Develop project schedule and engagement plan.

Task 2: Data Collection and Inventory

- Review existing CRA documents, zoning overlays, ULDC amendments, 2025 Density Bonus data and others.
- Compile updated demographic, economic, housing data, and other market analysis relevant data.
- Infrastructure review – drainage and sanitary sewer improvements needed, roadway improvements (mobility plan, or streets plan)
- Public safety audit (eg. Dark areas that need streetlights)
- Open space/parks level of service

Task 3: Community and Stakeholder Engagement

Consultant shall perform the following:

- Meet with each CRA Board member
- Conduct up to two (2) public workshops: (1) visioning; and (2) presentation of draft CRA Plan to gather input (please note, this is also included on Task 6).
- Facilitate stakeholder interviews with community leaders, business owners, and partner agencies – work closely with County departments – Planning/Zoning, Engineering, DHED, Parks, OCR.
- Develop online survey in English, Spanish and Creole.
- Attend two (2) community events with a Kiosk to engage with the community where they gather
- Document community input for inclusion in the Plan update.

Task 4: Existing Conditions Analysis: Planning, Engineering, Market Assessment and Economic Development

Consultant shall perform the following:

- Evaluate changes in land use, zoning, and infrastructure since 2017.
- Assess redevelopment trends, including large-scale projects (e.g., Palm Beach Kennel Club redevelopment).
- Update economic, market, and housing analyses, integrating workforce housing needs and mobility demand.
- Evaluate CRA progress and current initiatives.
- Identify areas of opportunity and constraint.
- Develop Tax Increment Financing (TIF) projection.

Task 5: Redevelopment Goals, Objectives, and the Work Program

Consultant shall prepare report that will include the following:

- Define the Framework (Structure, Administration, Participation, Funding Sources, Schedule) — identify critical partnerships, grant sources.
- Update the CRA's Vision, Goals, and Objectives consistent with new County policies and the Comprehensive Plan FLUE Sub-Objective 1.2.
- Identify zoning code changes needed to support ongoing redevelopment
- Integrate Mobility and Infrastructure Strategies to support density clusters and TOD/TOC design.
- Address sustainability, resilience, and equity goals.
- Define the Priority programs and projects.
- Prepare programs 3D renderings (2 renderings), Mapping and Graphics.
- Programs and projects with costing estimates over time — eg. scaling up traffic mitigation as density and TIF increase

Task 6: Draft Plan Document Preparation

Consultant shall perform the following:

- Prepare updated redevelopment plan including goals, programs, TIF projections, Housing and Market Analysis, maps, graphics, and renderings.
- Summary of public engagement process including survey, vision, interviews and workshops.
- Workshop with the CRA board to present the Draft Plan.

Task 7: Adoption of Final CRA Plan

Consultant shall perform the following:

- Final revisions of Draft Plan
- Present Final Plan to CRA Board, and BCC.

ASSUMPTIONS

This scope of service assumes the following:

- The Client will provide consultant with all pertinent documents required to complete the project.
- The resolution will be prepared by the Client legal counsel.

DELIVERABLES

CMA will provide two (2) hard copies and electronic copies of the Updated CRA Plan.

TIMELINE

Consultant will initiate within one week after receiving a Task Order. Consultant will provide the Client with all deliverables no later than **12months; however, Palm Beach County Approvals might be in addition to the 12 months.**

FEE SUMMARY

CMA will provide services for a lump sum amount of **\$165,000.**

Tasks	Fee Breakdown
Task 1: Project Initiation & Coordination with CRA Staff	\$ 10,000.00
Task 2: Data Collection and Inventory	\$ 32,000.00
Task 3: Community and Stakeholder Engagement	\$ 15,000.00
Task 4: Existing Conditions Analysis: Planning, Engineering, Market Assessment and Economic Development	\$ 35,000.00
Task 5: Redevelopment Goals, Objectives, and the Work Program	\$ 45,000.00
Task 6: Draft Plan Document Preparation	\$ 20,000.00
Task 7: Adoption of Final CRA Plan	\$ 8,000.00
Total	\$ 165,000.00

Should you have any questions, please do not hesitate to contact me at my office at (561) 758-2252 or on my cell phone at (561) 510-3138 or send me an electronic message at nzacarias@chenmoore.com.

Respectfully submitted,



CHEN MOORE AND ASSOCIATES
Nilsa Zacarias, AICP
Director of Planning

Should you have any questions, please do not hesitate to contact me at my office at my cell phone at (561) 758-2252 or send me an electronic message at nzacarias@chenmoore.com.

