



WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY

Monday April 14, 2025 Board Meeting

1280 N. Congress Ave. Suite 215

West Palm Beach FL 33409

**NOTE: Agenda Summary (Pages 3-10)
Staff Report (Pages 11 - 16)**

- I. CALL TO ORDER / ROLL CALL**
- II. AGENDA APPROVAL**
 - 1. Additions, Deletions, and Substitutions to the Agenda**
 - 2. Adoption of Agenda**
- III. ADOPTION OF W/BH March 10, 2025 CRA MINUTES (Pages 17 - 22)**
- IV. PUBLIC COMMENTS**
- V. DISCLOSURES**
- Vi. CONSENT AGENDA**
 - 1. Approval of Site Development Assistance Program Grant for five Single Family Homes on 2665, 2671, 2677, 2683, and 2689 Hiawatha Avenue (Pages 23 - 40).**
 - 2. Approval of Site Development Assistance Program (SDAP) Grant for 12 Single Family Homes on 2615, 2647, 2653, 3153, 3177, 3188, 3196, 3204, 3210, 3502, 3510, and 3514 Hiawatha Avenue (Pages 41 – 58).**
- VII. REGULAR AGENDA**
 - 1. Approval of Palm Beach Marketplace MUPD Expansion (Pages 59 - 117).**
 - 2. Authorize the Board Chair to Execute an Agreement with Bae Urban Economics to Review the Tax Increment Financing Rebate Request (Pages 118 - 121).**

3. **Consideration of Tax Increment Financing (TIF) Rebate Request for Frisbie Group/Terra Palm Beach Kennel Club Development (Phase I) (Pages 122 – 129).**
4. **Approval of Interlocal Agreement with West Palm Beach Go (WPGO) (Pages 130 – 131).**

VIII. REPORTS

- A. **Staff Reports and Correspondence (Pages 132 - 149)**
- B. **Attorney's Report**
- C. **Committee Reports and Board Comments**
 1. **Administrative/Finance –**
 2. **Capital Improvements – Chair, Mr. Daniels**
 3. **Land Use –**
 4. **Real Estate – Chair,**
 5. **Marketing –**
 6. **Community Affairs –**
 7. **Special Events – Chair, Ms. Rufty**

IX. ADJOURNMENT

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE BOARD WILL BE BARRED FROM FURTHER AUDIENCE BEFORE THE BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD AS GRANTED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING, HE WILL NEED A RECORD OF THE PROCEEDING, AND FOR SUCH PURPOSE HE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

ON JUNE 7, 1994, THE BOARD OF COUNTY COMMISSIONERS APPROVED RESOLUTION NO. 94-693, KNOWN AS THE CODE OF ETHICS. UNDER SECTION 11, IT IS REQUIRED THAT PAID AND UNPAID LOBBYISTS REGISTER. PLEASE REFER TO SECTIONS 11.01 AND 11.02 IN THE CODE OF ETHICS FOR REGISTRATION SPECIFICS. FOR YOUR USE, REGISTRATION FORMS ARE AVAILABLE FROM THE CRA'S ADMINISTRATIVE ASSISTANT.



AGENDA ITEMS
Westgate/Belvedere Homes CRA Board Meeting
In Person and Via Zoom
April 14, 2025

CONSENT AGENDA

1. Approval of Site Development Assistance Program (SDAP) Grant for five Single Family Homes on 2665, 2671, 2677, 2683, and 2689 Hiawatha Avenue.

A. Background and Summary: The five single-family cottage homes are being developed by one developer on Hiawatha in South Westgate Estates in the Neighborhood Residential Medium Density (NRM) Sub-Area. According to the developer, the homes are designed with modern and efficient layouts, featuring 3 bedrooms and 2 bathrooms, with a total area of 1,117 square feet. They are built with concrete block structure (CBS) technology, they provide durability and protection against adverse weather conditions. Additionally, they are equipped with impact resistant windows and come with contemporary finishes as standard, ensuring both comfort and style. The kitchens are fully equipped with stainless steel appliances, guaranteeing quality and long-term value for homeowners.

The SDAP funds will be used to pay for exterior improvements, such as the installation of paver driveways for durability and aesthetics, installation of native landscaping, including plants and trees like palm trees, and long-lasting water-resistant paint, lighting, and more durable storm drain.

The project budget and project progress pictures are included in the Board packet.

Address	Owner	Grant
2665 Hiawatha Ave.	Tamayo V LLC	\$5,000
2671 Hiawatha Ave.	QR Housing LLC	\$5,000
2677 Hiawatha Ave.	ME Squared LLC	\$5,000
3183 Hiawatha Ave.	IIG LLC	\$-



3189 Hiawatha Ave.	IIG LLC	\$-
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The total amount for all five houses is \$15,000 per program guidelines from the CRA's Site Development Assistance Program (SDAP). \$5,000 per unit for eligible project costs may be reimbursed for new single-family projects with up to 5 units on contiguous sites, to a maximum of \$15,000. The funds will be used to enhance the quality of the homes.

The application meets the program eligibility guidelines. The SDAP is a reimbursement-based grant that provides funding after the project is completed and a certificate of occupancy is received. The developer is a small business enterprise.

B. Recommendation: Staff recommends that the Board approve a \$15,000 grant for the application.

2. Approval of Site Development Assistance Program (SDAP) Grant for 12 Single Family Homes on 2615, 2647, 2653, 3153, 3177, 3188, 3196, 3204, 3210, 3502, 3510, and 3514 Hiawatha Avenue.

B. Background and Summary: The twelve single-family cottage homes are being developed by several small developers on Hiawatha in South Westgate Estates in the Neighborhood Residential Medium Density (NRM) Sub-Area. According to the developers, the homes are designed with modern and efficient layouts, featuring 3 bedrooms and 2 bathrooms, with a total area of 1,117 square feet. They are built with concrete block structure (CBS) technology, they provide durability and protection against adverse weather conditions. Additionally, they are equipped with impact resistant windows and come with contemporary finishes as standard, ensuring both comfort and style. The kitchens are fully equipped with stainless steel appliances, guaranteeing quality and long-term value for homeowners.

The SDAP funds will be used to pay for exterior improvements, such as the installation of paver driveways for durability and aesthetics, installation of native landscaping,



including plants and trees like palm trees, and long-lasting water-resistant paint, lighting, and more durable storm drain.

The project budget and project progress pictures are included in the Board packet.

Address	Owner	Grant
2615 Hiawatha Ave.	Mejia Association LLC	\$5,000
2647 Hiawatha Ave.	QR Housing LLC	\$5,000
2653 Hiawatha Ave.	ME Squared LLC	\$5,000
3153 Hiawatha Ave.	IIG LLC	\$5,000
3177 Hiawatha Ave.	IIG LLC	\$5,000
3188 Hiawatha Ave.	IndustriCol LLC	\$5,000
3196 Hiawatha Ave.	LYS Housing LLC	\$5,000
3204 Hiawatha Ave.	BMG Wood Flooring Corporation INC	\$5,000
3210 Hiawatha Ave.	Coop Data LLC	\$5,000
3502 Hiawatha Ave.	Cheska Real Estate Investments LLC	\$5,000
3510 Hiawatha Ave.	H&A 0714 Properties LLC	\$5,000
3514 Hiawatha Ave.	Gavan Homes LLC	\$5,000

The total amount for all twelve houses is \$60,000 per program guidelines from the CRA's Site Development Assistance Program (SDAP). The funds will be used to enhance the quality of the homes. The program allows \$5,000 per home.

The application meets the program eligibility guidelines. The SDAP is a reimbursement-based grant that provides funding after the project is completed and a certificate of occupancy is received. The developers are small business enterprises.

C. Recommendation: Staff recommends that the Board approve a \$5,000 grant for each application.

REGULAR AGENDA



1. Approval of Palm Beach Marketplace MUPD Expansion

A. Background and Summary: Palm Beach Marketplace is located on Okeechobee Blvd. between Church St. and I-95. The entire shopping plaza is 10.18 acres supporting 149,588 sf of entitlements in 9 structures, both constructed and planned. The plaza and out parcels contain multiple commercial uses including Type 1 and 2 restaurants, personal services, indoor entertainment, and general retail, a 120-room hotel, and a day care facility, classified as an institutional use.

Six parcels to the west of the plaza comprising 2.21 acres of land area with 14,521 sf of Type 1 Restaurant use (12,500 sf interior + 2,021 sf of outdoor dining) in one building are proposed to be added to the existing Multiple Use Planned Development (MUPD), bringing the development to a total of 12.39 acres overall. Approximately 12,000 sf of land area at the rear of the expansion site will remain vacant for future redevelopment. The proposed design will complement the most recent structures added to the plaza's Okeechobee Blvd. frontage in similar building placement and architectural character. The existing structures on the expansion site will be demolished to allow for the redevelopment program. Existing uses include a Type 1 restaurant (Nicks-to-Go), vacant retail (Cricket), and vehicle repair and maintenance (Maaco Auto Body). A small parcel supporting a commercial use, located at the termination of Frank Street, has been purchased by the owner to supplement parking for the expansion site.

The 2.21-acre site, generally located at the corner of Okeechobee Blvd. and Church Street, is proposed to be rezoned from CG to MUPD, and the approval of a Development Order Amendment (DOA) by the BCC to reconfigure the site and regulating plans, along with a DRO approval for Type 1 Restaurant use, are the primary application requests. A Right-of-Way Abandonment of Frank Street will support access to the expansion and associated parking from Okeechobee Blvd. A secondary access is planned from Church Street. The entitlements approach is to consider the entire site within the MUPD, with the 2.21 acres representing the expansion land area to include Building #10, west of Frank St., under a combination zoning district and overlay: MUPD regulations for rezoning standards, overall land development requirements, and parking calculations, and WCRAO standards for the purposes of building placement, frontage and setbacks.



Requests

To facilitate the expansion of the plaza, the agent for the applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Official Zoning Map Amendment (“Rezoning”) of 2.21 acres from Commercial General (CG) in part, to Multiple Use Planned Development (MUPD);
2. Board of County Commissioners (“BCC”) Approval of a Development Order Amendment to add land area, new uses and square footage, and reconfigure the site plan of a Multiple Use Planned Development;
3. Development Review Officer (DRO) Approval for 14,521 sf of Type 1 Restaurant use (12,500 sf of indoor & 2,021 sf of outdoor dining); and Final Site Plan Approval.

B. Recommendation: Staff support Westgate CRA Board’s recommendation for the following application requests:

1. Official Zoning Map Amendment (“Rezoning”) of 2.21 acres from Commercial General (CG) in part, to Multiple Use Planned Development (MUPD);
2. Board of County Commissioners (“BCC”) Approval of a Development Order Amendment to add land area, new uses and square footage, and reconfigure the site plan of a Multiple Use Planned Development;
3. Development Review Officer (DRO) Approval for 14,521 sf of Type 1 Restaurant use (12,500 sf of indoor & 2,021 sf of outdoor dining); and Final Site Plan Approval.

2. Authorize the Board Chair to Execute an Agreement with Bae Urban Economics to Review the Tax Increment Financing Rebate Request

A. Background and Summary: Staff is reviewing a TIF rebate request submitted by the Frisbie Group and Terra for Phase I of the Palm Beach Kennel Club property redevelopment. Bae Urban Economics is a firm that specializes in reviewing financial models, calculations, and projections that are used to justify funding contributions to



redevelopment projects. The firm proposes to review developer pro-forma, conduct research on key pro-forma inputs, conduct sensitivity analysis, discuss initial findings with agency staff, prepare memo of findings and recommendations, and optional participation at CRA Board meetings.

The firm has offered to provide those services for \$14,000.

B. Recommendation: Authorize the Board Chair to execute the Agreement with Bae Urban Economics to provide cost analysis for the Frisbie/Terra TIF rebate request.

3. Consideration of Tax Increment Financing (TIF) Rebate Request for Frisbie Group/Terra Palm Beach Kennel Club Development (Phase I)

A. Background and Summary: The Frisbie Group and Terra proposed redeveloping 42 acres of the 47-acre Palm Beach Kennel Club property at 1111 Congress Avenue at the corner of Congress and Belvedere Road into a mixed-income mixed-use development divided into three phases.

The first phase will be on 16.05 acres at the northern end of the 42-acre site. It will consist of 405 multifamily housing units in several three-story apartment buildings. The design will follow traditional garden-style apartments, where each building will face green space, garden space, or landscaping, allowing residents to access the proposed green areas easily. Parking will be arranged on the perimeter of the site. It has not been determined whether there will be enough land to provide the required surface parking spaces since the gardens will take up a lot of land.

The development must provide 20% of the units at workforce housing rents to meet the CRA's zoning overlay Density Bonus Pool requirements. The developers believe that the development will not be successful without financial contributions from the CRA because of the high land acquisition cost, construction cost, and financing cost. They posit that the workforce housing units may not generate enough revenues to produce the cash flow necessary to address debt and return on investment. To make the project feasible, the developers request a tax rebate of a portion of the TIF that the project will pay to the CRA.



It is estimated that Phase 1 will generate \$659,608 in taxes in the first year (2028) and about \$932,164 the year after (2029) when the project is stabilized.

The Current Westgate CRA and Palm Beach County code requires a developer participating in the Density Bonus Pool to provide 20% of the total units to workforce housing residents. The code specifies that 10% must be rented to households who make 60 – 80% of the Median Income and the other 10% to families who make 80 - 100% of the area median income. The low-income and the moderate-1 income categories are the two lowest of the Workforce Housing Program. Families in those categories have lower incomes and qualify for lower rents.

The 20% Workforce Housing set aside will be rented below market rent, creating a gap in the revenues needed to keep the development feasible. The developers are asking the CRA to rebate 75% of the TIF from 2028 until 2049 or until the CRA sunset.

TIF incentives are included in the CRA Redevelopment Plan. F.S. 163, the statute that governs community redevelopment agencies, supports contributions to affordable housing development. TIF rebate is a mechanism used by many Palm Beach County CRAs, such as West Palm Beach, Lake Worth Beach, and Boynton Beach, to support workforce housing development.

Staff analysis shows that the project needs a TIF rebate to be successful. Although the market rents in the Westgate area are rising, they are not at the level of other CRAs like West Palm Beach, Delray Beach, or Boynton Beach. The developers may not make enough profit on the market rate units to offset the lower rents of the workforce housing units. Staff have reviewed TIF rebate projects in West Palm Beach, Boynton Beach, and Lake Worth Beach CRAs and found that most of the time, the agencies do not give a TIF rebate higher than 50%.

While recognizing that the uncertainties of future construction costs may warrant a higher TIF rebate, an independent analyst suggests the project can be built without the 75% rebate requested.

- B. Recommendation:** Staff recommends that the Board approve a 50% TIF rebate for Frisbie Group/Terra Westgate Village at the Palm Beach Kennel Club site, subject to a negotiated TIF incentive agreement.

4. Approval of Commitment Funding for West Palm Beach Go (WPBgo)



A. Background and Summary: West Palm Beach Go is a mobility coalition or a transportation management association (TMA) focusing on improving and implementing policy and infrastructure choices and travel behavior outcomes to address traffic caused by the unprecedented ongoing growth in population and commerce in our community. The organization promotes collaboration and innovation across sectors and interests. The organization assists employers, businesses, and the business sector work cooperatively to achieve common goals.

The organization's ultimate goal is to reduce traffic and improve mobility in and around our area. It collects data, designs policies, influences transportation agencies, and works with policymakers to foster economic growth and improve the quality of life of the community's residents.

As the CRA experiences new growth, it must work with other agencies to study and discuss strategies to improve mobility and reduce traffic.

To join the organization, each agency must pay \$20,000 per calendar year to join and participate.

B. Recommendations: Staff recommend that the board approve \$20,000 to pay for the CRA's membership in the WPBgo.

BOARD MEETING **April 14, 2025**

Staff Update on In-House & Private Redevelopment Projects

Strategic Plan – Special District Goals & Performance Measures (STARTED)

CRA staff will retool a draft strategic plan for the implementation of the goals and objectives of the Redevelopment Plan, and will modify the document to reflect a new statutory requirement for special districts. FS 189.0694 now requires Florida special districts to establish “goals and objectives for each program or activity, as well as performance standards and measures to determine if goals and objectives are being achieved”. The first annual Goals & Performance Measures Report is due by December 1, 2025. A strategic plan will outline the specific tasks, timeline and budget required for redevelopment activities over the next 5 years. It can also serve as a platform for the CRA to refine its vision and mission statement in a way that is current with its shifting priorities. Staff has received some initial input from Board members.

Streetlights Initiative + Westgate Safety Plan (IN PROCESS)

Updates: The requested funding for Westgate safety initiatives from the County’s legislative appropriation was not authorized. The CRA will renew the request next legislative season. Staff continues to address issues around safety utilizing the Agency’s budget. A draft Safety Plan is in process.

The requested funds from the County’s legislative appropriation have been reduced from \$750,000 to \$250,000; the allocation from the State budget awaits the Governor’s signature. CRA staff continues to develop a Safety Plan for the district. The 1st permit to install FPL streetlights has been issued; the 2nd permit is in process. Conservatively, staff anticipates that the streetlights will be installed within the next 6 months.

Background: Staff has requested the installation of 280+ new streetlights within the North and South Westgate Estates neighborhoods of the CRA district from FPL. The streetlights initiative is in the final stage of permitting. FPL resubmitted in January to respond to Land Development comments. To supplement this effort, Staff is working with County Administration to secure a legislative appropriation of \$750,000. This funding would also be used to leverage CRA TIF in the creation of a Westgate Safety Plan. Planning for the development of a Safety Plan is underway.

WCRAO – Comp Plan/ULDC Amendments (IN PROCESS)

Updates (ULDC): Staff has withdrawn a request to amend the WCRAO Density Bonus Program workforce housing requirement to 20% across 4 income categories at 5% each, rather than across the 2 lower income categories at 10% each. Even though this would create better balance in the delivery of workforce and market rate units, and the data indicates that there is a saturation of affordable housing in the area, Staff feels that there will not be support for this amendment from Administration or the BCC given the County’s current focus on provision of affordable and workforce housing. A revision to add the ability to request a Type 1 administrative waiver reduction of up to 15% from WCRAO parking standards for residential and mixed-use projects is still underway, along with a concurrent ULDC revision related to the Comp Plan amendment.

Updates (Comp Plan): Staff presented the Comp Plan text amendment to the Planning Commission on January 10, 2025 – transmittal of the initiative to the BCC was recommended. During BCC agenda briefings, County Administration expressed concern about the impact of increased residential density

on surrounding roadway infrastructure. The item was postponed until the May BCC transmittal to allow CRA Staff time to prepare a comprehensive traffic study.

Staff is processing a Comprehensive Plan amendment to the text of the FLUE WCRAO sub-objective that would increase the number of units available in the Density Bonus Pool by 3,000 from 1,300 to 4,300. The amendment is triggered by redevelopment of the PBKC site which is anticipated to need at least 50% of the density bonus remaining in the program for their first phase of multifamily housing. An increase is necessary to support future redevelopment build out projections.

Tentative Amendments Timeline

Comp Plan (25-A2) Density Bonus Pool	Planning Commission Initiation – July 12, 2024	BCC Initiation Hearing – August 28, 2024	Staff reports – Dec. 2024	Planning Comm. Hearing – January 10, 2054	BCC Transmittal– May 13, 2025 (TBD)	BCC Adoption Hearing – Nov. 5, 2025 (TBD)
ULDC WCRAO Parking Reduction + related Density Bonus Pool revisions	BCC Request for Permission to Advertise – previously initiated	BCC Transmittal Hearing – August 28, 2024 – allows work on related Comp Plan revisions	BCC PTA – April 24, 2025 – parking revision	Zoning Comm. – May 1, 2025 - parking revision	BCC Adoption Hearing – May 29, 2025	

Zoning Management has reviewed the amendment draft provided in October 2023, and has provided general direction to rework the document. A path has been provided to revise WCRAO parking provisions. Staff has been working with Schmidt Nichols on developing a parking code that would reduce the demand for residential by unit type.

Staff submitted an amendment draft to Zoning in early October 2023. Concurrently, Staff is exploring the concept of merging the WCRAO with the URAO toward a Redevelopment Code for the County.

Staff met with Vice-Mayor Weiss, assistant County administrators, and PZB staff on October 26th to discuss ways in which the WCRAO may be streamlined to be made more efficient and flexible to use, while remaining true to intent. A path forward includes a Comprehensive Plan amendment to be initiated early in the new year to better define policies for open space and land development, followed by amendments to the WCRAO/ULDC. Staff will also propose increases to the Density Bonus Program pool of units as well as explore options to add more daily and pm peak trips to the TCEA pool. Staff is re-tooling to address the Mayor's concerns.

Background: CRA staff submitted a request letter for amendments to the CRA's zoning overlay in early December 2021 with the optic of adoption by the BCC at the end of 2022. The Zoning Division is under new directorship, and the two-round policy for UDLC amendments is replaced by a prioritization scale. The CRA will work with County Code Revision staff and County departments to develop amendment language for Board review in the coming months. Staff will utilize one of its continuing planning consultants to assist.

SFWMD Compensating Floodplain Storage Mitigation Bank (ONGOING)

Updates: Staff is working with Reikenis & Associates, LLC Consulting Engineers to analyze the potential value of existing and future C-51 compensating flood plain storage credits that are banked with SFWMD. Quantifying and adding a valuation to the mitigation bank allows the CRA to better understand the dollar value of mitigation credits for redevelopment projects.

There remains approx. 13-acre feet available in various retention areas in the CRA district that could be added to the mitigation bank. CRA staff has requested a proposal from Higgins Engineering to continue with this important work.

Higgins Engineering has advised that SFWMD has formally amended the original permit for the Westgate Central Lake. A total of 23-acre feet are assigned to the mitigation bank, lower than our original estimation. The Board allocated 8-acre feet to the Greene Apartments (now Brandon Estates), and 6-acre feet to the Autumn Ridge apartments. Only 9-acre feet remain in the mitigation bank.

On June 30th SFWMD formally established a compensating storage bank for C-51 basin, sub-basin 39. This bank only includes the Westgate Central Lake aka Dennis Koehler Preserve. Available compensating storage volume available from the bank will expire in 2043. The Autumn Ridge project will utilize 9 acre-feet of storage from the mitigation bank. Approx. 12 acre-feet will be remaining for future redevelopment projects. Staff is considering developing a program for accessing credits from the bank.

Background: The CRA is working with Higgins Engineering and SFWMD to formalize a storm water storage mitigation/redevelopment credit program using the Dennis Koehler Preserve retention lake for redevelopment projects within a certain basin or sub-basin. Higgins Engineering estimates that approximately 28-acre feet could be available to redevelopment projects to offset storage requirements. Some of those acre feet have already been pledged to the Greene Apartments and Autumn Ridge projects.

FY21 TCRPC Brownfields Site Assessment Grant (IN PROCESS)

Updates: Florida DEP has reviewed Stantec's ESA report and has provided comments; Stantec is preparing a response. If Stantec advises that additional testing is required by the State to determine the extent of contamination, and necessary clean-up, TCRPC has funding available to assist. The next step would be to determine the best path for remediation.

Cardno (now Stantec) has completed testing. Results indicate levels of contamination on site that are in excess of allowable State limits. Staff will be meeting with Stantec and TCRPC to discuss next steps.

Cardno has identified that contamination is most concentrated in the northeast corner of the Chickamauga site with no groundwater affected, however further assessment is warranted to determine the spread and depth of contamination in order to recommend the best path for remediation. Using a new round of funding through TCRPC, a specific assessment will be completed by Cardno. Next steps include: specific testing, a meeting with the DEP to understand the scope of clean up, and a determination of funding sources for excavation/clean up (TCRPC or PBC DHED).

Cardno has completed supplementary soils testing and is preparing a final report for CRA review and/or action. Results are targeted to be presented to the CRA Board at their September meeting. Testing indicates a high concentration of Benzoapyrene (BaP) in the northwest corner of the property. Cardno will determine whether remedial action is warranted. Cardno conducted a Phase II assessment in early December. Findings indicate trace amounts of contamination (arsenic & BaP) in the soil; the groundwater is said to be clear. CRA Staff is pursuing a more thorough soils study through funding available through TCRPC prior to issuing an RFP. Phase I ESA findings indicate the need to conduct

further assessment of the site to determine if historical adjacent uses have negatively impacted the site. The CRA was approved by the TCRPC for a Phase I Environmental Assessment on September 9, 2021. Brownfields environmental consultants Cardno, completed the Phase I assessment in mid-October 2021.

On August 25, 2021, CRA staff submitted an application for funding from the TCRPC (Treasure Coast Regional Planning Council) Brownfields Program for a Phase I Environmental Assessment for the Chickamauga redevelopment site. Due to historic auto salvage and a dry-cleaning use on Okeechobee on the site now occupied by Cumberland Farms, there is a likelihood that the site has some degree of contamination. The grant would fund a Phase I assessment, and a possible Phase II assessment depending upon initial findings. Any remediation timelines and cost to be determined. State funding is possible.

Background: The Chickamauga site consists of 3 parcels, one containing an occupied single-family dwelling, purchased by the CRA in December 2019 for \$550,000. The site is located directly south of Spencer Square facing the Dennis Koehler Preserve to the south. The site is earmarked for the CRA for mixed use or high-density residential redevelopment. CRA staff anticipates issuing an RFP in FY22.

Community Garden/Greenmarket (ONGOING)

Update: The Plat is recorded and corner clip dedications are complete. CRA staff is planning for the construction of a permanent structure. Staff applied for a USDA Urban Agriculture grant in 21/22 to assist with the construction of the structure and to facilitate enhanced programming at the farm, but was not awarded the grant. CRA staff is looking at the viability of re-applying in another fiscal year.

PBC Transportation Planning Agency (TPA) Transportation Alternatives (TAP) & Local Initiatives (LI) Grants

FY20 Cherry Road Pedestrian & Safety Improvements (CONSTRUCTION MOBILIZED)

Updates: Rosso will begin construction following the completion of Westgate Ave. Anticipated start is March 2025.

The contractor has been selected, and the BCC has approved the construction contract.

The ILA between the CRA and the County has been approved by the BCC. An RFP has been issued to select the contractor.

Design has been completed. Design engineers had identified field conditions that will make the installation of 10-12 ft. wide multi-purpose paths on the north side of Cherry Rd. impossible within the existing ROW. Several options have been discussed with PBC Engineering and the TPA, with the best option being reducing the multi-purpose paths to 8 ft. Engineering is awaiting approval from FDOT on the new cross section prior to design resuming.

PBC Engineering has expressed concerns regarding crosswalks on the approved cross section that requires resolution for the project to move forward on the TPA grant timeline.

The Cherry Road project received approval for funding by the TPA Governing Board in July, 2020. The CRA engaged consultants, WGI to refine the Cherry Rd. improvements project for TPA TAP grant application submittal in the 2020 cycle. CRA Staff and WGI worked with Engineering on improving the proposed typical sections. The project proposes reduced travel lanes for traffic calming, new sidewalks on the south side of Cherry Rd east and west of the bridge to the intersection of Country Club Rd., a new 12' shared multi-use path on the north side of the corridor, new crosswalks, pedestrian scale lighting, and shade trees where allowed. The total project cost is \$1.96 million. The grant

reimburses \$1 million. The application was submitted to the TPA on February 28, 2020.

FY18 – Westgate Avenue Corridor Complete Streets (CONSTRUCTION COMPLETED)

Updates: Construction of the streetscape project is substantially completed. Contractors are working on installing the remaining light fixtures, landscape re-install, and punch-list items. Once Rosso has fully closed-out construction on Westgate, they will move to begin construction on the Cherry Rd. A ribbon cutting is being planned by County Engineering for the Westgate project.

Construction on the Westgate Avenue project has moved to the south side; most driveways are completed. North side roadway milling to be completed by end October; sidewalks and landscaping by end of November. Milling on the south side and light fixture installation to occur in December. The project is projected to be completed by the beginning of the new year.

The Westgate Ave. streetscape is under construction, and ahead of schedule. Sidewalks, driveway connections, bollards, irrigation lines, and landscaping is in place on the north side of the corridor. Construction crews have moved to the south side, and are working on drainage.

Background: Staff engaged WGI to coordinate the preparation of travel demand forecast modelling to determine the impact of reducing Westgate Ave from 5 lanes to 3 lanes utilizing a road diet approach. WGI facilitated communication with PBC TPA and Engineering to determine the best design alternative, held a public input meeting, and drafted the final design for the project be used to obtain funding. WGI met with the Engineering Department to present the lane elimination plan. County staff is in support of the lane reduction from Wabasso to Congress, but they are not in support of the elevated landscape median. An alternative design, which allows for 3 lanes (2 thru lanes and one center turn lane), bike lanes, and floating landscape islands on both sides of the ROW alternating with on street parking was presented to County Engineering for approval and support. With assistance from WGI, the LI grant application was submitted on March 2, 2018. CRA staff is working with County Engineering and Administration to design and administer all 3 of the TPA grant projects.

The TPA Governing Board voted to adopt the TPA List of Priority Projects for the LRTP FY 2020-2024 at their September 20, 2018 meeting. Projects that met TPA and FDOT eligibility requirements were ranked by internal advisory boards, committees and TPA Staff to be forwarded the Governing Board. The Westgate Avenue Complete Streets project was ranked #1 of 6 entries to receive Local Initiatives Program funding. This project has been moved up the timeline due to the inability of other funded projects to proceed. Design can start in July 2019 for FY 2019/20. Construction funding will be approved after the design is completed.

Streetlights for Belvedere Homes (ONGOING)

The Engineering Department is partnering with Office and Community Revitalization to install streetlight in Belvedere Homes. An initial meeting has been held. Citizens are currently gathering signatures and easement authorization from residents and property owners.

Private Redevelopment Projects

Below is list of private development projects that are in the entitlements or the permitting process:

Projects	Address	Status
Palm Beach Marketplace MUPD Expansion	1960 Okeechobee Blvd.	<ul style="list-style-type: none"> ▪ WCRA 4/14/25 Board Meeting ▪ Adding 2.21 acres of land - rezoning, DOA, DRO approval for 14,521 sf of Type 1 restaurant use
Mobil Gas Station – car wash	1755 N Congress Ave.	<ul style="list-style-type: none"> ▪ Under Construction – 800 sf car wash
PBKC – 42-acre redevelopment site	1111 N. Congress Ave.	<ul style="list-style-type: none"> ▪ WCRA recommendation 3/10/25 ▪ Rezoning to MUPD, PH1 405 units (325 DBP units)
Neighborlee Micro-units/Mixed-use	2818 Westgate Ave.	<ul style="list-style-type: none"> ▪ WCRA recommendation 2/10/25 ▪ Rezoning, BCC approval of 50 du/ac of WCRAO bonus density on .66 acres (33 DBP units) – 240 sf microunits
Tallahassee MF	1302 Tallahassee Dr.	<ul style="list-style-type: none"> ▪ WCRA recommendation 8/12/24 ▪ 7-unit multifamily project ▪ WCRAO DBP units, Type 1 Waiver
2944-2952 Westgate mixed use	2944-2952 Westgate Ave.	<ul style="list-style-type: none"> ▪ In Zoning review ▪ 2,300 sf prof. office w/ 5 units – DBP units
PBKC – new relocated facility	1111 N. Congress Ave.	<ul style="list-style-type: none"> ▪ BCC approval Dec. 2024 ▪ WCRA recommendation 3/11/24 -- 60,286 sf facility + 4 level parking structure ▪ Rezoning, Class B Cond use (indoor entertainment), DRO for Type 2 restaurant, variances, waivers
NorWest Pointe	Westgate at Tallahassee	<ul style="list-style-type: none"> ▪ WCRA recommendation 8/12/24 ▪ DRO approval for additional density for a 9-unit MF rental project, Type 1 Waiver (rezoning approved. WCRA recommendation 11/13/23)
Al Packer Fleet Services	1668 N Military Trail	<ul style="list-style-type: none"> ▪ Approved -- 5/8/23 CRA recommendation ▪ Rezoning to CG, BCC approval for heavy vehicle repair & maintenance
PBC Fire Station #24	Westgate at Seminole	<ul style="list-style-type: none"> ▪ In Zoning, design completed – 3/13/23 CRA Board meeting, BCC in August ▪ Rezoning to PO approved, in site design phase
Aero Village	1699-1705 N. Congress Ave	<ul style="list-style-type: none"> ▪ Approved – 1/9/23 CRA Board meeting ▪ 4-stories, 38-unit market rate MF rental development
Westgate Terrace (Danza Group)	2636 Westgate Ave.	<ul style="list-style-type: none"> ▪ Project has zoning approvals! – Danza Group to request closing on CRA owned properties ▪ 4 stories, 44 units – professional office/medical office
The Hangar & Airfield Business Park	1050 N. Congress Ave. (former PBKC property)	<ul style="list-style-type: none"> ▪ Under construction – 2/14/22 CRA Board meeting ▪ 60,000+ sf of privately owned warehouse units with collocated additional warehouse, vehicle sales/repair, community and assembly membership non-profit space
EZ Express Carwash (Walmart MUPD)	1098 N. Military Trail	<ul style="list-style-type: none"> ▪ In permitting ▪ DRO approval in April for a 2,700-sf. automatic carwash
Extra Space Storage (Cherry Road Plaza MUPD)	Cherry Rd	<ul style="list-style-type: none"> ▪ Under construction ▪ Approval for ABN, DOA, Variances, DRO approval for a 161,000 sf (phased) self-service storage facility
Palm Key Apartments	Cherokee Ave.	<ul style="list-style-type: none"> ▪ Under construction – DRO approval in March 2023 ▪ 7 townhome-style multifamily units on .46 ac – utilizing CRA density bonus units

**WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY
1280 N. CONGRESS AVE., SUITE 215, WEST PALM BEACH, FL. 33409
MINUTES OF THE MONTHLY MEETING**

March 10, 2025

I. CALL TO ORDER (IN-PERSON MEETING BROADCASTED ON ZOOM PLATFORM)

Mr. Daniels, the Board Chair, called the meeting to order at 5:03 p.m. The roll was called by Ms. Bui.

Present: Ronald L. Daniels
Joanne Rufty
Teliska Wolliston
Ruth Haggerty

Absent:

Staff Present: Elizée Michel, Executive Director
Denise Pennell, Director of Planning & Development
Carmen Geraine, Bookkeeper
Mai Bui, Redevelopment Specialist/Administrative Assistant
Thomas J. Baird, Esq., General Counsel – Arrived at 5:07p.m.

Absent:

Others Present: Juan Groves, Peter Kiliddigian, James Clev, Rick Reikenis, Joni Brinkman, Ken Tum, Cody Codwell

Zoom Attendees: Chris Heggen

II. AGENDA APPROVAL

1. Additions, Deletions, Substitutions to Agenda

- Reorder the Agenda – Move Agenda Item #3,4,5,6, and 7 to Consent.

2. Adoption of Agenda

- It was moved by Ms. Rufty and seconded by Ms. Haggerty to adopt the agenda as amended. Motion carried (4-0)

III. ADOPTION OF W/BH CRA MINUTES

- It was moved by Ms. Haggerty and seconded by Ms. Rufty to adopt February 10, 2025 minutes. Motion carried (4-0)

IV. PUBLIC COMMENT

- No Public Comments

V. DISCLOSURES

- No Disclosures

VI. CONSENT AGENDA

1. Recommendation for Proposed Addition & Porte Cochere at 1279 Marine Drive
2. Authorize the Board Chair to Execute Agreement with Engenuity Group Inc. for Engineering Services
3. Authorize the Board Chair to Execute Agreement with Engenuity Group Inc. for Surveying Services
4. Authorize the Board Chair to Execute Agreement with Kimley Horn & Associates, Inc. for Planning Services
5. Authorize the Board Chair to Execute Agreement with Chen Moore & Associates, Inc. for Planning Services
6. Authorize the Board Chair to Execute Agreement with Schmidt Nichols for Planning Services

It was moved by Ms. Rufty and seconded by Ms. Wolliston to approve the consent agenda. The motion passed unanimously (4-0)

VII. REGULAR AGENDA**1. Recommendation for Westgate Village MUPD – Phase I**

Mr. Michel and Mr. Brinkman presented the item to the Board.

The historic Palm Beach Kennel Club site is located at 1111 N. Congress Ave., at the west corner of Congress Avenue at Belvedere Rd., directly north of the Palm Beach International Airport. A subdivision of five acres of land from the northern portion of the 47.06-acre site will support the relocation of the Kennel Club facility (Parcel in blue). The 42-acre balance of the overall site is under contract for a phased residential/mixed-use redevelopment program. A rezoning of the entire 42-acre site to a Multiple Use Planned Development (MUPD), and the approval of 405 garden-style multifamily rental apartments on 16.05 acres as Phase 1 (Parcel A), along with the

facilitating approvals a Type 2 Variance, are the primary application requests. An Abandonment of the Special Exception flea markets granted in 1983 via R-83-0803 deletes an obsolete use. The existing Kennel Club facility (Parcel B), comprised of Indoor Entertainment and Type 2 Kennel uses will be folded into the proposed MUPD, and will maintain operations at its current location while the new facility is under construction. The WCRAO Density Bonus Program is a key to facilitating the development program in this phase. The site has a future land use of CH/5 (commercial high with an underlying 5 units per acre) representing 80 units on 16.05 acres. To achieve 405 units, the application requests an allocation of 325 units from the pool of units requiring Class A Conditional Use approval by the BCC, to allow the bonus density to transfer to a PDD. The entitlements approach is to consider the entire 42-acre property within the MUPD, with only the 16.05 acres representing Parcel A as Phase 1 to be reviewed under a combination zoning district and overlay: WCRAO standards for the purposes of frontage, setbacks, density calculations and parking; MUPD regulations for rezoning standards, and overall land development purposes. A Development Order Amendment (DOA) to the MUPD site plan to facilitate redevelopment on the remaining 26.01 acres is anticipated in the future.

To facilitate the development of Phase 1, the agent for the applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Official Zoning Map Amendment ("Rezoning") of entire 42.06 acres from Commercial General (CG) in part, and Residential High (RH) in part, to Multiple Use Planned Development (MUPD);
2. Board of County Commissioners ("BCC") Class A Conditional Use approval to allocate 325 Density Bonus Units from the WCRAO Density Pool, representing 20.25 bonus units per acre on 16.05 acres to a Planned Development District (MUPD);
3. Development Order Abandonment of a Special Exception to allow an Open-Air Flea Market granted via Resolution R-83-0803;
4. Type 2 Variance to Table 3.B.14.F WCRAO Non-Residential & Mixed-Use Sub-Area PDR's Optional Plazas and Squares, to allow an increase to the maximum of 25' for plaza depth to 75', a variance of 50' for the Build to Line Exemption; and,
5. Development Review Officer (DRO) Approval for a ROW Easement Exemption to adjust the build-to line for consistency along the Congress Avenue frontage, pursuant to 3.B.14.F.2.a.2).

B. Recommendation: Staff support Westgate CRA Board's recommendation for the following:

1. Official Zoning Map Amendment ("Rezoning") of entire 42.06 acres from Commercial General (CG) in part, and Residential High (RH) in part, to Multiple Use Planned Development (MUPD);

2. Board of County Commissioners (“BCC”) Class A Conditional Use approval to allocate 325 Density Bonus Units from the WCRAO Density Pool, representing 20.25 bonus units per acre on 16.05 acres to a Planned Development District (MUPD);
3. Development Order Abandonment of a Special Exception to allow an Open-Air Flea Market granted via Resolution R-83-0803;
4. Type 2 Variance to Table 3.B.14.F WCRAO Non-Residential & Mixed-Use Sub-Area PDR’s Optional Plazas and Squares, to allow an increase to the maximum of 25’ for plaza depth to 75’, a variance of 50’ for the Build to Line Exemption; and,
5. Development Review Officer (DRO) Approval for a ROW Easement Exemption to adjust the build-to line for consistency along the Congress Avenue frontage, pursuant to 3.B.14.F.2.a.2).

It was moved by Ms. Haggerty and seconded by Ms. Rufty to authorize staff recommendation. The motion passed unanimously (4-0)

2. Adoption of FY 2024 External Audit Report

Mr. Michel introduced the item to the Board.

Ms. Zenora Ward from Ward and Company P.A., presented the audit report for the fiscal year 2024.

Staff recommend that the Board adopt the audit report as presented.

It was moved by Ms. Haggerty and seconded by Ms. Rufty to adopt the audit report as presented. The motion passed unanimously (4-0)

3. Approval of Work Assignment #1 for Kimley-Horn and Associates Inc. to Complete a Traffic Study for Comprehensive Plan FLUE Text Amendment

Mr. Michel presented the item to the Board.

The CRA is pursuing a Comprehensive Plan amendment to the FLUE to increase the number of density bonus units available in the Pool through the Westgate Community Redevelopment Area Overlay Density Bonus Program. As part of the adoption process for the amendment, a traffic study is required to be performed following a methodology defined by the Palm Beach County Traffic Division.

The scope of services include the calculation of trip generation, allocation of trips within the CRA boundary, the determination of overall traffic distribution, the volume counts of AM peak and PM peak periods turning movement, the determination of long-range future traffic volume projections, the review of adopted 5-year work programs and long-range cost-feasible improvement programs, the analysis of long-range transportation system Level of Service (LOS) analyses, the research and evaluation of other mobility and capacity options, including, but not limited to, Palm Tran, Tri-Rail, Brightline, and pedestrian and bicycle facilities to identify available capacity on alternate modes of transportation of the surrounding roadway network, the identification of strategies and mitigation options to allow LOS standards to be met, and other tasks included in the Work Assignment #1 Proposal for Services.

The firm is proposing to complete the work for a lump sum amount of \$50,000.00.

Staff recommend that the Board approve Work Assignment #1 for Kimley-Horn and Associates to do the traffic impact analysis for an amount not to exceed \$50,000.00.

It was moved by Ms. Haggerty and seconded by Ms. Wolliston to approve Work Assignment #1 for Kimley-Horn and Associates to do the traffic impact analysis for an amount not to exceed \$50,000.00. The motion passed unanimously (4-0)

4. Pre-approval of \$10,000 of Site Development Assistance Reimbursement Grant for 2915/2921 Saginaw Ave.

Mr. Michel presented the item to the Board.

It was moved by Ms. Rufty and seconded by Ms. Haggerty to approve \$10,000 of Site Development Assistance Reimbursement Grant for 2915/2921 Saginaw Ave. The motion passed unanimously (4-0)

VIII. STAFF REPORTS

Mr. Rick Reikenis presented the valuation of credits for compensating flood plan storage.

Planning & Zoning and WCRA Staff Bus Tour was featured in the County Line.

Leticia was hired as Planner 1 and is no longer with WCRA. Staff are looking for another candidate.

Food Distribution is on the second Tuesday of every month, feeding over 500 households.

Celebrate Westgate "Key For Success" will be on April 12, 2025 from 11:00a.m. to 3:00p.m.

Rooney 5K Run will be on Saturday, April 19, 2025.

IX ATTORNEY'S REPORTS

Mr. Baird reported:

- Mr. Baird reported that the Danza Group had closed on the Westgate Avenue property.

X. BOARD MEMBER COMMENTS

XI. AJOURNMENT

It was moved by Ms. Rufty and seconded by Ms. Wolliston to adjourn the meeting. The meeting was adjourned at 6:10p.m.

Mai Bui Redevelopment Specialist/Administrative Assistant



03/14/2025

RE: Westgate Properties – SDAP Application for 2665 Hiawatha Ave, West Palm Beach, FL 33409 – Tamayo V LLC

Dear WCRA,

We are reaching out to you regarding our project "Westgate Properties", located at Hiawatha Ave, West Palm Beach, FL 33409, as part of our efforts to provide quality housing for future residents while revitalizing the Westgate area. This project aims not only to enhance the urban environment but also to provide comfortable and affordable homes for families who will enjoy a modern, well-located property built to high-quality standards.

The development involves the construction of 17 single-family homes, all designed to create spaces where individuals can thrive, live in a safe environment, and become part of a growing community. Each of these homes reflects our commitment to contributing to the sustainable development of the area by offering housing options that blend functionality and aesthetics.

This project aligns with the goals of the WCRA's Community Redevelopment Plan, fostering both the physical renewal of the area and the social and economic well-being of the community. By attracting new residents, we help create a more vibrant and connected neighborhood, generating a lasting positive impact on the local quality of life.

This application specifically pertains to the property located at 2665 Hiawatha Ave, West Palm Beach, FL 33409, part of the "Westgate Properties" project. This development focuses on meeting the growing demand for modern housing, contributing to the enhancement of the urban environment and the sustainable growth of the community.

We are requesting the maximum allocation of \$5,000 from the Site Development Assistance Program (SDAP) to cover eligible expenses related to the design, construction permits, and exterior improvements of this property. This support is essential to ensure that the home meets the community's aesthetic and functional expectations, contributing to the overall appeal of the project and the revitalization of the area.

We appreciate your consideration and are excited about the opportunity to continue contributing to the progress and revitalization of the Westgate community.

Project Narrative

The “Westgate Properties” project, located along Hiawatha Ave in West Palm Beach, FL 33409, has made significant progress. The land clearing has been completed, and the initial lots have been successfully subdivided into 17 individual lots. Currently, the project is 43% complete, with construction permits approved and homes actively under construction, progressing steadily according to the established timelines.

Despite current market challenges, we have managed to maintain stable construction costs, allowing us to offer competitive prices. Property values range between \$390,000 and \$415,000, still below the median market price in the county, which is approximately \$500,000. This project offers affordable homes with excellent value for money, making it an attractive option for families and residents.

Our homes are designed with modern and efficient layouts, featuring 3 bedrooms and 2 bathrooms, with 1,276 square feet under air and an area under roof of 1,341 square feet, including a front porch. Built with concrete block structure (CBS) technology, they provide durability and protection against adverse weather conditions. Additionally, they are equipped with impact-resistant windows and come with contemporary finishes as standard, ensuring both comfort and style. The kitchens are fully equipped with stainless steel appliances, guaranteeing quality and long-term value for homeowners.

All our properties comply with the development regulations of the WCRA and the Florida Building Codes, ensuring both quality and long-term safety for residents.

We are applying to the Site Development Assistance Program (SDAP) to cover pre-development expenses and fund exterior improvements, including the installation of paver driveways for a more durable and visually appealing solution. We will also incorporate native landscaping, such as palm trees and other regional plants, to enhance both the aesthetic and environmental value of the properties. The homes will be painted with high-quality, long-lasting, water-resistant paint in carefully selected colors that highlight architectural details and ensure durability. Additionally, to improve security and curb appeal, we will install enhanced exterior lighting, providing better visibility and a more inviting atmosphere at night.

We have attached to this application a breakdown of the construction budget, images of completed homes with the same design, floor plans and elevations, along with the approved permits. We also include the deed of ownership confirming our title. We believe that this application meets all program requirements, and we look forward to approval from the WCRA board members and their Board of Directors.

We are committed to contributing to the revitalization of Westgate and to continue providing quality, affordable housing to the community.

Do not hesitate to contact us with any questions.

Best regards,

 *Maria Tamayo Villegas* 03/28/25

Tamayo Villegas Maria, Owner.

SITE DEVELOPMENT ASSISTANCE PROGRAM APPLICATIONApplicant Name: Maria N. Tamayo VillegasBusiness Name: Tamayo V LLCBusiness Address: 579 N State Road 7, Royal Palm Beach, FL 33411

Mailing Address (if different than above): _____

Phone: 305-588-8506Email: projects@treasurepg.com

Website: _____

Property Control Number (PCN#): 00434330030400350EIN#: 92-2956985Applicant's business/development site is:
(attach copy of multi-year lease or warranty deed)☒ Owned ☐ Leased

Applicant's project includes: (check all that apply)

- | | | |
|---|---|--|
| <input type="checkbox"/> Exterior Lighting | <input checked="" type="checkbox"/> Landscaping | <input type="checkbox"/> Roof Repair |
| <input type="checkbox"/> Commercial Parking | <input type="checkbox"/> Exterior Signage | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Expansion/Renovation of an existing building | | |

Project Budget:

1. Interior Renovations/Improvements: \$ 120,0002. Exterior Renovations/Improvements: \$ 120,0003. Pre-development/Permitting: \$ 115,0004. Total Project Budget: \$ 355,000Are you applying for grant assistance under any other program offered by the CRA: Yes ☐ No ☒

If so, what other programs are you applying for: _____

Have you been approved for funding by the CRA Board: Yes ☐ No ☒ If so, amount: \$ _____?