1302 South J Street
Lake Worth, FL 33460



Ph: 561-689-0889
Fax: 561-689-2851

Change Order Request

Change Order No.: 05
Owner: Palm Beach County
Project: Cherry Rd

Owner Proj. No.: 2021025 / FM#448303-1-58-01
RSD Proj. No.: 24021
Date: 9/26/2025

Description: Removal of existing pullbox, install lockable insert and reinstall existing pullbox. Lead time on material is approximate.

#	Description	Qty	Unit	Unit Price	Total Price
1.00	Locking mechanism for pullboxes	1	LS	\$ 58,562.52	\$ 58,562.52

Total: \$ 58,562.52

Completion time extended 150 days

When executed by all parties, this document will become part of the above reference construction contract.

Client Signature

Blair Simpson

Client Printed

This change order is not valid without a Rosso Site Development authority signature

CHANGE ORDER BREAKDOWN

Description of work: Locking mechanism for pullboxes

EQUIPMENT					
#	Description	Qty	Unit	Unit Cost	Total Cost
1	Pickup	16	HR	\$37.97	\$607.52
2			HR		\$0.00
3			HR		\$0.00
4			HR		\$0.00
5			HR		\$0.00
6			HR		\$0.00
7			HR		\$0.00
8			HR		\$0.00
9			HR		\$0.00
10			HR		\$0.00
11			HR		\$0.00
12			HR		\$0.00
13			HR		\$0.00
14			HR		\$0.00
15			HR		\$0.00
16			HR		\$0.00
17			HR		\$0.00
18			HR		\$0.00

Equipment Subtotal \$607.52
Markup 17.50% \$106.32
EQUIPMENT TOTAL: \$713.84

LABOR					
#	Description	Qty	Unit	Unit Cost	Total Cost
1	Foreman	16	HR	\$48.07	\$769.12
2			HR		\$0.00
3			HR		\$0.00
4			HR		\$0.00
5			HR		\$0.00
6			HR		\$0.00
7			HR		\$0.00
8			HR		\$0.00
9			HR		\$0.00
10			HR		\$0.00
11			HR		\$0.00
12			HR		\$0.00
13			HR		\$0.00
14			HR		\$0.00
15			HR		\$0.00

Labor Subtotal **\$769.12**
Burden 42.78% \$329.03
Markup 17.50% \$192.18
LABOR TOTAL: \$1,290.33

MATERIAL					
#	Description	Qty	Unit	Unit Cost	Total Cost
1	MOT - Advanced Warning	5	MO	\$258.73	\$1,293.65
2					\$0.00
3					\$0.00
4					\$0.00
5					\$0.00
6					\$0.00
7					\$0.00

Material Subtotal \$1,293.65
Markup 17.50% \$226.39
MATERIAL TOTAL: \$1,520.04

SUBCONTRACTORS					
#	Description	Qty	Unit	Unit Cost	Total Cost
1	Sportslighter	1	LS	\$48,904.42	\$48,904.42
2		1	LS		\$0.00
3		1	LS		\$0.00
4		1	LS		\$0.00
5		1	LS		\$0.00
6		1	LS		\$0.00
7		1	LS		\$0.00

Subcontractor Subtotal \$48,904.42
Markup 10.00% \$4,890.44
SUBCONTRACTOR TOTAL: \$53,794.86

Equipment Total: \$713.84
Labor Total: \$1,290.33
Material Total: \$1,520.04
Subcontractors Total: \$53,794.86

Bond & General Liability Insurance: \$1,243.45
MOT: \$0.00

Total: \$58,562.52



Sportslighter Electric, Inc.

460 Business Parkway, Suite A • Royal Palm Beach, FL 33411 • 561-333-1500 • EC13006730

CCP # 2

Date: September 24, 2025

To: Rosso Site Development

Re: Cherry Road

Electrical Scope of Work

Sportslighter Electric, Inc. is providing a change order for the following:

Furnish and install metal locking box insert one for each box.

Remove already installed pull boxes and expand hole for insert install.

Reinstall pull box after insert install.

Furnish and install ground wire from metal enclosure to ground rod wire located in pull box.

This option has a 105 day lead time after approval of the change order and release to the factory.

This option comes with electrical shock risk and possible loss of life due to ground water intrusion into the enclosure and splices in the box which is not preventable. The metal box itself and the ground adjacent can become electrically charged due to the ground water intrusion.