Please read the section below carefully. After you have read the entire application, sign the form below and submit your completed application to the CRA offices.

I, the undersigned, being a principal of the business applying for assistance under the Site Development Assistance Program, certify that the business in the Westgate/Belvedere Homes Community Redevelopment Area within the unincorporated area of Palm Beach County.

I understand that the CRA may, at its sole discretion, discontinue subsidy payments at any time if in its sole and absolute determination it feels such assistance no longer meets the program criteria or no longer furthers the Westgate CRA Community Redevelopment Plan.

I understand that this application is not a guarantee of assistance. Should my application be approved, I understand that I am committing to completing the project I have represented in this application and obtaining a Certificate of Occupancy or the necessary satisfactory inspection notices signifying that the work has been done in accordance with County ordinances and codes. I agree to obtain all necessary County or other governmental or State approvals and/or licenses prior to beginning any work. Failure to do so may jeopardize my ability to receive reimbursement under this grant program.

I understand that the project represented in this application must receive CRA Board approval before the work is completed in order to be eligible for reimbursement.

I have read this program brochure in its entirety and by signing below accept the terms of the program as represented in this brochure. I understand that if this application is submitted incomplete, it will not be processed.

 *Maria Tamayo Villegas*
Applicant's Signature

Maria Tamayo Villegas

03/28/25

Printed Name

Date

APPLICATION CHECKLIST

The completed application must include the following items prior to processing:

- ☒ Signed and completed application form
- ☒ Business Plan or Executive Summary, including a narrative describing the business, its operations, its business principles, impact on the community, and potential for area resident employment
- ☒ Detailed 3-year budget projections of revenues and expenses
- ☒ Historical financials for the past three years, in a sealed envelope (existing businesses only)
- ☒ Copy of multi-year lease (including expressed permission from landlord to make changes as outlined in the project) or copy of Warranty Deed showing property ownership
- ☒ Narrative description of entire project, broken down into interior and exterior improvements and/or renovations, including financing sources
- ☒ Detailed breakdown of exterior renovations and improvements for which reimbursement is being requested under the grant program.

OFFICE USE ONLY:

Pre-application meeting date: _____ Meets eligibility requirements: Yes ☐ No ☐

CRA Board meeting date: _____ Recommend Board approval: Yes ☐ No ☐

Application notes: _____

_____ CRA staff initials: _____



Westgate Model - Standard Features

Energy Efficiency Highlights

- Impact-resistant sliding doors and windows with energy-efficient design.
- R-30 ceilings insulation for optimal thermal retention.
- Tankless water heater for efficient energy and space savings.
- High-efficiency Goodman HVAC system.
- Continuous attic ventilation for improved airflow.
- Window blinds for added comfort and privacy.

Modern Exterior Details

- Modern design featuring a 65 SF covered front porch.
- Paver driveway extending to the street.
- Backyard patio with side and rear exterior access.
- City water & sewer hookups.
- Fully sodded lawn with fencing around the rear perimeter for privacy.

Sophisticated Interior Touches

- 9'-4" ceiling heights throughout the property, adding a sense of space and openness.
- 6'-8" interior doors with brushed nickel hardware for a polished look.
- Modern baseboards throughout the home for a contemporary finish.
- Plank-style tile flooring in all living areas for durability and easy maintenance.
- Stackable washer and dryer for efficient use of space.

Durable, High-Quality Construction

- Built to comply with the strict standards of the Florida Building Code.
- Monolithic slab foundation reinforced with steel, vapor barrier, and 3000-psi concrete.
- Exterior walls made of reinforced concrete block for enhanced durability.
- Hurricane-resistant truss system designed to Florida Builders Code standards.
- Premium low-VOC interior and exterior paint for a healthier living environment.
- Insulation in exterior walls for energy efficiency.
- Includes all building permits, soil studies, utility connections, and impact fees.

Gourmet Kitchen

- White shaker-style upper cabinets with soft-close features and adjustable shelves.
- White granite countertops with a 4" backsplash for a clean, stylish look.
- Full stainless steel appliance package (refrigerator, ceramic cooktop stove, microwave, and dishwasher) with manufacturer warranties.

Advanced Electrical Features

- Underground electrical service for enhanced safety and aesthetics.
- Strategically placed switches and outlets for convenience.
- LED lighting throughout the property for energy efficiency.
- GFI outlets in bathrooms and kitchen, plus smoke detectors compliant with the Building Code.

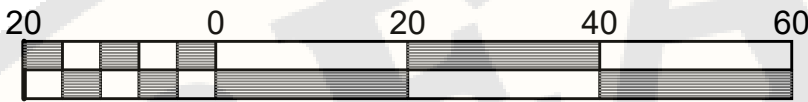
Cost estimates are based on current market conditions and may be adjusted to account for changes in materials, labor, or other factors beyond our control.

Reviewer	Agency	Date
Eddy, Maryellen	Permit Tech	05/10/2024
Cirino, Alison	Addressing	04/09/2024
ePZB Approval Data		

REVISIONS:
11/30/2023 Added site plan information.
12/27/2023 Revised per Title Commitment
01/18/24 individual site plan
02/29/2024 Finished Floor

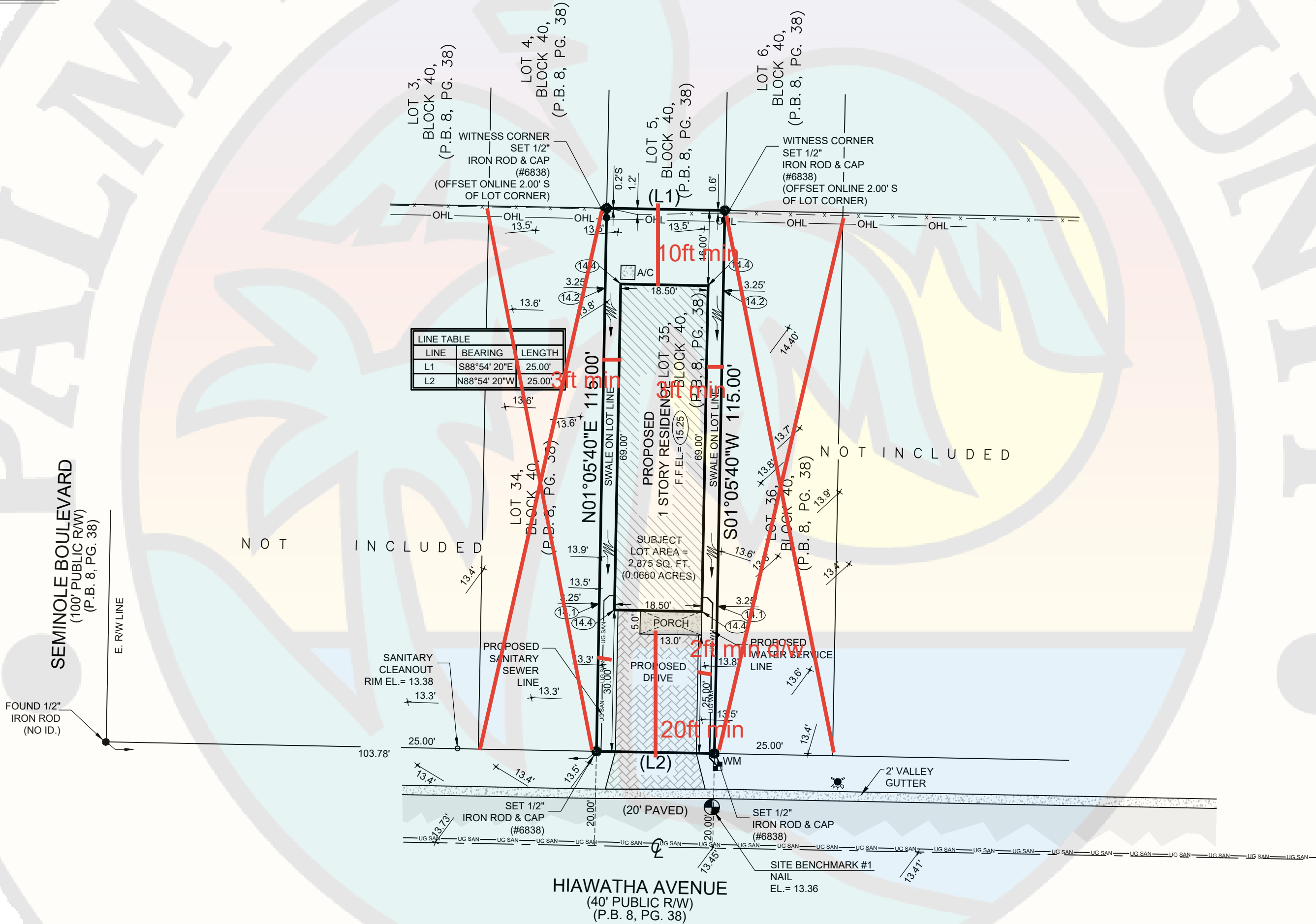


LOCATION MAP N.T.S.



Scale 1" = 20'

NORTH



LINE	BEARING	LENGTH
L1	S88°54'20"E	25.00'
L2	N88°54'20"W	25.00'

NOTES ON SCHEDULE B-2 TITLE EXCEPTIONS:

- 1-6. **Standard exceptions. Not plottable.**
7. Dedications, easements and all other matters as set forth and shown on the Plat of WEST GATE ESTATES (NORTHERN SECTION) recorded in Plat Book 8, Page 38, of the Public Records of Palm Beach County, Florida. **Affects the subject property. All pertinent items are plotted hereon.**
8. Easement granted to Bellsouth Telecommunications, INC by instrument recorded in O.R. Book 12014, Page 339, in the Public Records of Palm Beach County, Florida. **Offsite. Does not affect. Not plottable.**
9. Unity of Title Filed November 27, 1996 recorded in O.R. Book 9547, Page 1175 of the Public Records of Palm Beach County, Florida. **Offsite. Does not affect. Not plottable.**
10. Resolution No. R2000-1538 abandoning a portion of Saginaw Avenue recorded in O.R. Book 12069, Page 109, of the Public Records or Palm Beach County, Florida. **Offsite. Does not affect. Not plottable.**
- 11-13. **Standard exceptions. Not plottable.**

CERTIFIED TO: Treasure Property Group
PROPERTY ADDRESS: LOT 35, BLOCK 40 Hiawatha Avenue, West Palm Beach, FL 33409.
FLOOD ZONE: X (FIRM 120192-12099C0578F 10/05/2017)
DESCRIPTION: Lot 35, Block 40, WEST GATE ESTATES (Northern Section), according to the plat thereof as recorded in Plat Book 8, Page 38, of the of the Public Records of Palm Beach County, Florida.

SURVEY NOTES:

- 1.) Lands shown hereon reflect all pertinent easements and/or rights of way contained in Old Republic National Title Insurance Company, Commitment for Title Insurance; Commitment Number: 23082279 JP1; Commitment Effective Date: July 11, 2023 @ 8:00 AM; See "Notes on Schedule B2 Title Exceptions"
- 2.) Area of subject property = 2,875 square feet (0.06600 acres).
- 3.) Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
 - a) Originating benchmark = Leica Global Positioning System.
 - b) $\times 00.00$ = existing elevation (NAVD 88 typical).
- 4.) No underground improvements located.
- 5.) Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Distances are plat and measured unless otherwise shown.
- 6.) This firm's "Certificate of Authorization" number is "LB 6838".

LEGEND:

CALC. = CALCULATED	(P) = PLAT	P.I. = POINT OF INTERSECTION	ASPH. = ASPHALT PAVEMENT
C.B.S. = CONCRETE BLOCK STRUCTURE	R = RADIUS	P.O.C. = POINT OF COMMENCEMENT	CONC. FLATWORK = CONCRETE FLATWORK
CONC. MON. = CONCRETE MONUMENT	Δ = CENTRAL "DELTA" ANGLE	P.O.B. = POINT OF BEGINNING	PAVER BRICK FLATWORK = PAVER BRICK FLATWORK
CONC. = CONCRETE	L = ARC LENGTH	R/W = RIGHT OF WAY	WOOD POWER POLE = WOOD POWER POLE
D.E. = DRAINAGE EASEMENT	CH.B. = CHORD BEARING	CHAIN LINK FENCE = CHAIN LINK FENCE	WATER METER = WATER METER
U.E. = UTILITY EASEMENT	N.S.V.D. = NATIONAL GEODETIC VERTICAL DATUM	WOOD FENCE = WOOD FENCE	FIRE HYDRANT = FIRE HYDRANT
P.E. = POOL EQUIPMENT	O.R.B. = OFFICIAL RECORD BOOK	METAL FENCE = METAL FENCE	CATCH BASIN = CATCH BASIN
F.F.E.L. = FINISHED FLOOR ELEVATION	P.B. = PLAT BOOK	CENTERLINE = CENTERLINE	SANITARY MANHOLE = SANITARY MANHOLE
EL. = ELEVATION	P.C. = POINT OF CURVATURE	EASEMENT = EASEMENT	
(B.R.) = BEARING REFERENCE	P.T. = POINT OF TANGENCY	COVERED = COVERED	
(D.) = DEED	P.R.C. = POINT OF REVERSE CURVATURE	OVERHEAD LINES = OVERHEAD LINES	
(M.) = MEASURED	P.C.C. = POINT OF COMPOUND CURVATURE	LOT TIE = LOT TIE	

BOUNDARY SURVEY & SITE PLAN

This survey is not valid without embossed surveyor's seal and electronic signature and authentication.

Digitally signed by Michael J Miller
Date: 2024.03.05 12:03:00
Miller 4434

CRD. FILE Y230634

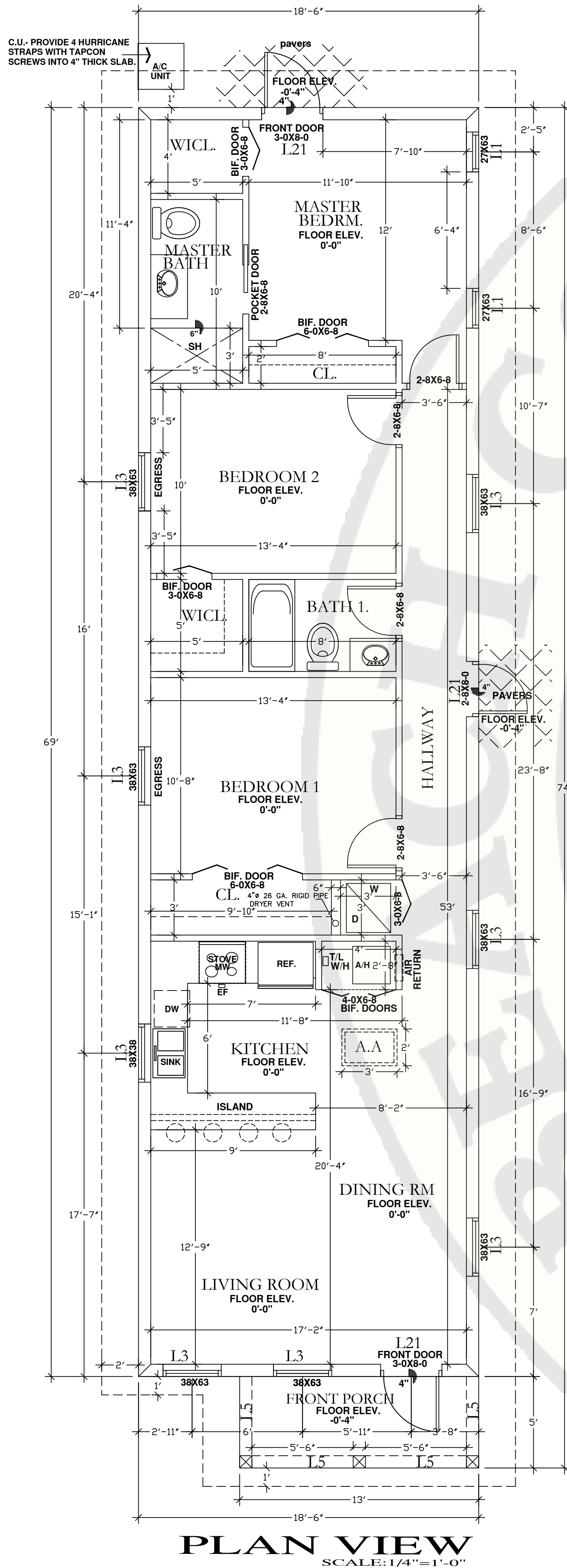
SCALE:	1" = 20'
DRAWN BY:	S.U.B.
FIELD WK:	A.M.
DATE:	10/17/2023

MILLER LAND SURVEYING
1121 LAKE AVENUE
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REF:	B-7637 N-38/73
PREV.	Y120924 Y231072
JOB NO'S.	Y230522
JOB NO.	Y231072-sp
M - 5231 - G	

B-2024-012352-0000

Reviewer	Agency	Date
Kizilil, Murat	PE-B	05/16/2024
ePZB Approval Data		



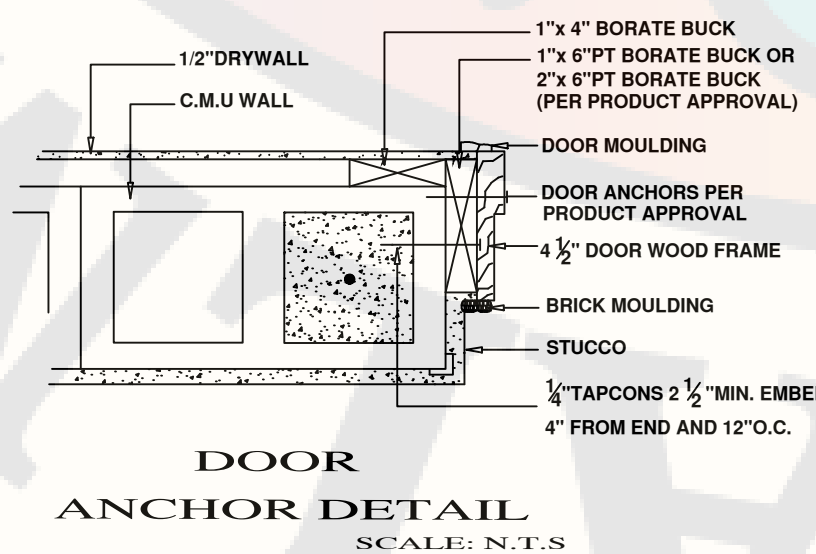
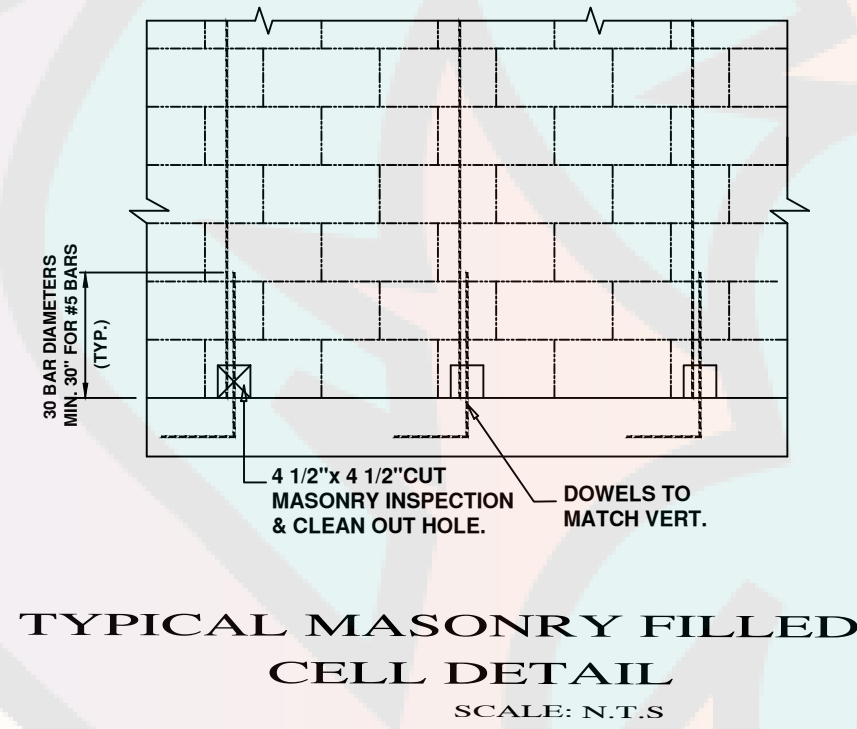
ELECTRICAL, MECHANICAL, PLUMBING
AND GAS SHALL CONFORM TO
CURRENTLY ADOPTED PALM BEACH
COUNTY CODES AND AMENDMENTS.

SQUARE FOOTAGE:		
AREA UNDER A/C.	1276.0	SQ. FT.
FRONT PORCH	65.0	SQ. FT.
TOTAL SQFT.	1341.0	SQ. FT.

DESIGN CRITERIA		
COUNTY	PALM BEACH COUNTY	
BUILDING DEPARTMENT	PALM BEACH	
WIND DESIGN CRITERIA	ASCE 7-2022	
WIND DESIGN METHOD	MAIN WIND FORCE RESISTING	
ROOFING MATERIAL	ASPHALT SHINGLES	
LOADING IN PSF	ROOF	R.D.L.
TOP CHORD LIVE	20	
TOP CHORD DEAD	15	4.2
BOTTOM CHORD LIVE	10 NON-CONCURRENT	
BOTTOM CHORD DEAD	10	3
TOTAL LOAD	45	7.2
DURATION FACTOR	1.25	
WIND SPEED	170MPH (3 SECOND GUSTS) ASD 132	
TOP CHORD C.B.	SHEETING BY BUILDER	
BOTTOM CHORD C.B.	SHEETING BY BUILDER	
HIGHEST MEAN HEIGHT	11'-10"	
BUILDING TYPE	ENCLOSED	
BUILDING CATEGORY	II: NON RESTRICTIVE	
EXPOSURE CATEGORY	C	
OCCUPANCY TYPE	R-3	
CONSTRUCTION TYPE	5-B	

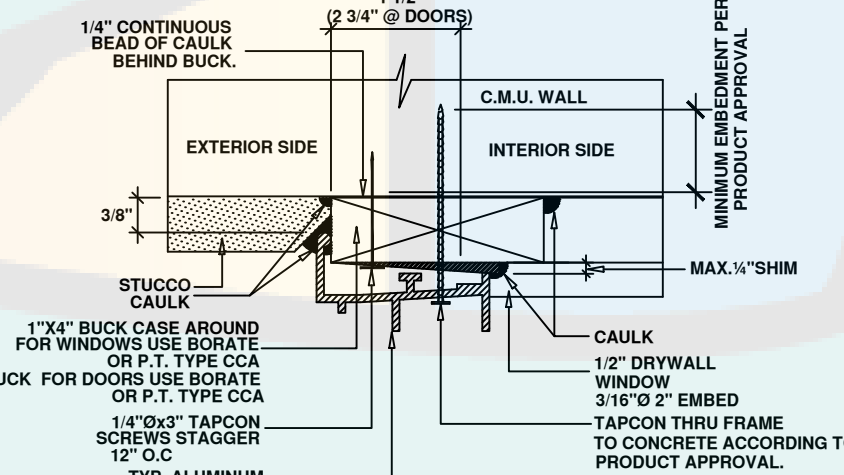
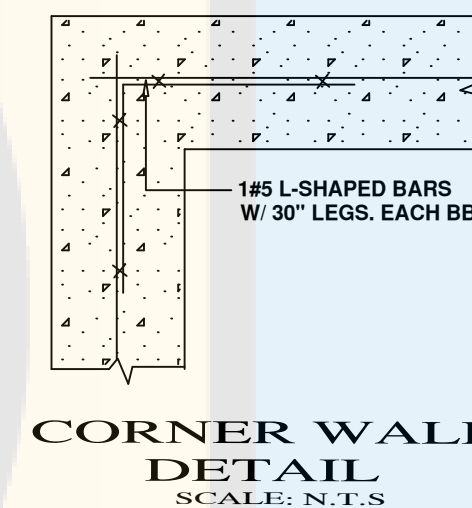
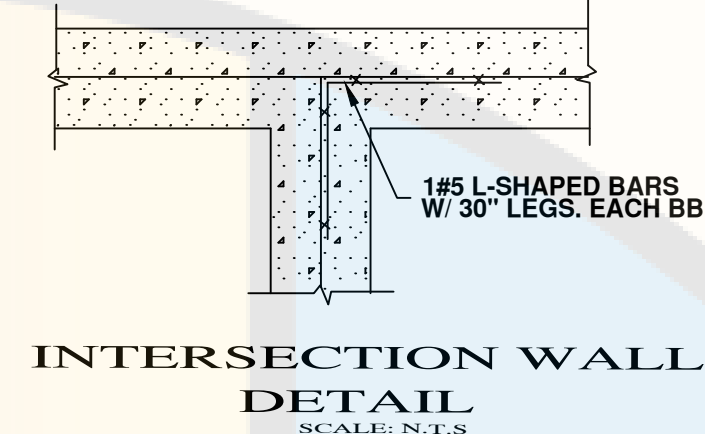
APPLICABLE CODES

FBC BUILDING CODE 8TH ED. (2023)
FBC RESIDENTIAL CODE 8TH ED. (2023)
FBC MECHANICAL CODE 8TH ED. (2023)
FBC PLUMBING CODE 8TH ED. (2023)
NATIONAL ELECTRICAL CODE 2020 ED.