130 calendar days to complete this work including shipping.

The wiring will also have to wait until the box inserts are installed this will increase the time to complete by 20 calendar days.

CCP Total Cost \$48,904.42

Note: Quote can be withdrawn if not accepted within 30 days.

Please feel free to call with any questions.

Please provide a written directive to proceed with this work.

Thank you,

Gene Eastham
Senior Project Manager

Cherry Road CCP 2 Option 3 Metal Box Insert

Description	Quantity	Net Cost	Labor	Labor Unit	Total Material	Total Hours
#6 BARE COPPER	150	\$ 725.00	12.82	M	\$ 108.75	1.92
YGHP2C2 #2-#2 FIG 6	24	\$ 28.12	0.2	E	\$ 674.88	4.8
12" PEA GRAVEL PULL BOX	38	\$ 6.25	0.8	E	\$ 237.50	30.4
REMOVE INSTALLED BOX FOR LOCK ENCLOSURE	19	\$ -	3	E	\$ -	57
FMJP132412 INSERT INSTALL	24	\$ -	2	E	\$ -	48
REINSTALL PULL BOX	19	\$ -	3	E	\$ -	57
METAL BOX QUOTE	1	\$ 24,038.88	0	E	\$ 24,038.88	0
GROUND STUD #6	24	\$ 0.25	0.2	E	\$ 6.00	4.8
Totals					\$ 25,066.01	203.92

Labor Type	Hours	Rate \$	Total
LABOR	203.92	\$ 86.00	\$ 17,537.12
Totals	203.92	\$ 86.00	\$ 17,537.12

Final Pricing	Final Price	Markup/Tax
Database Material	\$ 25,066.01	
Material Tax	\$ 1,754.62	7
Material Total	\$ 26,820.63	
Labor Total	\$ 17,537.12	
Total Cost	\$ 44,357.75	
Total Overhead	\$ 2,217.89	5
Total Markup	\$ 2,328.78	5
Final Price	\$ 48,904.42	

Sue Juncal

From: Wanda Ortiz <Wanda.Ortiz@graybar.com>
Sent: Thursday, September 25, 2025 4:07 PM
To: Sue Juncal
Cc: Andy Fagant
Subject: RE: question

Lead time for material FMJP132412 will be 15 weeks ARO.

THANK YOU

[Wanda Ortiz](#)

Manager Customer Service
P:561-472-3825
graybar.com

From: Andy Fagant <Andy.Fagant@graybar.com>
Sent: Tuesday, September 23, 2025 1:18 PM
To: Wanda Ortiz <Wanda.Ortiz@graybar.com>; Jamal Whitmore <jamal.whitmore@graybar.com>; Chris Ulmer <chris.ulmer@graybar.com>
Subject: FW: question

From: Sue Juncal <sue@sportslighter.net>
Sent: Tuesday, September 23, 2025 1:17:37 PM (UTC-05:00) Eastern Time (US & Canada)
To: Andy Fagant <Andy.Fagant@graybar.com>
Subject: question

On this Hubbell things quote#2000612708
What is the lead time

Thank you

Sue Juncal
Purchasing Agent/Office Manager
460 Business Park Way, Ste A
Royal Palm Beach, FL 33411
Sportslighter Electric, Inc.
561-333-1500



1871 OLD OKEECHOBEE RD
WEST PALM BEACH FL 33409-5227
Phone: 561-472-3800
Fax: 561-683-5845

To: SPORTSLIGHTER ELECTRIC
460 BUSINESS PARK WAY STE A
ROYAL PALM BEACH FL 33411-1710
Attn: Sue Juncal
Phone: 561-333-1500
Email: sportslightersj@bellsouth.net
Fax: 561-333-1507

Date: 09/16/2025
Project Name: Quazite Lock RFQ
GB Quote #: 2000612708
Purchase Order Nbr:
Release Nbr:
Additional Ref#:
Revision Nbr:
Valid From: 09/16/2025
Valid To: 10/16/2025
Contact: Ralph A Fagant
Email: andy.fagant@graybar.com

Proposal

We appreciate your request and take pleasure in responding as follows

Notes:

Item	Quantity	Supplier	Catalog Nbr	Description	Price	Unit	Ext.Price
100	24	HUBBELL INC	FMJP132412	SIZE 5 ANTI-THEFT FMJ STEEL INSERT	\$1,001.62	1	\$24,038.88