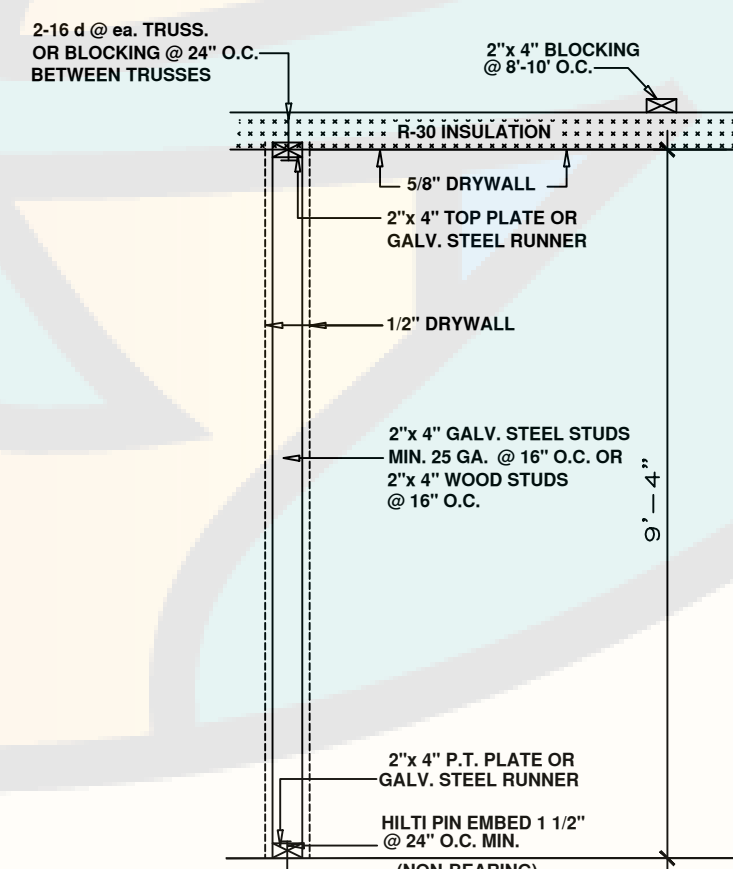
SCOPE OF WORK

BUILD A 1-STORY CBS SINGLE FAMILY RESIDENCE



WINDOWS ANCHOR DETAIL

SCALE: N.T.S.



INTERIOR WALL DETAIL

SCALE: N.T.S.

STRUCTURAL NOTES

- All work shall conform to the Florida Building Code (FBC), 2023 8th. edition.
- All structural loads shall be in accordance with FBC 2023 8th. ed.
 - Wind Loads: See design parameters below.
- Soil bearing capacity : 2500 PSF.
- All structural concrete shall have minimum compressive strength of 3000 psi at 28 days.
- Slab / Footings to be concrete with minimum 3000 psi compressive strength at 28 days . See plans for size and steel requirements.
- Minimum concrete protection for reinforcing bars: Footings: 3" Beams: 1-1/2" Suspended Slabs: 1"
- Lap all reinforcing steel a minimum of 48 bar diameters. Grade 60 steel minimum in beams and columns.
- All Lumber in contact with concrete or masonry shall be pressure treated.
- Splitting or cracking of structural components due to installation of hardware is not permitted.
- Unless otherwise noted, the installation of specified hardware shall conform to the manufactures instructions and standard practice.
- Bearing points of trusses shall have vertical studs in a number equal to the number of plies of the bearing member when the bearing member is 2 or more plies unless noted.
- Unless otherwise noted for exterior walls, exterior plywood sheathing is to be nailed with 8d galv. or better nails 3"o.c. edges and 6"o.c. field. Interior drywall screwed with screws 1 1/2" long drywall screw are 7" o.c. for ceilings and 8" o.c. on walls per FBC 2023 8th. edition. 2306.1.
- Anchor in-fill CMU / starter column to existing masonry with 1" wide x 16" gage corrugated galvanized steel masonry anchors embedded in masonry joints at 16" o.c. fasten masonry anchors to existing concrete / masonry with 1/4" tapcon fasteners with minimum 1 1/4" embedment.
- Exterior porch ceiling and soffit 7/8" stucco on high rib lath w/ 1 3/4" nailing or 1/2" ext. plywood vent system required.
- Storm protection required for all glazed openings in accordance w/ and local codes & F.B.C. 2023 8th. edition.
- Product approval req. for doors, windows, roof, engineered lumber, garage door & storm protection in accordance w/ FBC 2023 8th. edition and local codes.
- Mix grout to have a slump of 8" to 10" at time of placement. Compressive strength of grout shall be 3000 psi minimum conforming to the requirements of ASTM C476.
- Materials shall comply with the following standards: block - ASTM C90-75, Portland cement - ASTM C150, aggregate - ASTM C144 or ASTM C404, lime - ASTM C207, water - clean and potable, grout - ASTM C476.

GENERAL NOTES

- THE RESPONSIBILITY OF THE ENGINEER/ARCHITECT IN RECORDS IS LIMITED ONLY TO THE INFORMATION PRESENTED IN THIS PACKAGE. IT SHOULD BE NOTED THAT THE DESIGN AND RECOMMENDATIONS PRESENTED IN THIS PACKAGE ARE BASED ON INFORMATION GIVEN TO THE ENGINEER OF RECORD. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THIS DRAWING MAY BE CONTRADICTED IF INSPECTION SUGGESTS OTHERWISE.
- REFER TO STRUCTURAL NOTES FOR MORE INSTRUCTIONS.
- VERIFY ALL MASONRY OPENINGS WITH WINDOW AND DOOR MANUF.

BUCK NOTE:

INSTALL DOORS AND WINDOWS PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS. (SEE PRODUCT APPROVAL). ALL IMPACT RESISTANT WINDOWS AND DOORS SHALL REQUIRE A 2x BUCK PER CODE.

GLAZING NOTE:

PROVIDE APPROVED HURRICANE PANELS OR IMPACT RATED GLASS. SUBMIT PRODUCT APPROVALS TO E.O.R. & BLDG. DEPT. FOR APPROVAL

NOTE:

CONTRACTOR SHALL PROVIDE
BLOWER DOOR TEST COMPLIANCE REPORT
AT FINAL BUILDING INSPECTION
with copy of tester certification required per
FBC-EC-R 402.4.1.2
If the ACH is less than 3, mechanical ventilation is required.

A certificate of compliance
will be required at the time of
final inspection as per
Section 110.9 of the PBC Amendments
to the FBC, 6th Edition.



DATE:	OCTOBER 2023
SCALE:	AS SHOWN
GOARCH DRAFTING CORP.	
dwg by: C. Arocha	
561-818-5171	

Digitally signed by Lillian Gonzalez	Date: 2024.03.11 11:15:56 -0400
DATE:	

GOARCH ENGINEERING INC.	LILLIAN GONZALEZ, Ph.D. P.E.
1824 RICHARD LN	FL. REG. ENG. #79442
PALM SPRINGS, FL 33406	CA CERTIFICATE # 32045
PH #561-294-6929	

TAMAYO V LLC	WEST PALM BEACH, FL.
2621 HIAWATHA AVE. LOT 35	
PNC. 00-43-43-30-03-040-0350	

REVISIONS	DATE	COMMENTS
NO.		

1-4







INSPECTIONS

(561) 355-2222 Automated Schedule
(888) 236-3807 Toll Free
(561) 233-5170 During Business Hours
OPEN MONDAY THRU FRIDAY 8:00 AM TO 4:30 PM

Visit us at www.pbcgov.com/PZB/Building to view Application
Tracking, Inspection History and Contractor Information.



PALM BEACH COUNTY PLANNING, ZONING & BUILDING DEPARTMENT

BUILDING DIVISION

BUILDING/SITE REVIEW PERMIT

PERMIT	VIOLATION	STATE SURCHARGES	FIRE REVIEW	ROADS	PARKS
2158.50	0	53.97	0.00	5597.40	890.32

LIBRARIES	SCHOOLS	FIRE	PUBLIC BLDGS	LAW ENFORCEMENT	ERM
206.87	5141.40	328.70	201.91	152.14	0.00

HEALTH	OUTSIDE AGENCY	MISC. FEES	ZONING DEV ORDER #	UNITS	PROJECT#	CONTROL #	COMM. DIST	G.P.S.
0.00	134.00			1	01000-668	0-0	7 7	#####

PRIMARY PERMIT	APPL DATE	FLOOD ZONE	FIN. FLR.	CONT CERTIFICATION #	PERMIT DESCRIPTION
B-2024-012352-0000	03/25/2024	X		CGC-1511280	Single-Family Dwelling Detached
SUB PERMIT NO	MASTER NO.	PROPERTY CONTROL NUMBER		INSP AREA	New construction for single family
		00-43-43-30-03-040-0350		004	
PRINTED DATE	SITE PLAN SQUARE FOOTAGE	GROSS SQUARE FOOTAGE		VALUE	
05/22/2024	1341	1341		130850.00	

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. (F. S. 713.135)

NO REFUNDS ON PERMIT FEES \$100.00 OR LESS OR AFTER FIRST INSPECTION IS MADE.NO REFUNDS AFTER 180 DAYS.

Construction lien information and notarization is required of Owner/Agent and Contractor signature is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is over \$5,000 or over \$15,000 on mechanical work.

IN ACCORDANCE WITH 553.79, F.S. THIS IS TO ADVISE YOU OF YOUR RESPONSIBILITY TO COMPLY WITH ALL ASBESTOS REGULATIONS INCLUDING NOTIFICATION REQUIREMENTS WHICH CAN BE FOUND IN CHAPTER 469 FLORIDA STATUTES. CONTACT PALM BEACH COUNTY HEALTH DEPARTMENT, ASBESTOS PROGRAM COORDINATOR AT (561) 837-5900 FOR FURTHER INFORMATION.

*** Track progress, and get essential details on permits and inspections when you visit us at www.pbcgov.com/pzb/building.***

In accordance with Part IV, 373 F.S. and Chapter 62-330, F.A.C., any work in wetlands or other surface waters may require authorization from the Florida Department of Environmental Protection (FDEP) or South Florida Water Management District (SFWMD). Please call FDEP's Southeast District at 561-681-6600 or the SFWMD at 561-686-8800 with questions regarding wetlands.

CALL BEFORE YOU DIG

CALL 811 OR VISIT [HTTP://WWW.SUNSHINE.COM](http://www.sunshine.com) BEFORE YOU DIG PURSUANT TO CHAPTER 556 FLORIDA STATUTES IN ORDER TO COMPLY WITH THE FLORIDA UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT

NO DEVIATIONS FROM THIS PERMIT MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION.

OWNER: Tamayo V Llc

CONTRACTOR/COMPANY NAME: J & M Contractors of South Florida, Inc.

CONTRACTORS' PHONE NUMBER: 561-433-3440

PROPERTY ADDRESS: 2665 Hiawatha Ave, West Palm Beach, 33409

SUBDIVISION NAME: West Gate Estates Northern Section

BAY/SUITE#:

Russo, Lynn M

Doug Wise

ISSUING CLERK

BUILDING OFFICIAL

NOTICE: This permit and any permitted plans must be available to the Inspector at the time of inspection to receive a passed inspection

B-2024-012352-0000



36
PALM BEACH COUNTY BUILDING DIVISION
Planning, Zoning & Building Department

BUILDING/SITE REVIEW PERMIT

Stamp Permit Number:

B-2024-012352-0000

BUILDING							
FOOTING	LAB	BEAM / COL.	ROOF FRAMING SHEATHING		ROOF METAL	FRAME	INSULATION
Date	Date	Date	Date	Date	Date	Date	Date
DRYWALL	LATH	D/W-S/W	POOL STEEL	POOL DECK	WALL SHEATHING	WALL ANCHORS	FINAL
Date	Date	Date	Date	Date	Date	Date	Date
Date	Date	Date	Date	Date	Date	Date	Date

ELECTRICAL		PLUMBING		MECHANICAL		FIRE	SITE
TEMP POLE	UNDERGROUND	UNDERGROUND	ROUGH	UNDERGROUND	ROUGH	FRAME	LANDSCAPE
Date	Date	Date	Date	Date	Date	Date	Date
ROUGH	FINAL	SEWER	FINAL	FINAL		FINAL	PARKING
Date	Date	Date	Date	Date	Date	Date	Date
							SPECIAL COND.
Date	Date	Date	Date	Date	Date	Date	Date

CONDITIONS OF PERMIT
<p>As evidenced by the permittee's signature on the Permit Application, and in consideration for granting this permit, it is agreed that in all respects the work will be performed in accordance with the permitted plans and the applicable codes for Palm Beach County, Florida. This permit may be Revoked at any time upon the violation of any of the provisions of said Laws, Ordinances, Rules, Regulations, Policies and Procedures. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state or federal permits must be obtained before any development is commenced.</p>
TIME LIMITATION
<p>This Permit becomes inactive if the work authorized is not inspected within 6 months from the date it was issued, or if at any time there is more than a 6-month lapse between inspections. No work may occur without an active Permit. Inactive permits may be renewed upon application and payment of required fees (including any increases in fees that have occurred since original issuance), and may be required to meet updated codes.</p>
RESTRICTIONS
<p>NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county such as the requirement for Home or Property Owners Association approval, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.</p>

INSPECTIONS	
(561) 355-2222 AUTOMATED	
(888) 236-3807 TOLLFREE	
(561) 233-5170 DURING BUSINESS HOURS	WWW.PBCGOV.COM/PZB/BUILDING
NEXT BUSINESS DAY SERVICE	

SEE FRONT OF FORM FOR PERMIT INFORMATION

Prepared by and return to:

Ennie Jackson

Florida Land Title Insurance, LLC

416 South Military Trail

West Palm Beach, FL 33415

(561) 687-9727

File No 20230-2323

Parcel Identification No 00-43-43-30-03-040-0350

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 18th day of August, 2023 between **Elite Capital & Development Inc**, a Florida Corporation, whose post office address is 2465 Mercer Avenue, 303, West Palm Beach, FL 33401, Grantor, to **Tamayo V LLC, Florida Limited Liability Company**, whose post office address is 579 North State Road 7, Royal Palm Beach, FL 33411, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach, Florida, to-wit:

Lot 35, Block 40, West Gate Estates (Northern Section), according to plat thereof as recorded in Plat Book 8, Page 38, of the Public Records of Palm Beach County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2023 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESS
PRINT: Ernie Jackson

WITNESS
PRINT: Rick Espino

Elite Capital & Development Inc, a Florida Corporation

By: Philippe O. Boucher, President

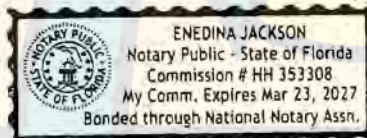
STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of (X) physical presence or () online notarization this 18th day of August, 2023 by Philippe O. Boucher, President of Elite Capital & Development Inc, a FL Corporation, on behalf of the Corporation.

Signature of Notary Public
My commission expires:

Personally known: ☒
OR Produced Identification: ☒

Type of Identification Produced: driver's license





DEVELOPMENTS

NEW CONSTRUCTION PROJECT BUDGET BREAKDOWN

DEVELOPMENT COSTS

Archictecture	\$ 6,000
Land & Preparation	\$ 104,000
Infrastructure	\$ 3,000
Surveying	\$ 1,200
Sub-Total	\$ 114,200

SOFT COSTS

Water & Sewer	\$ 10,500
Impact Fees	\$ 10,300
Sub-Total	\$ 20,800

CONSTRUCTION COST

Footing and Slab	\$ 19,000
Labor	\$ 7,200
Materials	\$ 11,800
Beams and Columns	\$ 20,700
Labor	\$ 8,700
Materials	\$ 12,000
Rough Carpentry	\$ 24,500
Labor	\$ 9,000
Materials	\$ 15,500
Windows and Doors	\$ 15,900
Labor	\$ 6,500
Materials	\$ 9,400
Framing, Drywall and Insulation	\$ 17,900
Labor	\$ 8,700
Materials	\$ 9,200
Lath and Stucco	\$ 9,300
Labor	\$ 5,300
Materials	\$ 4,000



CONSTRUCTION COST

Flooring	\$	12,600
Labor	\$	7,000
Materials	\$	5,600
Kitchen	\$	13,700
Labor	\$	5,700
Materials	\$	8,000
Bathrooms	\$	8,200
Labor	\$	4,000
Materials	\$	4,200
 Roof	 \$	 14,600
Plumbing	\$	12,800
Electrical	\$	16,000
HVAC	\$	13,500
Appliances	\$	3,400
Landscape & Pavers	\$	7,900
Painting	\$	6,600
Fixtures	\$	5,300
Sub-Total	\$	221,900
 TOTAL COSTS	 \$	 356,900



03/14/2025

RE: Westgate Properties – SDAP Application for 3204 Hiawatha Ave, West Palm Beach, FL 33409 – BMG Wood Flooring Corporation INC

Dear WCRA,

We are reaching out to you regarding our project "Westgate Properties", located at Hiawatha Ave, West Palm Beach, FL 33409, as part of our efforts to provide quality housing for future residents while revitalizing the Westgate area. This project aims not only to enhance the urban environment but also to provide comfortable and affordable homes for families who will enjoy a modern, well-located property built to high-quality standards.

The development involves the construction of 17 single-family homes, all designed to create spaces where individuals can thrive, live in a safe environment, and become part of a growing community. Each of these homes reflects our commitment to contributing to the sustainable development of the area by offering housing options that blend functionality and aesthetics.

This project aligns with the goals of the WCRA's Community Redevelopment Plan, fostering both the physical renewal of the area and the social and economic well-being of the community. By attracting new residents, we help create a more vibrant and connected neighborhood, generating a lasting positive impact on the local quality of life.

This application specifically pertains to the property located at 3204 Hiawatha Ave, West Palm Beach, FL 33409, part of the "Westgate Properties" project. This development focuses on meeting the growing demand for modern housing, contributing to the enhancement of the urban environment and the sustainable growth of the community.

We are requesting the maximum allocation of \$5,000 from the Site Development Assistance Program (SDAP) to cover eligible expenses related to the design, construction permits, and exterior improvements of this property. This support is essential to ensure that the home meets the community's aesthetic and functional expectations, contributing to the overall appeal of the project and the revitalization of the area.

We appreciate your consideration and are excited about the opportunity to continue contributing to the progress and revitalization of the Westgate community.

Project Narrative

The “Westgate Properties” project, located along Hiawatha Ave in West Palm Beach, FL 33409, has made significant progress. The land clearing has been completed, and the initial lots have been successfully subdivided into 17 individual lots. Currently, the project is 43% complete, with construction permits approved and homes actively under construction, progressing steadily according to the established timelines.

Despite current market challenges, we have managed to maintain stable construction costs, allowing us to offer competitive prices. Property values range between \$390,000 and \$415,000, still below the median market price in the county, which is approximately \$500,000. This project offers affordable homes with excellent value for money, making it an attractive option for families and residents.

Our homes are designed with modern and efficient layouts, featuring 3 bedrooms and 2 bathrooms, with 1,276 square feet under air and an area under roof of 1,341 square feet, including a front porch. Built with concrete block structure (CBS) technology, they provide durability and protection against adverse weather conditions. Additionally, they are equipped with impact-resistant windows and come with contemporary finishes as standard, ensuring both comfort and style. The kitchens are fully equipped with stainless steel appliances, guaranteeing quality and long-term value for homeowners.

All our properties comply with the development regulations of the WCRA and the Florida Building Codes, ensuring both quality and long-term safety for residents.

We are applying to the Site Development Assistance Program (SDAP) to cover pre-development expenses and fund exterior improvements, including the installation of paver driveways for a more durable and visually appealing solution. We will also incorporate native landscaping, such as palm trees and other regional plants, to enhance both the aesthetic and environmental value of the properties. The homes will be painted with high-quality, long-lasting, water-resistant paint in carefully selected colors that highlight architectural details and ensure durability. Additionally, to improve security and curb appeal, we will install enhanced exterior lighting, providing better visibility and a more inviting atmosphere at night.

We have attached to this application a breakdown of the construction budget, images of completed homes with the same design, floor plans and elevations, along with the approved permits. We also include the deed of ownership confirming our title. We believe that this application meets all program requirements, and we look forward to approval from the WCRA board members and their Board of Directors.

We are committed to contributing to the revitalization of Westgate and to continue providing quality, affordable housing to the community.

Do not hesitate to contact us with any questions.

Best regards,

 *Jorge Calderon* 03/28/25

Calderon Jorge, Owner.

SITE DEVELOPMENT ASSISTANCE PROGRAM APPLICATIONApplicant Name: Jorge CalderonBusiness Name: BMG Wood Flooring Corporation IncBusiness Address: 579 N State Road 7, Royal Palm Beach, FL 33411

Mailing Address (if different than above): _____

Phone: 305-588-8506Email: projects@treasurepg.com

Website: _____

Property Control Number (PCN#): 00434330030480060EIN#: 27-4976966Applicant's business/development site is:
(attach copy of multi-year lease or warranty deed)☒ Owned ☐ Leased

Applicant's project includes: (check all that apply)

- | | | |
|---|---|--|
| <input type="checkbox"/> Exterior Lighting | <input checked="" type="checkbox"/> Landscaping | <input type="checkbox"/> Roof Repair |
| <input type="checkbox"/> Commercial Parking | <input type="checkbox"/> Exterior Signage | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Expansion/Renovation of an existing building | | |

Project Budget:

1. Interior Renovations/Improvements: \$ 120,0002. Exterior Renovations/Improvements: \$ 120,0003. Pre-development/Permitting: \$ 115,0004. Total Project Budget: \$ 355,000Are you applying for grant assistance under any other program offered by the CRA: Yes ☐ No ☒

If so, what other programs are you applying for: _____

Have you been approved for funding by the CRA Board: Yes ☐ No ☒ If so, amount: \$ _____?

Please read the section below carefully. After you have read the entire application, sign the form below and submit your completed application to the CRA offices.

I, the undersigned, being a principal of the business applying for assistance under the Site Development Assistance Program, certify that the business in the Westgate/Belvedere Homes Community Redevelopment Area within the unincorporated area of Palm Beach County.

I understand that the CRA may, at its sole discretion, discontinue subsidy payments at any time if in its sole and absolute determination it feels such assistance no longer meets the program criteria or no longer furthers the Westgate CRA Community Redevelopment Plan.

I understand that this application is not a guarantee of assistance. Should my application be approved, I understand that I am committing to completing the project I have represented in this application and obtaining a Certificate of Occupancy or the necessary satisfactory inspection notices signifying that the work has been done in accordance with County ordinances and codes. I agree to obtain all necessary County or other governmental or State approvals and/or licenses prior to beginning any work. Failure to do so may jeopardize my ability to receive reimbursement under this grant program.

I understand that the project represented in this application must receive CRA Board approval before the work is completed in order to be eligible for reimbursement.

I have read this program brochure in its entirety and by signing below accept the terms of the program as represented in this brochure. I understand that if this application is submitted incomplete, it will not be processed.

Authentisign

 Applicant's Signature

Jorge Calderon

03/28/25

Printed Name

Date

APPLICATION CHECKLIST

The completed application must include the following items prior to processing:

- ☒ Signed and completed application form
- ☒ Business Plan or Executive Summary, including a narrative describing the business, its operations, its business principles, impact on the community, and potential for area resident employment
- ☒ Detailed 3-year budget projections of revenues and expenses
- ☒ Historical financials for the past three years, in a sealed envelope (existing businesses only)
- ☒ Copy of multi-year lease (including expressed permission from landlord to make changes as outlined in the project) or copy of Warranty Deed showing property ownership
- ☒ Narrative description of entire project, broken down into interior and exterior improvements and/or renovations, including financing sources
- ☒ Detailed breakdown of exterior renovations and improvements for which reimbursement is being requested under the grant program.

OFFICE USE ONLY:

Pre-application meeting date: _____ Meets eligibility requirements: Yes ☐ No ☐

CRA Board meeting date: _____ Recommend Board approval: Yes ☐ No ☐

Application notes: _____

_____ CRA staff initials: _____



Westgate Model - Standard Features

Energy Efficiency Highlights

- Impact-resistant sliding doors and windows with energy-efficient design.
- R-30 ceilings insulation for optimal thermal retention.
- Tankless water heater for efficient energy and space savings.
- High-efficiency Goodman HVAC system.
- Continuous attic ventilation for improved airflow.
- Window blinds for added comfort and privacy.

Modern Exterior Details

- Modern design featuring a 65 SF covered front porch.
- Paver driveway extending to the street.
- Backyard patio with side and rear exterior access.
- City water & sewer hookups.
- Fully sodded lawn with fencing around the rear perimeter for privacy.

Sophisticated Interior Touches

- 9'-4" ceiling heights throughout the property, adding a sense of space and openness.
- 6'-8" interior doors with brushed nickel hardware for a polished look.
- Modern baseboards throughout the home for a contemporary finish.
- Plank-style tile flooring in all living areas for durability and easy maintenance.
- Stackable washer and dryer for efficient use of space.

Durable, High-Quality Construction

- Built to comply with the strict standards of the Florida Building Code.
- Monolithic slab foundation reinforced with steel, vapor barrier, and 3000-psi concrete.
- Exterior walls made of reinforced concrete block for enhanced durability.
- Hurricane-resistant truss system designed to Florida Builders Code standards.
- Premium low-VOC interior and exterior paint for a healthier living environment.
- Insulation in exterior walls for energy efficiency.
- Includes all building permits, soil studies, utility connections, and impact fees.

Gourmet Kitchen

- White shaker-style upper cabinets with soft-close features and adjustable shelves.
- White granite countertops with a 4" backsplash for a clean, stylish look.
- Full stainless steel appliance package (refrigerator, ceramic cooktop stove, microwave, and dishwasher) with manufacturer warranties.

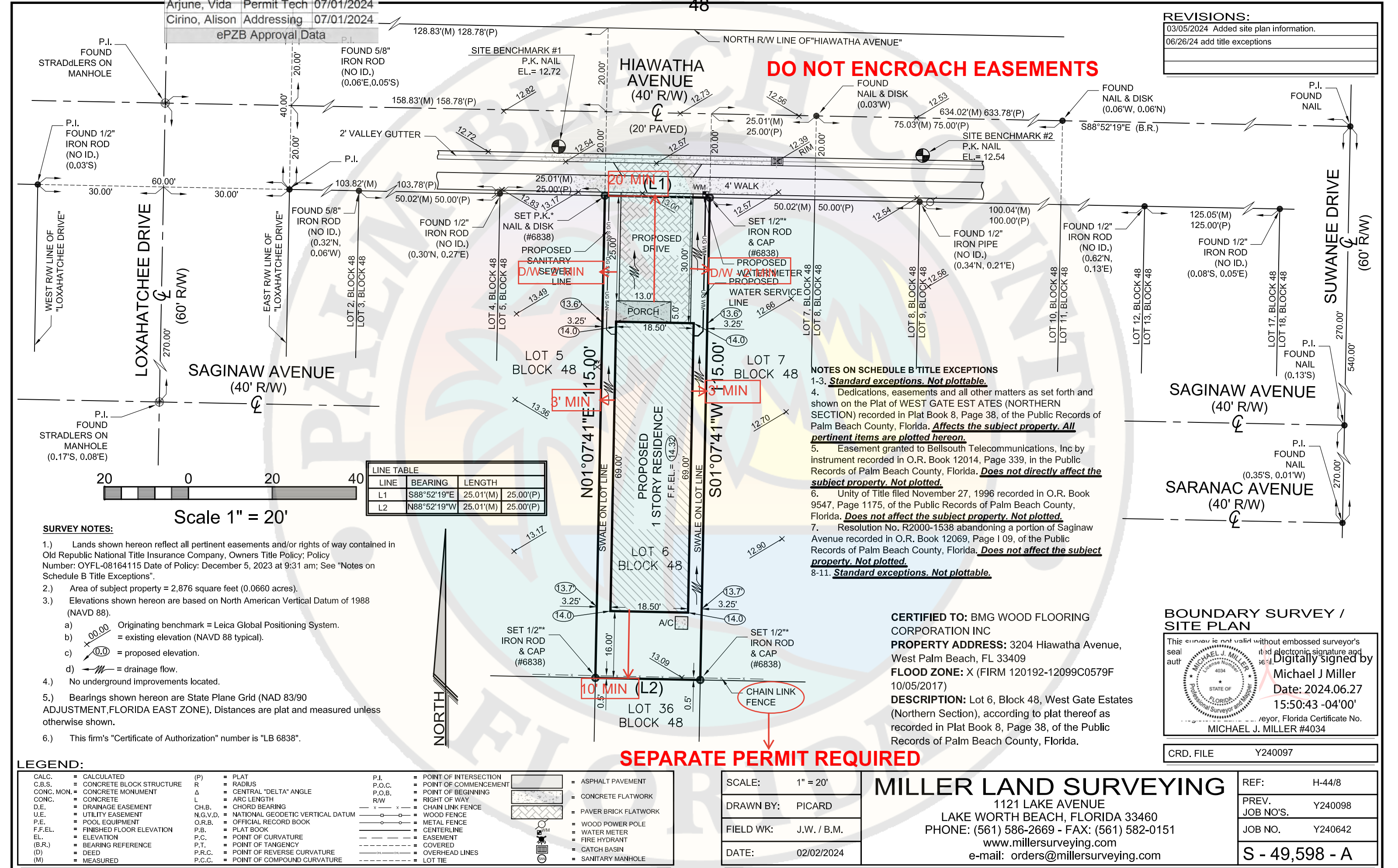
Advanced Electrical Features

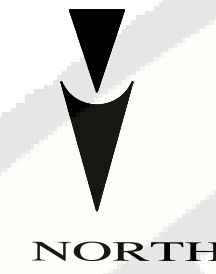
- Underground electrical service for enhanced safety and aesthetics.
- Strategically placed switches and outlets for convenience.
- LED lighting throughout the property for energy efficiency.
- GFI outlets in bathrooms and kitchen, plus smoke detectors compliant with the Building Code.

Cost estimates are based on current market conditions and may be adjusted to account for changes in materials, labor, or other factors beyond our control.

Reviewer	Agency	Date
Arjune, Vida	Permit Tech	07/01/2024
Cirino, Alison	Addressing	07/01/2024
ePZB Approval Data		

REVISIONS:	
03/05/2024	Added site plan information.
06/26/24	add title exceptions

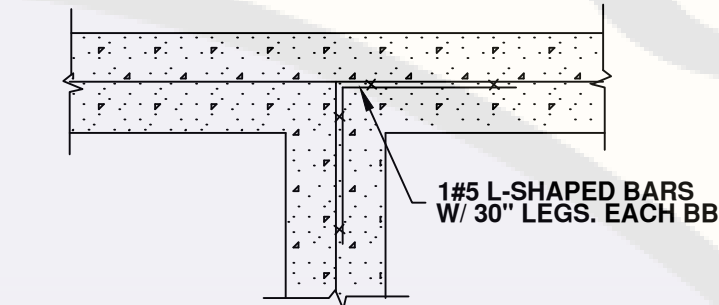




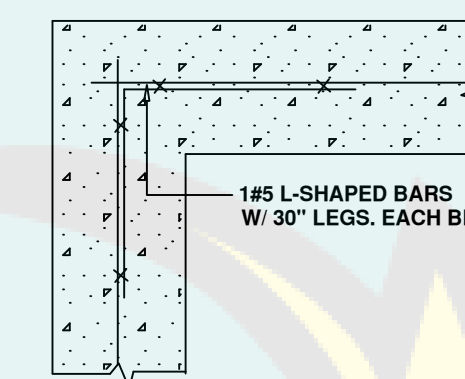
SCOPE OF WORK

BUILD A 1-STORY CBS SINGLE FAMILY RESIDENCE

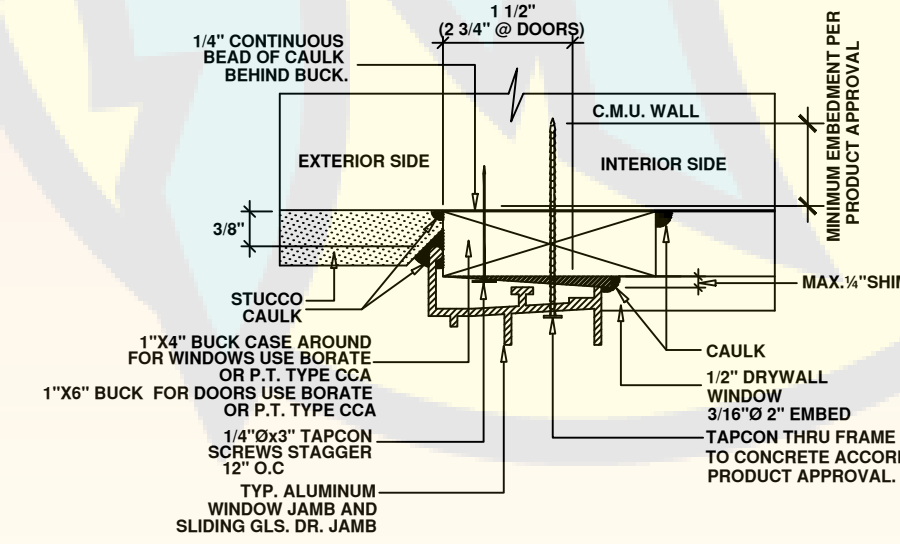
COUNTY	PALM BEACH COUNTY	
BUILDING DEPARTMENT	PALM BEACH	
WIND DESIGN CRITERIA	ASCE 7-2022	
WIND DESIGN METHOD	MAIN WIND FORCE RESISTING	
ROOFING MATERIAL	ASPHALT SHINGLES	
LOADING IN PSF	ROOF	R.D.L.
TOP CHORD LIVE	20	
TOP CHORD DEAD	15	4.2
BOTTOM CHORD LIVE	10 NON-CONCURRENT	
BOTTOM CHORD DEAD	10	3
TOTAL LOAD	45	7.2
DURATION FACTOR	1.25	
WIND SPEED	170MPH (3 SECOND GUSTS) ASD 132	
TOP CHORD C.B.	SHEETING BY BUILDER	
BOTTOM CHORD C.B.	SHEETING BY BUILDER	
HIGHEST MEAN HEIGHT	11'-10"	
BUILDING TYPE	ENCLOSED	
BUILDING CATEGORY	II: NON RESTRICTIVE	
EXPOSURE CATEGORY	C	
OCCUPANCY TYPE	R-3	
CONSTRUCTION TYPE	5-B	



INTERSECTION WALL
DETAIL
SCALE: N.T.S.

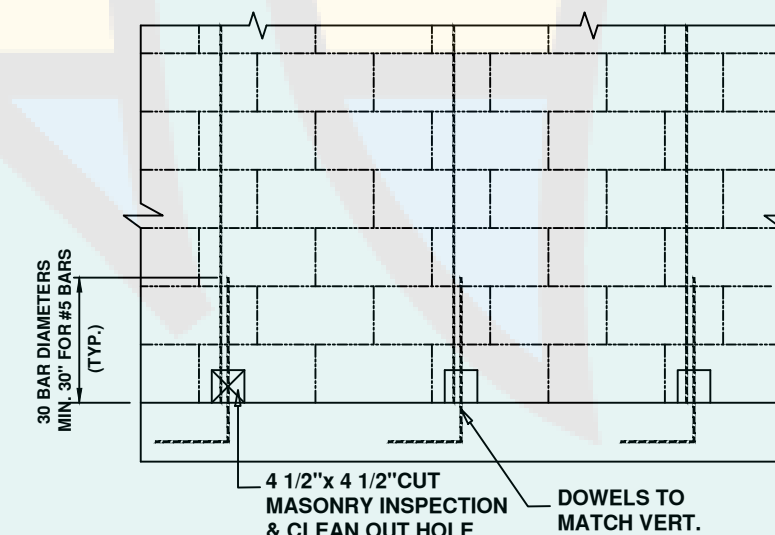


**CORNER WALL
DETAIL**
SCALE: N.T.S.

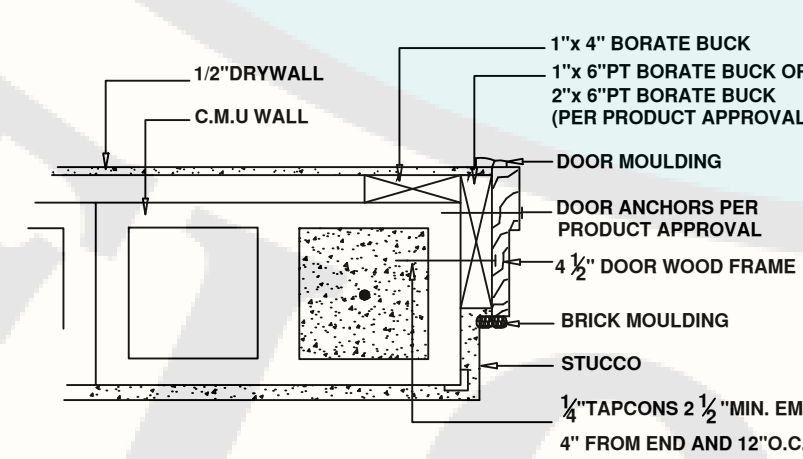


WINDOWS
ANCHOR DETAIL
SCALE: N.T.S.

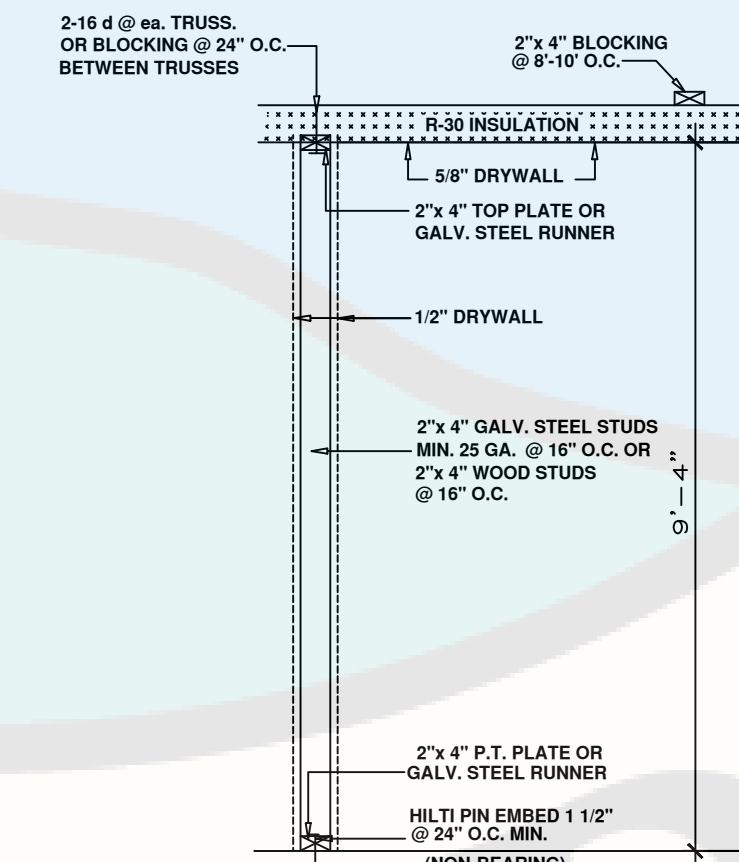
FBC BUILDING CODE 8TH ED. (2023)
FBC RESIDENTIAL CODE 8TH ED. (2023)
FBC MECHANICAL CODE 8TH ED. (2023)
FBC PLUMBING CODE 8TH ED. (2023)
NATIONAL ELECTRICAL CODE 2020 ED.



TYPICAL MASONRY FILLED
CELL DETAIL
SCALE: N.T.S



DOOR
ANCHOR DETAIL
SCALE: N.T.S.



INTERIOR WALL DETAIL
SCALE:N.T.S.

1. All work shall conform to the Florida Building Code (FBC), 2023 8th. edition.
2. All structural loads shall be in accordance with FBC 2023 8th. ed.
 - a. Wind Loads: See design parameters below.

1. All work shall conform to the Florida Building Code (FBC) 2023 8th. edition.
2. All structural loads shall be in accordance with FBC 2023 8th. ed.
3. a. Wind Loads: See design parameters below.
3. Soil bearing capacity : 2500 PSF.
4. All structural concrete shall have minimum compressive strength of 3000 psi at 28 days.
5. Slab/ Footings to be concrete with minimum 3000 psi, compressive strength at 28 days . See plans for size and steel requirements.
6. Minimum concrete protection for reinforcing bars: Footings: 3" Beams: 1-1/2" Suspended Slabs: 1"
7. Lap all reinforcing steel a minimum of 48 bar diameters. Grade 60 steel minimum in beams and columns.
8. All Lumber in contact with concrete or masonry shall be pressure treated.
9. Splitting or cracking of structural components due to installation of hardware is not permitted.
10. Unless otherwise noted, the installation of specified hardware shall conform to the manufactures instructions and standard practice.
11. Bearing points of trusses shall have vertical studs in a number equal to the number of piles of the bearing member when the bearing member is 2 or more piles unless noted.
12. Unless otherwise noted for exterior walls, exterior plywood sheathing is to be nailed with 8d galy, or better nails 3" o.c. edges and 6" o.c. field. Interior drywall screwed with screws 1 1/2" long drywall screw are 7" o.c. for ceilings and 8" o.c. on walls per FBC 2023 8th. edition. 2306.1.
13. Anchor in-fill CMU / starter column to existing masonry with 1" wide x 16" galv corrugated galvanized steel masonry anchors embedded in masonry joints at 16" o.c. fasten masonry anchors to existing concrete / masonry with 1/4" tapcon fasteners with minimum 1 1/4" embedment.
14. Exterior porch ceiling and soffit 7/8" stucco on high rib lath w/ 1/3 4" nailing or 1/2" ext. plywood vent system required.
15. Storm protection required for all glazed openings in accordance w/ and local codes & F.B.C. 2023 8th. edition.
16. Product approval req. for doors, windows, roof, engineered lumber, garage door & storm protection in accordance w/ FBC 2023 8th. edition and local codes.
17. Mix grout to have a slump of 8" to 10" at time of placement. Compressive strength of grout shall be 3000 psi minimum conforming to the requirements of ASTM C476.
18. Materials shall comply with the following standards: block - ASTM C90-75, Portland cement - ASTM C150, aggregate - ASTM C144 or ASTM C404, lime - ASTM C207, water - clean and potable, grout - ASTM C476.

1. THE RESPONSIBILITY OF THE ENGINEER/ARCHITECT IN RECORDS IS LIMITED ONLY TO THE INFORMATION PRESENTED IN THIS PACKAGE. IT SHOULD BE NOTED THAT THE DESIGN AND RECOMMENDATIONS PRESENTED IN THIS PACKAGE ARE BASED ON INFORMATION GIVEN TO THE ENGINEER OF RECORD. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THIS DRAWING MAY BE CONTRADICTED IF INSPECTION SUGGESTS OTHERWISE.

2. REFER TO STRUCTURAL NOTES FOR MORE INSTRUCTIONS.

3. VERIFY ALL MASONRY OPENINGS WITH WINDOW AND DOOR MANUF.

INSTALL DOORS AND WINDOWS PER MANUFACTURER'S RECOMMENDED
INSTALLATION INSTRUCTIONS. (SEE PRODUCT APPROVAL). ALL IMPACT
RESISTANT WINDOWS AND DOORS SHALL REQUIRE A 2x BUCK PER CODE.

PROVIDE APPROVED HURRICANE PANELS OR IMPACT RATED GLASS. SUBMIT PRODUCT APPROVALS TO E.O.R. & BLDG. DEPT. FOR APPROVAL

NOTE:

CONTRACTOR SHALL PROVIDE
BLOWER DOOR TEST COMPLIANCE REPORT
AT FINAL BUILDING INSPECTION
with copy of tester certification required per
FBC-EC-R 402.4.1.2

If the ACH is less than 3; mechanical ventilation is required.

A certificate of compliance will be required at the time of final inspection as per Section 110.9 of the PBC Amendments to the FBC, 6th Edition.

**ELECTRICAL, MECHANICAL, PLUMBING
AND GAS SHALL CONFORM TO
CURRENTLY ADOPTED PALM BEACH
COUNTY CODES AND AMENDMENTS.**

BMG WOOD FLOORING CORP.
PCN. 00-43-43-30-03-048-0060
2444 HIAWATHA RD. LOT 6
WEST PALM BEACH, FL.

REVISIONS		
NO.	DATE	COMMENTS

1-4







INSPECTIONS

(561) 355-2222 Automated Schedule
(888) 236-3807 Toll Free
(561) 233-5170 During Business Hours
OPEN MONDAY THRU FRIDAY 8:00 AM TO 4:30 PM

Visit us at www.pbcgov.com/PZB/Building to view Application
Tracking, Inspection History and Contractor Information.



PALM BEACH COUNTY PLANNING, ZONING & BUILDING DEPARTMENT

BUILDING DIVISION

BUILDING/SITE REVIEW PERMIT

PERMIT	VIOLATION	STATE SURCHARGES	FIRE REVIEW	ROADS	PARKS
2158.50	0	53.97	0.00	5597.40	890.32

LIBRARIES	SCHOOLS	FIRE	PUBLIC BLDGS	LAW ENFORCEMENT	ERM
206.87	5141.40	328.70	201.91	152.14	0.00

HEALTH	OUTSIDE AGENCY	MISC. FEES	ZONING DEV ORDER #	UNITS	PROJECT#	CONTROL #	COMM. DIST	G.P.S.
0.00	134.00			1	01000-668	0-0	7 7	#####

PRIMARY PERMIT	APPL DATE	FLOOD ZONE	FIN. FLR.	CONT CERTIFICATION #	PERMIT DESCRIPTION
B-2024-017534-0000	04/24/2024	X		CGC-1511280	Single-Family Dwelling Detached
SUB PERMIT NO	MASTER NO.	PROPERTY CONTROL NUMBER		INSP AREA	Single family dwelling 1 story FFE=14.32'
		00-43-43-30-03-048-0060		004	
PRINTED DATE	SITE PLAN SQUARE FOOTAGE	GROSS SQUARE FOOTAGE		VALUE	
08/01/2024	1341	1341		130850.00	

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. (F. S. 713.135)

NO REFUNDS ON PERMIT FEES \$100.00 OR LESS OR AFTER FIRST INSPECTION IS MADE.NO REFUNDS AFTER 180 DAYS.