GB Part#:25968220

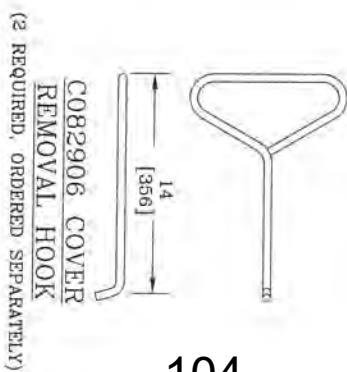
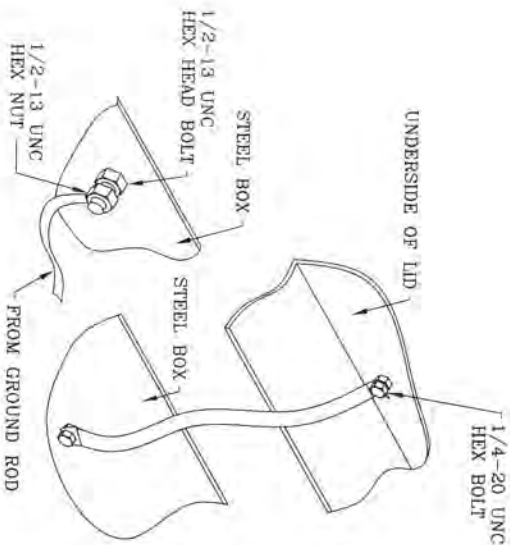
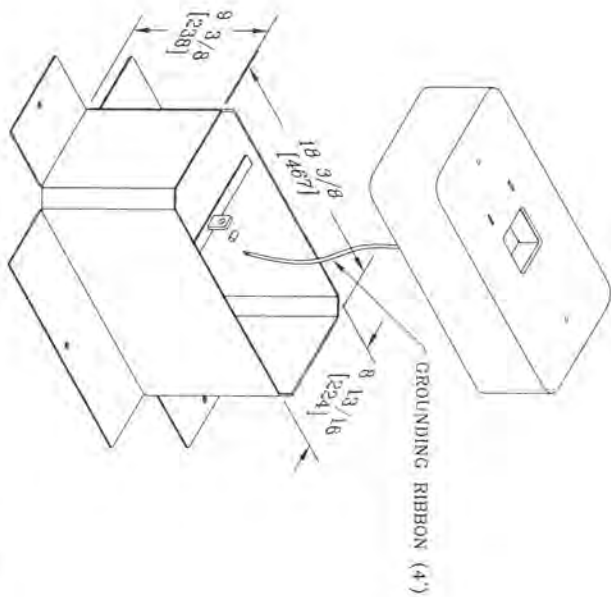
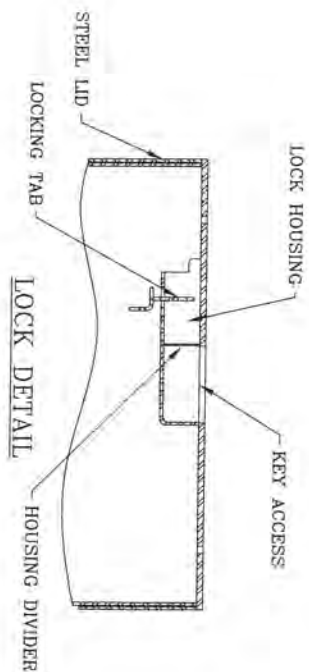
Country:Mexico

Tax:\$1,372.14

Ship From:Drop Ship-Factory

Subtotal: \$24,038.88
Estimated Tax : \$1,492.33
(Actual tax value will be calculated at time of order placement)
Total : \$25,531.21

This equipment and associated installation charges may be financed for a low monthly payment through Graybar Financial Services (subject to credit approval). For more information call 1-800-241-7408 to speak with a leasing specialist.



NOTES:

1. FURNISHED WITH (1) GROUNDING RIBBON KIT.
2. END USER SHALL PROVIDE "PICK LOCK". MASTER LOCK MODEL 6270 OR AMERICAN LOCK MODEL A2000. LOCKS CAN BE SPECIALLY KEYED TO MEET THE END USERS' SPECIFICATIONS. PLEASE CONTACT MASTER LOCK OR AMERICAN LOCK FOR DETAILS.