Construction lien information and notarization is required of Owner/Agent and Contractor signature is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is over \$5,000 or over \$15,000 on mechanical work.

IN ACCORDANCE WITH 553.79, F.S. THIS IS TO ADVISE YOU OF YOUR RESPONSIBILITY TO COMPLY WITH ALL ASBESTOS REGULATIONS INCLUDING NOTIFICATION REQUIREMENTS WHICH CAN BE FOUND IN CHAPTER 469 FLORIDA STATUTES. CONTACT PALM BEACH COUNTY HEALTH DEPARTMENT, ASBESTOS PROGRAM COORDINATOR AT (561) 837-5900 FOR FURTHER INFORMATION.

*** Track progress, and get essential details on permits and inspections when you visit us at www.pbcgov.com/pzb/building .***

In accordance with Part IV, 373 F.S. and Chapter 62-330, F.A.C., any work in wetlands or other surface waters may require authorization from the Florida Department of Environmental Protection (FDEP) or South Florida Water Management District (SFWMD). Please call FDEP's Southeast District at 561-681-6600 or the SFWMD at 561-686-8800 with questions regarding wetlands.

CALL BEFORE YOU DIG

CALL 811 OR VISIT [HTTP://WWW.SUNSHINE.COM](http://www.sunshine.com) BEFORE YOU DIG PURSUANT TO CHAPTER 556 FLORIDA STATUTES IN ORDER TO COMPLY WITH THE FLORIDA UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT

NO DEVIATIONS FROM THIS PERMIT MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION.

OWNER: Bmg Wood Flooring Corporation Inc

CONTRACTOR/COMPANY NAME: J & M Contractors of South Florida, Inc.

CONTRACTORS' PHONE NUMBER: 561-433-3440

PROPERTY ADDRESS: 3204 Hiawatha Ave, West Palm Beach, 33409

SUBDIVISION NAME: West Gate Estates Northern Section

BAY/SUITE#:

Russo, Lynn M

Doug Wise

ISSUING CLERK

BUILDING OFFICIAL

NOTICE: This permit and any permitted plans must be available to the Inspector at the time of inspection to receive a passed inspection

B-2024-017534-0000



54
PALM BEACH COUNTY BUILDING DIVISION
Planning, Zoning & Building Department

BUILDING/SITE REVIEW PERMIT

Stamp Permit Number:

B-2024-017534-0000

BUILDING							
FOOTING	LAB	BEAM / COL.	ROOF FRAMING SHEATHING		ROOF METAL	FRAME	INSULATION
Date	Date	Date	Date	Date	Date	Date	Date
DRYWALL	LATH	D/W-S/W	POOL STEEL	POOL DECK	WALL SHEATHING	WALL ANCHORS	FINAL
Date	Date	Date	Date	Date	Date	Date	Date
Date	Date	Date	Date	Date	Date	Date	Date

ELECTRICAL		PLUMBING		MECHANICAL		FIRE		SITE	
TEMP POLE	UNDERGROUND	UNDERGROUND	ROUGH	UNDERGROUND	ROUGH	FRAME		LANDSCAPE	
Date	Date	Date	Date	Date	Date	Date	Date	Date	Date
ROUGH	FINAL	SEWER	FINAL	FINAL		FINAL		PARKING	
Date	Date	Date	Date	Date	Date	Date	Date	Date	Date
								SPECIAL COND.	
Date	Date	Date	Date	Date	Date	Date	Date	Date	Date

CONDITIONS OF PERMIT	
<p>As evidenced by the permittee's signature on the Permit Application, and in consideration for granting this permit, it is agreed that in all respects the work will be performed in accordance with the permitted plans and the applicable codes for Palm Beach County, Florida. This permit may be Revoked at any time upon the violation of any of the provisions of said Laws, Ordinances, Rules, Regulations, Policies and Procedures. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state or federal permits must be obtained before any development is commenced.</p>	
TIME LIMITATION	
<p>This Permit becomes inactive if the work authorized is not inspected within 6 months from the date it was issued, or if at any time there is more than a 6-month lapse between inspections. No work may occur without an active Permit. Inactive permits may be renewed upon application and payment of required fees (including any increases in fees that have occurred since original issuance), and may be required to meet updated codes.</p>	
RESTRICTIONS	
<p>NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county such as the requirement for Home or Property Owners Association approval, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.</p>	

INSPECTIONS	
(561) 355-2222 AUTOMATED	
(888) 236-3807 TOLLFREE	
(561) 233-5170 DURING BUSINESS HOURS	WWW.PBCGOV.COM/PZB/BUILDING
NEXT BUSINESS DAY SERVICE	

SEE FRONT OF FORM FOR PERMIT INFORMATION

CFN 20230409075

OR BK 34700 PG 1128

RECORDED 12/5/2023 9:31 AM

AMT: \$100,000.00

DEED DOC \$700.00

Palm Beach County, Florida

Joseph Abruzzo, Clerk

Pgs: 1128 - 1129; (2pgs)

Prepared by and return to:

Ennie Jackson

Florida Land Title Insurance, LLC

416 South Military Trail

West Palm Beach, FL 33415

(561) 687-9727

File No 20230-2381

Parcel Identification No 00-43-43-30-03-048-0060

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the **28th day of November, 2023** between **Elite Capital & Development, Inc., a Florida Corporation**, whose post office address is 2465 Mercer Avenue, 303, West Palm Beach, FL 33401, Grantor, to **BMG Wood Flooring Corporation Inc., a Florida Corporation**, whose post office address is 7162 Northwest 48th Way, Coconut Creek, FL 33073, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach, Florida, to-wit:

Lot 6, Block 48, West Gate Estates (Northern Section), according to the Plat thereof as recorded in Plat Book 8, page 38, of the Public Records of Palm Beach County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2023 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Elite Capital & Development, Inc., a
Florida Corporation

By: [Signature]
Philippe O. Boucher, President

WITNESS
PRINT: Ernie Jackson

WITNESS
PRINT: Rick Espred

416 S Military Trail
West Palm Beach, FL 33415
WITNESS 1 ADDRESS

416 S Military Trail
West Palm Beach, FL 33415
WITNESS 2 ADDRESS

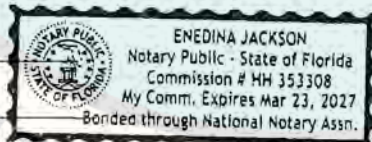
STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of (☒) physical presence or () online notarization this 21st day of November, 2023 by Philippe O. Boucher, President of Elite Capital & Development, Inc., a FL Corporation, on behalf of the Corporation.

Signature of Notary Public
My Commission expires:

Personally known: ☒
OR Produced Identification:

Type of Identification Produced:





DEVELOPMENTS

NEW CONSTRUCTION PROJECT BUDGET BREAKDOWN

DEVELOPMENT COSTS

Archictecture	\$	6,000
Land & Preparation	\$	104,000
Infrastructure	\$	3,000
Surveying	\$	1,200
Sub-Total	\$	114,200

SOFT COSTS

Water & Sewer	\$	10,500
Impact Fees	\$	10,300
Sub-Total	\$	20,800

CONSTRUCTION COST

Footing and Slab	\$	19,000
Labor	\$	7,200
Materials	\$	11,800
Beams and Columns	\$	20,700
Labor	\$	8,700
Materials	\$	12,000
Rough Carpentry	\$	24,500
Labor	\$	9,000
Materials	\$	15,500
Windows and Doors	\$	15,900
Labor	\$	6,500
Materials	\$	9,400
Framing, Drywall and Insulation	\$	17,900
Labor	\$	8,700
Materials	\$	9,200
Lath and Stucco	\$	9,300
Labor	\$	5,300
Materials	\$	4,000



CONSTRUCTION COST

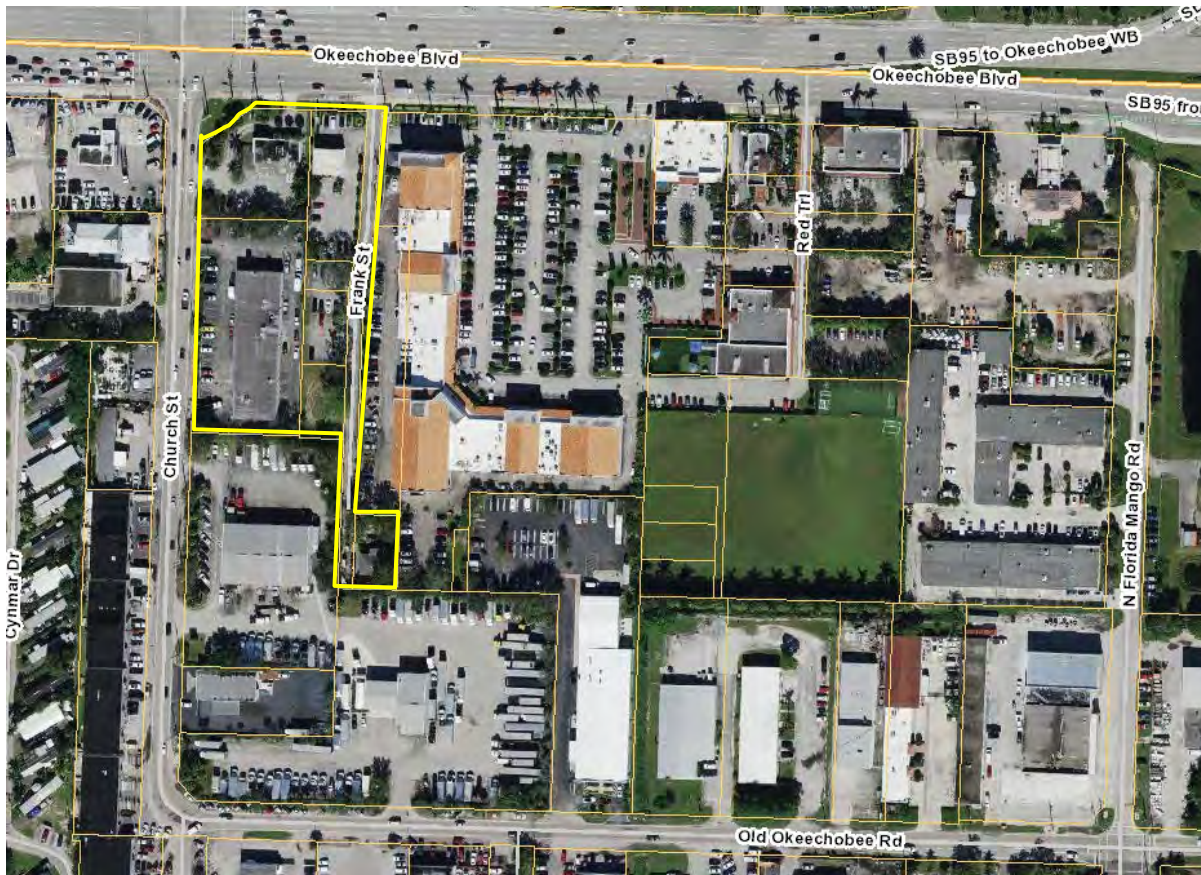
Flooring	\$	12,600
Labor	\$	7,000
Materials	\$	5,600
Kitchen	\$	13,700
Labor	\$	5,700
Materials	\$	8,000
Bathrooms	\$	8,200
Labor	\$	4,000
Materials	\$	4,200
Roof	\$	14,600
Plumbing	\$	12,800
Electrical	\$	16,000
HVAC	\$	13,500
Appliances	\$	3,400
Landscape & Pavers	\$	7,900
Painting	\$	6,600
Fixtures	\$	5,300
Sub-Total	\$	221,900
TOTAL COSTS	\$	356,900

Westgate CRA Board Meeting
April 14, 2025

AGENDA ITEM STAFF REPORT

Palm Beach Marketplace MUPD Expansion
PDD/DOA-2024-00634

Official Zoning Map Amendment (Rezoning) from CG to MUPD
Development Order Amendment (DOA)
DRO Approval for Type 1 Restaurant Use
Final DRO Site Plan Approval



Location Map



Application Summary – Palm Beach Marketplace MUPD Expansion

Palm Beach Marketplace is located on Okeechobee Blvd. between Church St. and I-95. The entire shopping plaza is 10.18 acres supporting 149,588 sf of entitlements in 9 structures, both constructed and planned. The plaza and out parcels contain multiple commercial uses including Type 1 and 2 restaurants, personal services, indoor entertainment, and general retail, a 120-room hotel, and a day care facility, classified as an institutional use.

Six parcels to the west of the plaza comprising 2.21 acres of land area with 14,521 sf of Type 1 Restaurant use (12,500 sf interior + 2,021 sf of outdoor dining) in one building are proposed to be added to the existing Multiple Use Planned Development (MUPD), bringing the development to a total of 12.39 acres overall. Approximately 12,000 sf of land area at the rear of the expansion site will remain vacant for future redevelopment. The proposed design will complement the most recent structures added to the plaza's Okeechobee Blvd. frontage in similar building placement and architectural character. The existing structures on the expansion site will be demolished to allow for the redevelopment program. Existing uses include a Type 1 restaurant (Nicks-to-Go), vacant retail (Cricket), and vehicle repair and maintenance (Maaco Auto Body). A small parcel supporting a commercial use, located at the termination of Frank Street, has been purchased by the owner to supplement parking for the expansion site.

The 2.21-acre site, generally located at the corner of Okeechobee Blvd. and Church Street, is proposed to be rezoned from CG to MUPD, and the approval of a Development Order Amendment (DOA) by the BCC to reconfigure the site and regulating plans, along with a DRO approval for Type 1 Restaurant use, are the primary application requests. A Right-of-Way Abandonment of Frank Street will support access to the expansion and associated parking from Okeechobee Blvd. A secondary access is planned from Church Street. The entitlements approach is to consider the entire site within the MUPD, with the 2.21 acres representing the expansion land area to include Building #10, west of Frank St., under a combination zoning district and overlay: MUPD regulations for rezoning standards, overall land development requirements, and parking calculations, and WCRAO standards for the purposes of building placement, frontage and setbacks.

Requests for CRA Board Recommendation

To facilitate the expansion of the plaza, the agent for the applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Official Zoning Map Amendment ("Rezoning") of 2.21 acres from Commercial General (CG) in part, to Multiple Use Planned Development (MUPD);

2. Board of County Commissioners (“BCC”) Approval of a Development Order Amendment to add land area, new uses and square footage, and reconfigure the site plan of a Multiple Use Planned Development;
3. Development Review Officer (DRO) Approval for 14,521 sf of Type 1 Restaurant use (12,500 sf of indoor & 2,021 sf of outdoor dining); and Final Site Plan Approval.



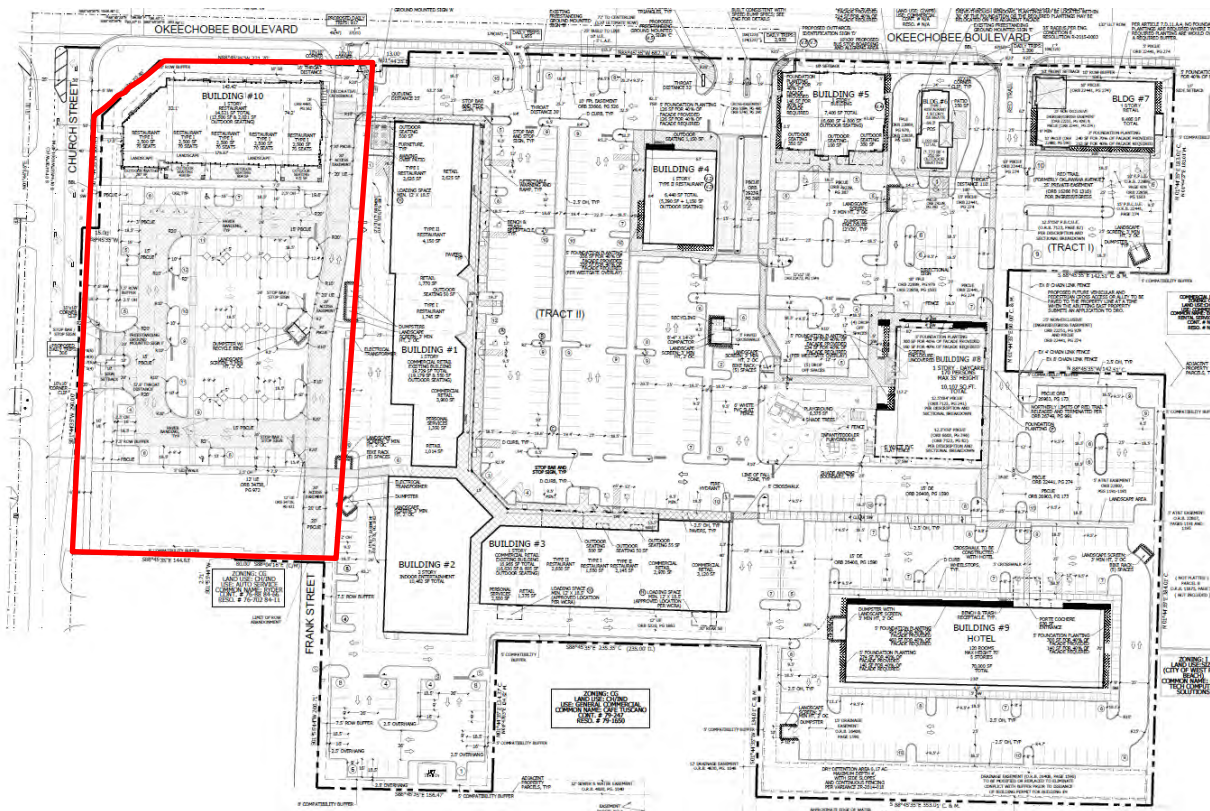
Existing Conditions – Okeechobee Blvd. at Frank St. (top) & Church St. south of Okeechobee intersection (bottom).

Proposed Development

The MUPD supports entitlements for Palm Beach Marketplace, the retail plaza structure, Okeechobee Place, which includes several outparcel plaza buildings, and a planned hotel building at the rear of the site. The existing MUPD site extends from Frank Street to just west of the SB I-95 on ramp. Including the proposed development, the entire MUPD will create close to 1,000 ft of frontage along Okeechobee Blvd. The expansion will support a 5-bay building housing five Type 1 restaurants at 2,500 sf each with 70 seats – all have covered outdoor seating areas at the rear. Parking is provided at the rear.

The original plaza, constructed in 1988, pre-dates the creation of the Agency, and the WCRAO. The MUPD site is adjacent to industrial uses on Church St., Old Okeechobee Rd., and N. Florida Mango. The

expansion site is within the UI (Urban Industrial) Sub-area of the WCRAO, and has a zoning designation of CG (Commercial General). The entire site has a Future Land Use designation (FLU) of CH/IND (commercial high with an underlying industrial land use). The future land use, land development codes, and WCRAO bonus density program do not allow for residential development in this sub-area of the WCRAO. Zoning records indicate multiple entitlements over the past decade+, creating the MUPD, adding, amending and parking new commercial uses.



MUPD expansion site – includes Frank St. ROW

Palm Beach Marketplace is a redevelopment success story. Purchased by its current owner in 2011, over time, the plaza has been transformed from a once underutilized and blighted property into an activity hub, attracting users from Okeechobee Blvd. commuters, nearby businesses and residential neighborhoods, and downtown West Palm Beach. With 149,588 sf of active retail and commercial uses, Palm Beach Marketplace has contributed to revitalization and local economic growth by providing a retail and service-oriented work hub, furthering positive place-making efforts, and investment interest.



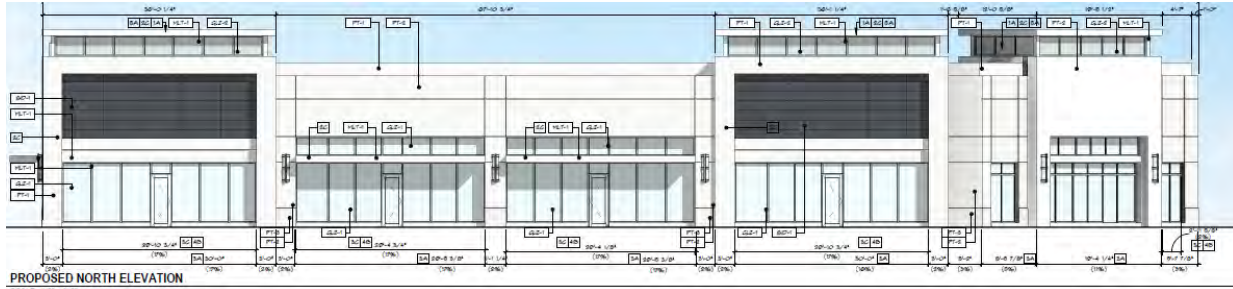
The proposed development program will bring five new businesses to the CRA District, removing a vacant retail structure and a long-time auto repair use from the tax roll, and replacing those uses with new restaurant square footage, aligning the project with the goals of the Community Redevelopment Plan. This expansion will have a significant traffic impact, generating 1,287 new daily trips in conjunction with the project. Type 1 Restaurants, specifically “high turnover sit-down restaurants” have high commercial intensity, and are high parking generators. 917 new daily trips are projected to turn right into Palm Beach Marketplace from the Frank St. driveway just past Church St.; morning peak hour trips are doubled, exacerbating congestion on Okeechobee Blvd. The integrated design of the expansion mitigates some of this impact through vehicular and pedestrian interconnectivity, and shared parking between uses and buildings.

Staff Analysis & Review

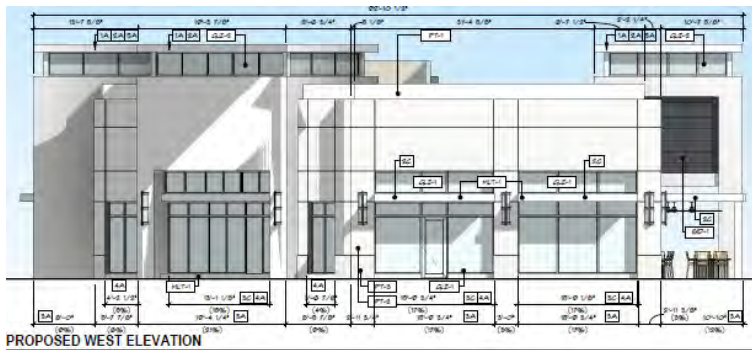
The expansion of the Palm Beach Marketplace is supported by the CRA’s Redevelopment Plan and the intent of the WCRAO UI Sub-area, which encourages the redevelopment of existing commercial and industrial uses. A rezoning is needed to facilitate entitlements. The proposed rezoning to MUPD is generally consistent with the purposes, goals, objectives and policies of the Comprehensive Plan. The applicant has provided adequate justification for the rezoning request pursuant to the standards of Art. 2 for location, proposed design, site configuration, intensity, compatibility with surrounding land uses, and consistency with Okeechobee Blvd. development patterns. Rezoning to MUPD is justified by the site’s future land use and proposed intensity of uses and is generally consistent with policies for infill development outlined in the Comprehensive Plan. The applicant has also demonstrated that the expansion complies with the standards for Development Order Amendments. The WCRAO is silent on restaurant uses, reverting to Art. 4 provisions for the use regulations and approvals; Type 1 Restaurants that are 5,000 sf or less require DRO approval.

The expansion site is designed to utilize WCRAO building placement provisions to maximize developable land. Front and side street build to lines are met, with Building #10 at a 20 ft. setback from the property lines including a 10-ft. landscape buffer. A 60% frontage requirement for the UI Sub-area is met. All other applicable WCRAO standards are met including minimum building depth, main entrance orientation, and maximum building length.

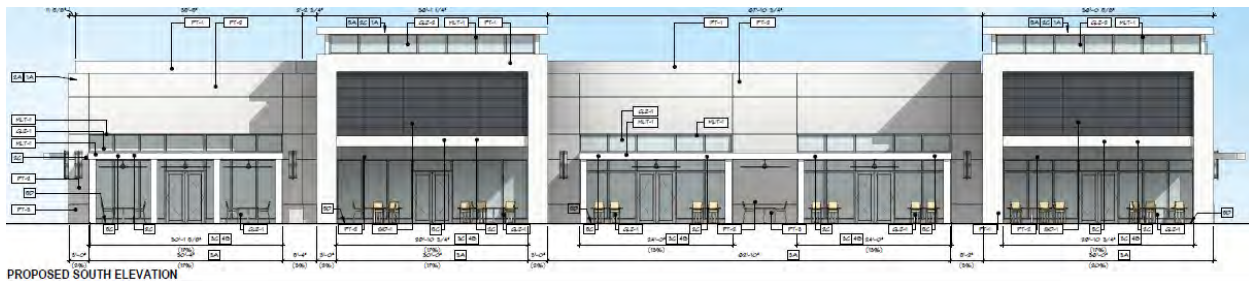
The architectural style of the expansion structure follows the aesthetic of the newer outparcel buildings. The developer maintains quality in design, and hardscape and landscape elements. Details such as extra height, awnings, sconces, and ample fenestration create a high-end feel that complements the design of the existing MUPD. The north elevation provides glazing and entrances doors, albeit non-functioning. Covered outdoor dining areas are at the rear of the building, oriented to the parking area. The west facing elevation wraps the corner clip.



MUPD expansion site – Building #10, facing Okeechobee Blvd.



MUPD expansion site – Building #10, facing corner of Okeechobee Blvd. at Church St.



MUPD expansion site – Building #10, facing parking area at rear

Commercial uses are parked using the MUPD parking ration of 1 space per 250 sf at minimum. A little over 100 spaces are provided in the parking area immediately to the south of Building #10 on the expansion site; the remainder of the required parking is proposed to be absorbed into the existing or newly added MUPD parking areas. With the expansion, the entire MUPD is overparked by 70 spaces. The project proposes to abandon the Frank St. right-of-way, converting the Okeechobee Blvd. curb cut into an access driveway. Access is from Frank St., Church St., and via multiple vehicular circulation points within the development.



The project has not requested to be exempted from traffic concurrency, and will not be counted within the Westgate TCEA. The expansion will generate 1,287 new daily trips. As infill redevelopment, the expansion will necessarily utilize existing drainage structures for retention, with legal positive outfall to a both of Okeechobee Blvd. and Church St.

Staff Recommendation

Staff supports a CRA Board recommendation of **approval** for the following application requests:

1. Official Zoning Map Amendment (“Rezoning”) of 2.21 acres from Commercial General (CG) in part, to Multiple Use Planned Development (MUPD);
2. Board of County Commissioners (“BCC”) Approval of a Development Order Amendment to add land area, new uses and square footage, and reconfigure the site plan of a Multiple Use Planned Development;
3. Development Review Officer (DRO) Approval for 14,521 sf of Type 1 Restaurant use (12,500 sf of indoor & 2,021 sf of outdoor dining); and Final Site Plan Approval.



Palm Beach County Zoning Division
2300 N. Jog Road
West Palm Beach, Florida 33411
Phone: (561) 233-5200
Fax: (561) 233-5165

GENERAL APPLICATION
PUBLIC HEARING AND DRO ADMINISTRATIVE PROCESSES

1. REQUEST(S)

✓ Check Type(s) of Application Request(s) and complete as applicable:

PUBLIC HEARING REQUESTS:

- ☐ Official Zoning Map Amendment from _____ Zoning District to _____ Zoning District
- ☐ With a Concurrent Land Use Amendment from _____ Land Use to _____ Land Use
- ☐ Class A Conditional Use (CA) for _____
- ☐ Class B Conditional Use (CB) for: _____
- ☐ Development Order Abandonment (ABN) of Resolution No: _____ which allowed _____
- ☐ Expedited Application Consideration (EAC) for: _____
- ☐ Development Order Amendment (DOA) to a previously approved:

☐ COZ ☐ PDD/TDD ☐ Class A ☐ Class B ☐ Other: _____

☐ To modify and/or delete Conditions of Approval;

☐ To reconfigure Plan(s) ☐ Master ☐ Site ☐ Subdivision

☐ Landscape ☐ Regulating ☐ Sign Plan

☐ To add and/or delete square footage;

☐ Other: _____

☐ To add and/or delete land area;

☐ To add and/or delete units;

☐ To add, delete, or modify Uses;

☐ To add access points;
- ☐ Type 2 Variance: (Submit Form #43 Variance Supplemental) Concurrent ☐ Standalone ☐
- ☐ Subdivision Variance: (Submit Form #43 Variance Supplemental) Concurrent ☐ Standalone ☐
- ☐ PO Deviations: (Submit Form #92 PO Deviation) from Article(s) _____
- ☐ Pre-Application Conference (PAC) IRO or PRA: With Questions? ☐ Yes ☐ No
- ☐ Type 2 Waiver: (Submit Form #19 Waiver Supplemental) Concurrent ☐ Standalone ☐
- ☐ Unique Structure: _____
- ☐ Other: _____

DRO ADMINISTRATIVE REQUESTS:

- ☐ Expedited Development Review Officer approval (DROE) (within 2 months of BCC/ZC approval)
- ☐ Use subject to Development Review Officer (DRO) approval for _____
- ☐ Pre-Application Conference (PAC) - Concurrent Review: With Questions? ☐ Yes ☐ No
- ☐ Type 2 Concurrent Review: ☐ with Building Permit # _____ or ☐ with Plat, Name/No. _____
- ☐ Type 3 Concurrent Review (Zoning, Land Development and Building)
- ☐ Administrative Modification to a Plan approved by the ZC / BCC / DRO for _____
- ☐ Administrative Abandonment (ABN) of a DRO Approval _____
- ☐ Subdivision _____
- ☐ Transfer of Development Rights (TDR) (Submit Form #16 TDR Supplemental) _____
- ☐ Type 1 Waiver (Submit Form #19 Waiver Supplemental) from Article _____ for _____
- ☐ Other _____

2. APPLICANT INFORMATION

Current Property Owner(s) Name: _____
Address: _____ City: _____
State: _____ Zip: _____
Phone: _____ Cell Phone: _____
Email Address: _____

Applicant's name (if other than property owner(s): _____
Address: _____ City: _____
State: _____ Zip: _____
Phone: _____ Cell Phone: _____
Email Address: _____

☐ Check (✓) here if Applicant is a contract purchaser. Consent is required from the contract purchaser if a contract is pending to purchase the subject property. Home Owners Association (HOA) or Property Owners Association (POA) consent will be required if subject property is under common ownership or request is to modify any aspect of the project which applies to the entire development (i.e. condition of approval, internal roadway, etc.)

Agent:* _____ Name of Firm: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell Phone #: _____
Email Address: _____

Agent:* _____ Name of Firm: _____
Address: _____ City: _____ State: _____ Zip: _____
Phone: _____ Cell Phone #: _____
Email Address: _____

* All correspondence will be sent to the Agent(s) unless otherwise specified.

3. PROPERTY INFORMATION (* Required Fields)

A. *Property Control Number (PCN): <i>(List additional PCN(s) on separate sheet)</i>	
B. *Control Number:	
C. *Control Name :	
D. Application Number:	
E. *Application Name:	
F. Project Number:	
G. *Gross Acreage:	
H. Gross Acreage of affected area:	
I. *Location of subject property: <i>(proximity to closest major intersection/ road)</i>	
J. *Address:	
K. *BCC District:	
L. Overlay (Special Study Area):	
M. Tier	<input type="checkbox"/> U/S <input type="checkbox"/> R/EX <input type="checkbox"/> AGR <input type="checkbox"/> GLADES

4. LAND USE AND ZONING INFORMATION

Current Future Land Use designation:		Proposed Future Land Use designation:	
Current Zoning District:		Proposed Zoning District:	
Existing Use(s):		Proposed Use(s):	
Existing Square Footage:		Proposed Square Footage:	
Existing Number of Units:		Proposed Number of Units:	

5. ARCHITECTURAL REVIEW

This application is subject to the requirements of Article 5.C, Design Standards and request review of the proposed elevations concurrent with:

- ☐ Type 1 Projects Requiring BCC Approval
- ☐ Type 2 Projects Requiring ZC Approval
- ☐ Type 3 Projects Requiring DRO or Site Plan Approval
- ☐ Type 4 Projects Requiring Building Permit Approval

This application also includes request(s) for Elevation review and consideration, as indicated below:

- ☐ Revise previously approved Elevations;
- ☐ Non-conforming structures that are subject to Article 5.C, Percentage of Renovations;
- ☐ Approval for Green Architecture (*Type 1 Waiver*, Art.5.C.1.E.3)
- ☐ Approval for Unique Structure (Art.5.C.1.E.2)

Note: *All application documents shall be consistent with the current Technical Manual, refer to the Zoning Web Page.*

6. ADJACENT PROPERTIES								
Complete the chart below to identify the Use and Zoning information for the surrounding properties to the project.								
Adjacent Property	FLU	Zoning District	Existing Use (Res, Comm, Ind, etc.)	Approved Use (Res, Comm, Ind, etc.)	Existing Sq. ft. or DU/AC	Approved Sq. ft. or DU/AC	Control # (FKA Petition #)	Resolution # R _
EAST								
NORTH								
SOUTH								
WEST								

7. COMPLIANCE	
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the property in compliance with all previous Conditions of Approval and applicable Code Requirements? <i>If no, please explain in the Justification Statement.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the property currently the subject of Code Enforcement action? <i>If yes, provide Code Enforcement Case Number: _____</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Will the request require modification(s) to a recorded plat or plat with Technical Compliance? <i>If yes, explain in the Justification Statement.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the subject property an existing legal lot of record? <i>If no, submit Legal Lot Review Application to the Land Development Division.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Does the proposed improvements exceed the allowable improvement value of the existing structure as identified in ULDC, Article 1? <i>If yes, comply with Article 1.F – Nonconformities.</i>

8. PROPOSED USE DETAILS					
Building Name	Use(s) (as per ULDC)	Square Footage	Number of Units	Phase Name	Outparcel

9. CONCURRENCY					
Concurrency Reservation <input type="checkbox"/>		Concurrency Equivalency <input type="checkbox"/>		Concurrency Exemption <input type="checkbox"/>	
A. Water Provider:					
B. Waste Water Provider:					
C. Drainage District:					
D. Traffic Provider:			Traffic Trips Existing:		
E. Mass Transit Provider:			Traffic Trips Proposed:		
F. Traffic Capacity:		Number of Gross Peak Hour Trips = <i>(If greater than 30; a traffic study will be required)</i>			
G. Public School:					
H. Public Health Provider:		Well /Septic tank :			
I. Parks					
J. Fire Rescue					
K. Solid Waste:					
L. Check the proposed means of achieving access from the development site to a point of Legal Positive Outfall for storm water discharged from the site: <input type="checkbox"/> Property is contiguous to a natural waterway, or a canal owned and operated by a water control district. <input type="checkbox"/> Property owner has legally established drainage rights to convey storm water through all intervening properties between the development site and natural waterway or water control district canal. <input type="checkbox"/> Property abuts a road with a functioning drainage system, and property owner has obtained written confirmation from the entity responsible for maintaining the road that the proposed development is eligible to utilize the road drainage system, subject to meeting all permit requirements for drainage connection. <input type="checkbox"/> Other (specify): _____					

10. ENVIRONMENTAL ANALYSIS	
ENVIRONMENTAL RESOURCE MANAGEMENT (ERM) – Art. 14.B.8.C	
Is there Native Vegetation on Site?	<input type="checkbox"/> Yes <input type="checkbox"/> No If yes; a Pre-Application Appointment with ERM is required; Enter date of PAA meeting with ERM _____;
General Vegetation Statement:	
Existing and Proposed Grade/Elevation where existing Native Vegetation is to be preserved:	
Is site in a Wellfield protection zone?	<input type="checkbox"/> Yes <input type="checkbox"/> No If yes; submit Wellfield Protection Affidavit , available from ERM
HEALTH DEPARTMENT – Art.15	
In Justification Statement, under heading “Hazardous Material”, address type(s) and amount of: 1) all industrial, manufacturing, special or hazardous waste that may be generated; 2) airborne pollutants that may be generated (i.e. dust or other unconfined particulates such as NOx, SOx, CO, VOC’s, heavy metals, etc.); and, 3) any special handling of solid waste that may be required.	

This application is not complete without the following documents as attachments:

1. **Justification Statement:** to address the purpose, project history, intent and design objectives of this request, refer to Art.2.A.6.A.1 for the required information.
2. **Status of Conditions of Approval (COA):**

a. Provide letter/document which includes the status of all current Conditions of Approval;

b. Include the exact language for any modification(s) to any Condition of Approval;

c. If the application request requires time extension for Commencement of Development or recording a Plat, then provide further explanation. (This explanation may be added to the Justification Statement.)

Note: Please refer to PZB Zoning Website for all ULDC Articles <http://www.pbcgov.com/uldc/index.htm> referenced in this document and the Technical Manual for helpful information <http://www.pbcgov.com/techmanual/index.htm>

PCN List:

1. 00-43-43-29-00-000-3350,
2. 00-43-43-29-00-000-3850
3. 00-43-43-29-06-000-0010
4. 00-43-43-29-06-000-0092
5. 00-43-43-29-06-000-0091
6. 00-43-43-29-06-000-0020
7. 00-43-43-29-06-000-0050
8. 00-43-43-29-00-000-3380
9. 00-43-43-29-00-000-3690
10. 00-43-43-29-00-000-3700
11. 00-43-43-29-00-000-3370
12. 00-43-43-29-00-000-3400
13. 00-43-43-29-00-000-3930
14. 00-43-43-29-00-000-3480
15. 00-43-43-29-00-000-3450
16. 00-43-43-29-00-000-3410
17. 00-43-43-29-00-000- 3920
18. 00-43-43-29-00-000-3440
19. 00-43-43-29-00-000-3390
20. 00-43-43-29-00-000-3420

LAND DESCRIPTION

OKEECHOBEE PLACE (TRACT I)

PARCEL NO. 1:

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 764 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, AND REPLAT THEREOF, RECORDED IN PLAT BOOK 20, PAGE 20, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29, THENCE RUN SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 27 FEET TO THE POINT OF BEGINNING AND THE NORTHWEST CORNER OF THE PARCEL, HEREBY DESCRIBED; THENCE RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 83 FEET; THENCE RUN EAST PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 112.5 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 83 FEET; THENCE RUN WEST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 112.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 2:

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 764 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 110 FEET TO THE POINT OF BEGINNING; THENCE HEREUNDER, THENCE RUNNING SOUTH, PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN EAST ON A LINE PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 112.5 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN WEST ON A LINE PARALLEL TO THE NORTH SECTION LINE OF SECTION 29, A DISTANCE OF 112.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 3:

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH LINE OF SAID SECTION 29, WHICH IS 764 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, WHERE IT ADJOINS THE NORTH LINE OF SAID SECTION 29; RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160 FEET TO THE POINT OF BEGINNING AND THE NORTHWEST CORNER OF THE PARCEL, HEREBY CONVEYED; THENCE CONTINUE SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN EAST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 112.5 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN WEST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 112.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 4:

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 876.5 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; RUN SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 262 FEET TO THE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING CONTINUE SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 72 FEET; THENCE RUN WEST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 102.5 FEET; THENCE RUN NORTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 72 FEET; THENCE RUN EAST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 102.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 5:

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH LINE OF SAID SECTION 29, WHICH IS 764 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, WHERE IT ADJOINS THE NORTH LINE OF SAID SECTION 29; RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 210 FEET TO THE POINT OF BEGINNING AND THE NORTHWEST CORNER OF THE PARCEL, HEREBY CONVEYED; THENCE CONTINUE SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 52 FEET; THENCE RUN EAST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 112.5 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 52 FEET; THENCE RUN WEST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 112.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 6:

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 876.5 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, AND REPLAT THEREOF, RECORDED IN PLAT BOOK 20, PAGE 20, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; THENCE RUN SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 334 FEET TO THE POINT OF BEGINNING AND THE NORTHEAST CORNER OF THE PARCEL, HEREBY DESCRIBED; THENCE RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN WEST PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 210.5 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN EAST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 210.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 11:

A PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 1019 FEET EAST OF THE EAST LINE OF MADRID PARK WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29, RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 27 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH ALONG SAID LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 133 FEET; THENCE RUN WEST ON A LINE PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 142.5 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 133 FEET; THENCE RUN EAST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 142.5 FEET TO THE POINT OF BEGINNING.

PARCEL NO. 13 (AKIA ALTMAN PARCEL):

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 1019 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 13, PAGE 78, AND REPLAT THEREOF, RECORDED IN PLAT BOOK 20, PAGE 20, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; THENCE RUNNING SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160 FEET TO THE POINT OF BEGINNING AND NORTHEAST CORNER OF THE PARCEL, HEREBY CONVEYED; THENCE CONTINUE SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUNNING WEST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 142.5 FEET; THENCE RUNNING NORTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUNNING EAST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 142.5 FEET TO THE POINT OF BEGINNING OF THE PARCEL, HEREBY CONVEYED.

PARCEL NO. 14 (AKIA MILES PARCEL):

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 1019 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 13, PAGE 78, AND REPLAT THEREOF, RECORDED IN PLAT BOOK 20, PAGE 20, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; THENCE RUNNING SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 300 FEET TO THE POINT OF BEGINNING; THENCE RUNNING SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 84 FEET; THENCE RUNNING WEST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 142.5 FEET; THENCE RUNNING NORTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 84 FEET; THENCE RUNNING EAST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 142.5 FEET TO THE POINT OF BEGINNING.

(HANCOCK PARCEL)

A PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, WHICH POINT IS 876.5 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; RUN SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 262 FEET; THENCE RUN WEST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 102.5 FEET TO THE POINT OF BEGINNING; THENCE FROM SAID POINT OF BEGINNING RUN SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 72 FEET; THENCE RUN WEST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 10.0 FEET; THENCE RUN NORTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 72 FEET; THENCE RUN EAST PARALLEL TO THE NORTH LINE OF SECTION 29, A DISTANCE OF 10.0 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS.

ALL OF THE ABOVE PARCELS (1-6, INCLUSIVE, 11,13,14 AND HANCOCK PARCEL) HAVE AND HOLD AND ARE SUBJECT TO AN EASEMENT FOR A NON-EXCLUSIVE RIGHT OF INGRESS AND EGRESS OVER THE 29 PRIVATE EASEMENT AREA COMMONLY KNOWN AS RED TREAL AND LEGALLY DESCRIBED AS FOLLOWS:

FROM AT A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, THIS POINT BEING 884 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 13, PAGE 78, WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; THENCE RUNNING SOUTH, PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 27 FEET TO A POINT ALONG THE ULTIMATE RIGHT-OF-WAY LINE OF OKEECHOBEE BLVD AND THE POINT OF BEGINNING HEREUNDER; THENCE RUNNING SOUTH, PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 357 FEET TO A POINT ALONG THE NORTH LINE OF SECTION 29 (THE NORTH LINE OF SAID SECTION 29 IS ASSUMED TO BEAR SOUTH 88°45'36" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO) A DISTANCE OF 293.87 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF EAST LINE OF FRANK STREET AS SHOWN ON THE PLAT OF SMITHVIEW, AS RECORDED IN PLAT BOOK 23, PAGE 112, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, WITH THE NORTH LINE OF SAID SECTION 29; THENCE SOUTH 88°45'36" EAST ALONG THE NORTH LINE OF SAID SECTION 29 (THE NORTH LINE OF SAID SECTION 29 IS ASSUMED TO BEAR SOUTH 88°45'36" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO) A DISTANCE OF 293.87 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF EAST LINE OF FRANK STREET AS SHOWN ON THE PLAT OF SMITHVIEW, AS RECORDED IN PLAT BOOK 23, PAGE 112, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE SOUTH 03°37'05" WEST ALONG SAID EXTENSION A DISTANCE OF 15.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF OKEECHOBEE BOULEVARD AS SHOWN IN ROAD PLAT BOOK 4, PAGE 221, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL OF LAND; THENCE CONTINUE SOUTH 03°37'04" WEST ALONG SAID EXTENSION A DISTANCE OF 15.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF OKEECHOBEE BOULEVARD AS SHOWN IN ROAD PLAT BOOK 4, PAGE 221, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL OF LAND; THENCE CONTINUE SOUTH 03°37'04" WEST ALONG THE EAST LINE OF FRANK STREET A DISTANCE OF 102.78 FEET; THENCE SOUTH 10°11'09" WEST A DISTANCE OF 77.00 FEET; THENCE SOUTH 01°55'44" WEST A DISTANCE OF 300.00 FEET TO THE SOUTHWEST CORNER OF LOT 6 OF SAID PLAT OF SMITHVIEW; THENCE SOUTH 88°45'36" WEST ALONG THE SOUTH LINE OF SAID LOT 6 A DISTANCE OF 60.00 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 01°55'44" WEST ALONG THE EAST LINE OF LOT 5 OF SAID PLAT OF SMITHVIEW, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER THEREOF AND TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN DEED BOOK 951, PAGE 380, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE SOUTH 88°43'36" EAST ALONG THE FOREMENTIONED NORTH LINE A DISTANCE OF 76.48 FEET; THENCE NORTH 01°44'54" EAST ALONG THE WEST LINE OF A PARCEL OF LAND DESCRIBED IN DEED BOOK 861, PAGE 542, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, A DISTANCE OF 84.43 FEET; THENCE SOUTH 88°45'36" EAST PARALLEL WITH THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 20.00 FEET; THENCE NORTH 01°44'54" EAST PARALLEL WITH THE EAST LINE OF SAID PLAT OF MADRID PARK, A DISTANCE OF 216.00 FEET; THENCE SOUTH 88°45'36" EAST PARALLEL WITH THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 98.00 FEET; THENCE NORTH 01°44'54" EAST PARALLEL WITH THE EAST LINE OF SAID PLAT OF MADRID PARK, A DISTANCE OF 124.00 FEET; THENCE NORTH 88°45'36" WEST PARALLEL WITH THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 98.00 FEET; THENCE NORTH 01°44'54" EAST PARALLEL WITH THE EAST LINE OF SAID PLAT OF MADRID PARK, A DISTANCE OF 98.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF OKEECHOBEE BOULEVARD; THENCE NORTH 88°45'36" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 372.62 FEET TO THE POINT OF BEGINNING.