DIMENSIONS ARE IN INCHES OR MILLIMETERS IN BRACKETS UNLESS OTHERWISE NOTED				LOG	
DATE	BY	SCALE	WEIGHT	DATE	LOG
11/18/16	JJP	1:1		11/18	JC
CHK	ENG	NTS		APP	S
APP		SIZE		APP	
APP		B			
EOR OR PROJECT NUMBER 116016				DRAWING NUMBER FMP132412	
SHEET 1 OF 1					



DRAWING DESCRIPTION
QUANTITE 13 X 24 X 12
FMI PICK LOCK KIT



Bob's BARRICADES, INC.

MAIN OFFICE: 921 SHOTGUN ROAD / SUNRISE, FL 33326

TELEPHONE: (954) 423-2627

Barricades, Signs, Cones, and other Safety Equipment
Target Arrows, Message Boards
Rentals - Sales - Service

REFER TO INVOICE

G958017

ROS020/ 200026

ROSSO SITE DEVELOPMENT, INC.

1302 S J STREET

LAKE WORTH, FL 33460

OPEN

FT. LAUDERDALE 954-423-2627
EXECUTIVE OFFICE 800-432-5031
TOLL FREE
DELRAY 561-272-8487
FT. LAUDERDALE 954-525-6736
FT. MYERS 239-656-1183
GAINESVILLE 352-375-8140
JACKSONVILLE 904-396-5121
MIAMI 305-654-0076
ORLANDO 407-855-7186
TALLAHASSEE 850-575-7800
TAMPA 813-886-0518
WEST PALM BEACH 561-585-4861
KINGMAN ARIZONA 928-757-5380
PHOENIX, ARIZONA 602-272-3434

PLEASE CHECK YOUR JOB STATUS	INVOICE DATE 08/20/2025	BRANCH Delray	BILLING PERIOD 07/21/25 TO 08/20/25	TERMS: NET 10 DAYS
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PURCHASE ORDER NO. ...	JOB NO.	JOB ADDRESS CHERRY RD
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ITEM	10HS HI TAPE PLASTIC BARREL W/STEADY BUR	3 LONGITUDINAL CHANNELLING DEVICES	6H SMALL HI TAPE SIGN ONLY	6HB SMALL HI TAPE SIGNS ON BARRICADE	6HM SMALL HI TAPE SIGN MOUNTED	7HU3 LARGE HI TAPE SIGN ON U3	8 HIGH INTENSITY LIGHT ONLY
BEGQTY	70	173	3	2	1	23	5
07/21/25	70	173	3	2	1	23	5
07/22/25	70	173	3	2	1	23	5
07/23/25	70	173	3	2	1	23	5
07/24/25	70	173	3	2	1	23	5
07/25/25	70	173	3	2	1	23	5
07/26/25	70	173	3	2	1	23	5
07/27/25	70	173	3	2	1	23	5
07/28/25	70	173	3	2	1	23	5
07/29/25	70	173	3	2	1	23	5
07/30/25	70	173	3	2	1	23	5
07/31/25	70	173	3	2	1	23	5
08/01/25	70	173	3	2	1	23	5
08/02/25	70	173	3	2	1	23	5
08/03/25	70	173	3	2	1	23	5
08/04/25	70	173	3	2	1	23	5
08/05/25	70	173	3	2	1	23	5
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08/11/25	70	173	3	2	1	23	5
08/12/25	70	173	3	2	1	23	5
08/13/25	70	175	5	2	1	23	5
08/14/25	70	175	5	2	1	23	5
08/15/25	70	175	5	2	1	23	5
08/16/25	70	175	5	2	1	23	5
08/17/25	70	175	5	2	1	23	5
08/18/25	70	175	5	2	1	23	5
08/19/25	70	175	5	2	1	23	5
08/20/25	70	175	5	2	1	23	5
TOTQTY	2,170.00	5,379.00	109.00	62.00	31.00	713.00	155.00
PRICE	\$ 0.40	\$ 0.75	\$ 0.30	\$ 0.30	\$ 0.30	\$ 0.30	\$ 0.00
EXTPRICE	\$ 868.00	\$ 4,034.25	\$ 32.70	\$ 18.60	\$ 9.30	\$ 213.90	\$ 0.00

\$241.80 x 1.07 = \$258.73 Monthly Rate -
Advanced Warning Only

Stop Signs

Post Mounted
End Road
Work

Post Mounted
Advanced
Warning Signs

PLEASE PAY FROM THIS INVOICE

SUB TOTAL	\$ 5,176.75
TAX	\$ 360.61
TOTAL	\$ 5,537.36

REMIT TO: PO BOX 526827 Miami, FL 33152-68027
For Payments by ACH or Wire, please call (954) 423-2627 ext 118