AND

PALM BEACH MARKET PLACE (TRACT II)

PARCEL NO. 1 (FEE SIMPLE): (NOT INCLUDED)

PARCEL NO. 2: (FEE SIMPLE)

A PARCEL OF LAND IN THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE EAST LINE OF THE PLAT OF MADRID PARK, AS RECORDED IN PLAT BOOK 13, PAGE 78, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, WITH THE NORTH LINE OF SAID SECTION 29; THENCE SOUTH 88°45'36" EAST ALONG THE NORTH LINE OF SAID SECTION 29 (THE NORTH LINE OF SAID SECTION 29 IS ASSUMED TO BEAR SOUTH 88°45'36" EAST AND ALL OTHER BEARINGS ARE RELATIVE THERETO) A DISTANCE OF 293.87 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY EXTENSION OF EAST LINE OF FRANK STREET AS SHOWN ON THE PLAT OF SMITHVIEW, AS RECORDED IN PLAT BOOK 23, PAGE 112, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE SOUTH 03°37'04" WEST ALONG SAID EXTENSION A DISTANCE OF 15.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF OKEECHOBEE BOULEVARD AS SHOWN IN ROAD PLAT BOOK 4, PAGE 221, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL OF LAND; THENCE CONTINUE SOUTH 03°37'04" WEST ALONG THE EAST LINE OF FRANK STREET A DISTANCE OF 102.78 FEET; THENCE SOUTH 10°11'09" WEST A DISTANCE OF 77.00 FEET; THENCE SOUTH 01°55'44" WEST A DISTANCE OF 300.00 FEET TO THE SOUTHWEST CORNER OF LOT 6 OF SAID PLAT OF SMITHVIEW; THENCE SOUTH 88°45'36" WEST ALONG THE SOUTH LINE OF SAID LOT 6 A DISTANCE OF 60.00 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE SOUTH 01°55'44" WEST ALONG THE EAST LINE OF LOT 5 OF SAID PLAT OF SMITHVIEW, A DISTANCE OF 100.00 FEET TO THE SOUTHEAST CORNER THEREOF AND TO A POINT ON THE NORTH LINE OF A PARCEL OF LAND DESCRIBED IN DEED BOOK 951, PAGE 380, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE SOUTH 88°43'36" EAST ALONG THE FOREMENTIONED NORTH LINE A DISTANCE OF 76.48 FEET; THENCE NORTH 01°44'54" EAST ALONG THE WEST LINE OF A PARCEL OF LAND DESCRIBED IN DEED BOOK 861, PAGE 542, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, A DISTANCE OF 84.43 FEET; THENCE SOUTH 88°45'36" EAST PARALLEL WITH THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 20.00 FEET; THENCE NORTH 01°44'54" EAST PARALLEL WITH THE EAST LINE OF SAID PLAT OF MADRID PARK, A DISTANCE OF 216.00 FEET; THENCE SOUTH 88°45'36" EAST PARALLEL WITH THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 98.00 FEET; THENCE NORTH 01°44'54" EAST PARALLEL WITH THE EAST LINE OF SAID PLAT OF MADRID PARK, A DISTANCE OF 124.00 FEET; THENCE NORTH 88°45'36" WEST PARALLEL WITH THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 98.00 FEET; THENCE NORTH 01°44'54" EAST PARALLEL WITH THE EAST LINE OF SAID PLAT OF MADRID PARK, A DISTANCE OF 98.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF OKEECHOBEE BOULEVARD; THENCE NORTH 88°45'36" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 372.62 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING THEREFROM THE LAND SHOWN AS PARCEL NO. 126 AS CONTAINED IN THE ORDER OF TAKING RECORDED IN OFFICIAL RECORD BOOK 7416, PAGE 1470; AND LESS AND EXCEPT RIGHT-OF-WAY FOR OKEECHOBEE ROAD, AS DESCRIBED IN DEED BOOK 919, PAGE 403, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

PARCEL NO. 3: (NOT INCLUDED)

PARCEL NO. 4 - EASEMENT:

A PERPETUAL, NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY FOR SEWER AND WATER IN, ON, OVER, AND ACROSS AND UNDER THAT PORTION DESCRIBED IN EXHIBIT "C" IN THE EASEMENT AGREEMENT RECORDED MARCH 27, 1986 IN O.R.B. 4830, PAGE 1040, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL NO. 5 - EASEMENT:

A PERPETUAL, NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY FOR DRAINAGE, ON, OVER, ACROSS AND UNDER THAT PORTION DESCRIBED IN EXHIBIT "C" IN THE DRAINAGE EASEMENT AGREEMENT RECORDED MARCH 27, 1986 IN O.R.B. 4830, PAGE 1048, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL NO. 6 - EASEMENT:

A PERPETUAL, NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY FOR STORM DRAINAGE, ON, OVER, ACROSS AND UNDER THAT PORTION DESCRIBED IN EXHIBIT "C" IN THE DRAINAGE EASEMENT AGREEMENT RECORDED MARCH 27, 1986, IN O.R.B. 4830, PAGE 1032, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL NO. 7: (NOT INCLUDED)

PARCEL NO. 8: (NOT INCLUDED)

PARCEL NO. 9 - EASEMENT: (NOT INCLUDED)

PARCEL NO. 10 - EASEMENT: (NOT INCLUDED)

PARCEL NO. 11:

THE SOUTH 84.43 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

THE WEST 20.00 FEET OF THAT PARCEL OF LAND WHICH IS SET FORTH IN THAT CERTAIN DEED DATED MAY 7, 1946, GIVEN BY GENERAL J. HANCOCK AND GERTRUDE L. HANCOCK, HIS WIFE, RECORDED IN DEED BOOK 763, PAGE 131, DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT ON THE NORTH SECTION LINE OF SAID SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, 411 FEET EAST OF THE EAST LINE OF MADRID PARK, WHERE IT ADJOINS THE NORTH SECTION LINE OF SAID SECTION 29; THENCE RUNNING SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 684 FEET; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 180 FEET; THENCE NORTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 684 FEET, TO THE NORTH SECTION LINE; THENCE WEST ALONG THE NORTH SECTION LINE, A DISTANCE OF 180 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR THE ROAD KNOWN AS OKEECHOBEE ROAD.

THE ABOVE DESCRIBED PARCELS OF LAND CONTAINS 7.14 ACRES MORE OR LESS.

AND

1880 OKEECHOBEE BLVD. (TRACT III)

ALL THAT CERTAIN PLOT OR PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, THIS POINT BEING 666 FEET EAST OF THE EAST LINE OF MADRID PARK, WHERE IT ADJOINS THE NORTH SECTION LINE OF SAID SECTION 29; RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160 FEET FOR A POINT OF BEGINNING; FROM SAID POINT OF BEGINNING RUN EAST PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 98 FEET; THENCE RUN SOUTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET; THENCE RUN WEST ON A LINE PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 98 FEET; THENCE RUN NORTH ON A LINE PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING.

AND

BEGINNING AT A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43, THIS POINT BEING 666 FEET EAST OF THE EAST LINE OF MADRID PARK WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; THENCE RUNNING SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160 FEET; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 48 FEET; THENCE NORTH AND PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160 FEET TO THE NORTH SECTION LINE; THENCE WEST ALONG THE NORTH SECTION LINE, A DISTANCE OF 48 FEET TO THE POINT OR PLACE OF BEGINNING, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR THE ROAD KNOWN AND USED AS OKEECHOBEE ROAD.

AND

BEGINNING AT A POINT ON THE NORTH SECTION LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, THIS POINT BEING 714 FEET EAST OF THE EAST LINE OF MADRID PARK WHERE IT ADJOINS THE NORTH SECTION LINE OF SECTION 29; THENCE RUNNING SOUTH PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160.00 FEET; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID SECTION 29, A DISTANCE OF 50 FEET; THENCE NORTH AND PARALLEL TO THE EAST LINE OF MADRID PARK, A DISTANCE OF 160.00 FEET TO THE NORTH SECTION LINE; THENCE WEST ALONG THE NORTH SECTION LINE, A DISTANCE OF 50 FEET TO THE POINT OR PLACE OF BEGINNING, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR THE ROAD KNOWN AND USED AS OKEECHOBEE ROAD.

LESS AND EXCEPTING THEREFROM THE LAND SHOWN AS PARCEL NO.127 AS CONTAINED IN THE ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 7416, PAGE 1470.

TOGETHER WITH EASEMENTS CREATED BY TERMINATION AND RESTATEMENT OF CROSS-EASEMENT AGREEMENT RECORDED AT OFFICIAL RECORD BOOK 5740 PAGE 290.

ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

AND

TRACT A

PARCEL A (1950 OKEECHOBEE BLVD.):

LOT A, SMITHVIEW, LESS THE SOUTH 40 FEET, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 23, PAGE 112, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. TOGETHER WITH:

PARCEL B (1960 OKEECHOBEE BLVD.):

A PORTION OF THE NORTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHWEST ¼ OF THE NORTHWEST ¼ OF SAID SECTION 29; THENCE SOUTH 88° 45' 29" EAST ALONG THE NORTH LINE SAID SECTION 29, A DISTANCE OF 180.07 FEET TO THE POINT OF INTERSECTION OF THE NORTHERLY EXTENSION OF THE WEST LINE OF THE PLAT OF SMITHVIEW, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 23, PAGE 112 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, WITH SAID NORTH LINE OF SECTION 29; THENCE SOUTH 01° 44' 41" WEST ALONG THE NORTHERLY EXTENSION OF SAID WEST LINE OF SAID PLAT OF SMITHVIEW, A DISTANCE OF 40.00 FEET TO THE SOUTHERLY EXISTING RIGHT-OF-WAY LINE FOR STATE ROAD 704 (OKEECHOBEE BOULEVARD), AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP 93280-2510, AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 01° 44' 41" WEST ALONG THE WEST LINE OF SAID SMITHVIEW, A DISTANCE OF 150.01 FEET; THENCE NORTH 88° 45' 29" WEST ALONG A LINE 190.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH LINE OF SECTION 29, A DISTANCE OF 130.06 FEET TO A POINT ON A LINE 65.00 FEET EAST OF AND PARALLEL WITH THE EAST LINE OF REPLAT OF MADRID PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE 20, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE NORTH 01° 44' 41" EAST, A DISTANCE OF 100.45 FEET; THENCE NORTH 88° 29' 43" EAST, A DISTANCE OF 70.40 FEET; THENCE SOUTH 88° 42' 29" EAST ALONG SAID SOUTHERLY EXISTING RIGHT-OF-WAY LINE FOR STATE ROAD 704, A DISTANCE OF 80.50 FEET TO THE POINT OF BEGINNING, TOGETHER WITH:

PARCEL C (1934 CHURCH ST.):

A PORTION OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A POINT ON THE NORTH LINE OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA 50 FEET EAST OF THE EAST LINE OF MADRID PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 20, PAGE 20, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, RUN THENCE SOUTHERLY, PARALLEL TO THE EAST LINE OF SAID MADRID PARK, 160 FEET TO THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED; FROM SAID POINT OF BEGINNING CONTINUE SOUTHERLY, PARALLEL TO THE EAST LINE OF SAID MADRID PARK, 290 FEET; THENCE EASTERLY, PARALLEL TO THE NORTH LINE OF SAID SECTION 29, 144.42 FEET; THENCE NORTHERLY, PARALLEL TO THE EAST LINE OF MADRID PARK, 290 FEET; THENCE WESTERLY, PARALLEL TO THE NORTH LINE OF SAID SECTION 29, 144.42 FEET TO THE POINT OF BEGINNING, TOGETHER WITH:

PARCEL D (1931 FRANK ST.):

LOT 2 OF SMITHVIEW, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23, PAGE 112, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. TOGETHER WITH:

PARCEL E (PORTION OF FRANK ST.):

ALL THAT CERTAIN PARCEL OF LAND LYING IN THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, ALSO KNOWN AS FRANK STREET AS SHOWN ON THE PLAT OF SMITHVIEW, RECORDED IN PLAT BOOK 23, PAGE 112, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST; THENCE SOUTH 88°45'35" EAST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 1643.99 FEET; THENCE SOUTH 03°37'05" WEST ALONG THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID FRANK STREET, A DISTANCE OF 40.03 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 03°37'05" WEST, A DISTANCE OF 167.75 FEET; THENCE SOUTH 10°10'45" WEST, A DISTANCE OF 77.00 FEET; THENCE SOUTH 01°55'44"W, A DISTANCE OF 200.00 FEET; THENCE NORTH 88°05'54"W, A DISTANCE OF 20.00 FEET; THENCE NORTH 01°55'44"E, A DISTANCE OF 201.44 FEET; THENCE NORTH 10°10'45" WEST, A DISTANCE OF 177.30 FEET; THENCE NORTH 03°37'05" A DISTANCE OF 165.70 FEET; THENCE SOUTH 88°45'35"E, A DISTANCE OF 20.02 FEET TO THE FOREMENTIONED POINT OF BEGINNING, TOGETHER WITH:

TRACT B

PARCEL F (1926 FRANK ST.):

LOT 5, SMITHVIEW, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23, PAGE 112, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MORE OR LESS PARTICULARLY DESCRIBED AS FOLLOWS:

LAND DESCRIPTION

ALL THAT CERTAIN PARCEL OF LAND IN SECTION 29, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SECTION 29, TOW

TITLE REVIEW

OKEECHOBEE PLCE (TRACT I)

REVIEW OF TITLE SEARCH REPORT PREPARED BY OLD REPUBLIC TITLE INSURANCE COMPANY FILE #24128083 DATED NOVEMBER 27, 2024. SCHEDULE B SECTION 2.

THE FOLLOWING STANDARD EXCEPTIONS SHOULD BE MADE A PART OF ANY COMMITMENT, UNLESS EVIDENCE IS PRESENTED WHICH WOULD ELIMINATE THE NEED FOR SAME:

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.

APPLICABLE NOT PLOTTABLE

2. FACTS WHICH WOULD BE DISCLOSED BY AN ACCURATE AND COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED.

APPLICABLE NOT PLOTTABLE

3. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION.

APPLICABLE NOT PLOTTABLE

4. CONSTRUCTION, MECHANIC'S, CONTRACTORS' OR MATERIALMEN'S LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD.

APPLICABLE NOT PLOTTABLE

5. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS.

APPLICABLE NOT PLOTTABLE

6. ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LANDS INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED, AND ARTIFICIALLY EXPOSED LANDS AND LANDS ACCRETED TO SUCH LANDS.

APPLICABLE NOT PLOTTABLE

7. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2024 AND SUBSEQUENT YEARS.

APPLICABLE NOT PLOTTABLE

EASEMENTS, RESTRICTIONS AND OTHER MATTERS AFFECTING TITLE SEARCHED:

8. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CH. 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY.

APPLICABLE NOT PLOTTABLE

9. RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION, AND ANY PARTIES CLAIMING, BY THROUGH OR UNDER SAID TENANTS OR PARTIES IN POSSESSION, AS TO ANY UNRECORDED LEASES OR RENTAL AGREEMENTS.

APPLICABLE NOT PLOTTABLE

10. EASEMENTS FOR ROADWAY PURPOSES CONTAINED IN DEEDS RECORDED IN DEED BOOK 885, PAGE 390; DEED BOOK 855, PAGE 326; DEED BOOK 928, PAGE 179; DEED BOOK 1005, PAGE 55; O.R. BOOK 886, PAGE 945 O.R. BOOK 886, PAGE 943; O.R. BOOK 826, PAGE 294; O.R. BOOK 1753, PAGE 1622; O.R. BOOK 10233, PAGE 945; O.R. BOOK 10206, PAGE 1311; O.R. BOOK 10206, PAGE 1319 AND O.R. BOOK 22291, PAGE 923, AS AFFECTED BY EASEMENT RELEASE AND TERMINATION AGREEMENT RECORDED IN O.R. BOOK 26749, PAGE 991, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (OKLAHAWA AVENUE NOW KNOWN AS RED TRAIL BY RESOLUTION NO. R-2008-2079 RECORDED IN O.R. BOOK 27993, PAGE 919 - EASEMENT PARCEL)

APPLICABLE AND PLOTTED

11. GRANT OF EASEMENT IN FAVOR OF PALM BEACH COUNTY REGARDING WATER AND/OR SEWER FACILITIES RECORDED IN O.R. BOOK 8603, PAGE 396, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 6)

APPLICABLE NOT PLOTTABLE

12. GRANT OF EASEMENT IN FAVOR OF PALM BEACH COUNTY REGARDING WATER AND/OR SEWER FACILITIES RECORDED IN O.R. BOOK 7123, PAGE 82, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 13)

APPLICABLE AND PLOTTED

13. GRANT OF EASEMENT IN FAVOR OF PALM BEACH COUNTY REGARDING WATER AND/OR SEWER FACILITIES RECORDED IN O.R. BOOK 7123, PAGE 241, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 14)

APPLICABLE AND PLOTTED

14. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY RECORDED IN O.R. BOOK 22441, PAGE 274, CONSENT AND SUBORDINATION AGREEMENT RECORDED IN O.R. BOOK 22029, PAGE 680, AND AS AFFECTED BY INDEMNITY AGREEMENT (ENCROACHMENT) RECORDED IN O.R. BOOK 22941, PAGE 1676 AND PARTIAL RELEASES OF UTILITY EASEMENT RECORDED IN O.R. BOOK 26544, PAGE 1932 AND O.R. BOOK 30089, PAGE 477, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (ALL PARCELS)

APPLICABLE AND PLOTTED

15. EASEMENTS IN FAVOR OF BELLSOUTH TELECOMMUNICATIONS, INC. DB/A AT&T FLORIDA RECORDED IN O.R. BOOK 22807, PAGE 1191 AND O.R. BOOK 22807, PAGE 1195, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 14)

APPLICABLE AND PLOTTED

16. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 22858, PAGE 1503, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCELS 1 THROUGH 6, 11, 13 AND HANCOCK)

APPLICABLE AND PLOTTED

17. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY REGARDING WATER/WASTEWATER RECORDED IN O.R. BOOK 22880, PAGE 596, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 11)

APPLICABLE AND PLOTTED

18. EASEMENT TO FLORIDA POWER AND LIGHT COMPANY RECORDED IN O.R. BOOK 22889, PAGE 978, AS AFFECTED BY PARTIAL RELEASE OF EASEMENT RECORDED IN O.R. BOOK 26516, PAGE 317, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCELS 1 THROUGH 6, 11, 13 AND HANCOCK)

APPLICABLE AND PLOTTED

19. TERMS AND CONDITIONS CONTAINED IN DRAINAGE EASEMENT RECORDED IN O.R. BOOK 26408, PAGE 1590, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE AND PLOTTED

20. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY RECORDED IN O.R. BOOK 26903, PAGE 173, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 14)

APPLICABLE AND PLOTTED

21. RECIPROCAL CROSS-ACCESS AND PARKING EASEMENT AGREEMENT RECORDED IN O.R. BOOK 27101, PAGE 1866, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE NOT PLOTTABLE

22. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY RECORDED IN O.R. BOOK 29239, PAGE 382, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 2)

APPLICABLE AND PLOTTED

23. REMOVAL AGREEMENT FOR FUTURE RIGHT-OF-WAY RECORDED IN O.R. BOOK 2604, PAGE 1108, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCEL 1)

APPLICABLE NOT PLOTTABLE

24. DECLARATION OF RESTRICTIONS RECORDED IN O.R. BOOK 3553, PAGE 1824, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (PARCELS 1 THROUGH 5)

APPLICABLE NOT PLOTTABLE

25. STANDARD POTABLE WATER AND WASTEWATER DEVELOPMENT AGREEMENT BY AND BETWEEN PALM BEACH COUNTY AND OKEE PROPERTY WEST, LLC AND OKEE PROPERTY EAST, LLC RECORDED IN O.R. BOOK 21931, PAGE 1265, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (ALL PARCELS)

APPLICABLE NOT PLOTTABLE

26. AFFIDAVIT OF WAIVER RECORDED IN O.R. BOOK 22461, PAGE 33, AND OWNERS AFFIDAVIT AND COVENANT RECORDED IN O.R. BOOK 22461, PAGE 52, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, (ALL PARCELS)

APPLICABLE NOT PLOTTABLE

27. SUBJECT TO THE RIGHT OF WAY OF OKEECHOBEE ROAD AS NOW LAID OUT AND IN USE, AND ALL MATTERS CONTAINED ON THE ROAD PLAT REGARDING OKEECHOBEE BOULEVARD FILED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION ON JULY 19, 1999, IN ROAD PLAT BOOK 9, PAGE(S) 57, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE NOT PLOTTABLE

28. SUBJECT TO THE RIGHT OF USE IN THE EASEMENT PARCEL BY MERCHANT MANAGEMENT, INC., A FLORIDA CORPORATION AND JEAN C. MERCHANT AND SHARON J. MERCHANT, TRUSTEE OF THE MERLE W. MERCHANT TERMINABLE TRUST, UAD 11/19/90 OWNERS OF THE PROPERTY LYING BETWEEN PARCELS 13 AND 14 BY DEEDS RECORDED IN O.R. BOOK 22926, PAGE 1234 AND O.R. BOOK 23850, PAGE 1033, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE AND PLOTTED

PALM BEACH MARKET PLACE (TRACT II)

REVIEW OF TITLE SEARCH REPORT PREPARED BY OLD REPUBLIC TITLE INSURANCE COMPANY FILE #24127948 DATED NOVEMBER 20, 2024. SCHEDULE B SECTION 2.

THE FOLLOWING STANDARD EXCEPTIONS SHOULD BE MADE A PART OF ANY COMMITMENT, UNLESS EVIDENCE IS PRESENTED WHICH WOULD ELIMINATE THE NEED FOR SAME:

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.

APPLICABLE NOT PLOTTABLE

2. FACTS WHICH WOULD BE DISCLOSED BY AN ACCURATE AND COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED.

APPLICABLE NOT PLOTTABLE

3. RIGHTS OF CLAIMS OF PARTIES IN POSSESSION.

APPLICABLE NOT PLOTTABLE

4. CONSTRUCTION, MECHANIC'S, CONTRACTORS' OR MATERIALMEN'S LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD.

APPLICABLE NOT PLOTTABLE

5. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS.

APPLICABLE NOT PLOTTABLE

6. ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LANDS INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED, AND ARTIFICIALLY EXPOSED LANDS AND LANDS ACCRETED TO SUCH LANDS.

APPLICABLE NOT PLOTTABLE

7. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2024 AND SUBSEQUENT YEARS.

APPLICABLE NOT PLOTTABLE

EASEMENTS, RESTRICTIONS AND OTHER MATTERS AFFECTING TITLE SEARCHED:

8. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CH. 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY.

APPLICABLE NOT PLOTTABLE

9. RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION, AND ANY PARTIES CLAIMING, BY THROUGH OR UNDER SAID TENANTS OR PARTIES IN POSSESSION, AS TO ANY UNRECORDED LEASES OR RENTAL AGREEMENTS.

APPLICABLE NOT PLOTTABLE

10. ALL MATTERS CONTAINED ON THE PLAT OF SMITHVIEW, AS RECORDED IN PLAT BOOK 23, PAGE 112.

APPLICABLE AND PLOTTED

11. RESERVATION OF RIGHTS-OF-WAYS FOR DRAINAGE CANALS CONTAINED IN WARRANTY DEED RECORDED IN DEED BOOK 677, PAGE 510.

APPLICABLE NOT PLOTTABLE

12. RESOLUTION FIXING SETBACK REQUIREMENTS FOR BUILDINGS AND IMPROVEMENT ALONG STATE ROAD 704 (OKEECHOBEE BOULEVARD) RECORDED IN DEED BOOK 1118, PAGE 443.

APPLICABLE NOT PLOTTABLE

13. TERMS AND CONDITIONS CONTAINED IN DRAINAGE EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4830, PAGE 1032. **APPLICABLE AND PLOTTED.**

14. TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4830, PAGE 1040.

APPLICABLE NOT PLOTTABLE

15. TERMS AND CONDITIONS CONTAINED IN DRAINAGE EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4830, PAGE 1048. **APPLICABLE AND PLOTTED.**

APPLICABLE AND PLOTTED

16. UTILITY EASEMENT RECORDED IN OFFICIAL RECORD BOOK 5320, PAGE 1883, AS AFFECTED BY PALM BEACH COUNTY REMOVAL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 26504, PAGE 431.

APPLICABLE AND PLOTTED

17. RECIPROCAL CROSS-ACCESS AND PARKING EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 27101, PAGE 1866. **APPLICABLE NOT PLOTTABLE**

18. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY RECORDED IN OFFICIAL RECORDS BOOK 29239, PAGE 395.

APPLICABLE AND PLOTTED

19. UNDERGROUND EASEMENT (BUSINESS) IN FAVOR OF FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 33666, PAGE 526.

APPLICABLE AND PLOTTED

20. UNITY OF TITLE RECORDED IN OFFICIAL RECORDS BOOK 5246, PAGE 1058.

APPLICABLE NOT PLOTTABLE

21. UNITY OF CONTROL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6148, PAGE 299, AS AFFECTED BY TERMINATION OF UNITY OF CONTROL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 28885, PAGE 1565. NOTE: COUNTY ENGINEERS OFFICIAL OF PALM BEACH COUNTY DID NOT EXECUTE THE TERMINATION.

APPLICABLE NOT PLOTTABLE

22. UNITY OF CONTROL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6167, PAGE 493.

APPLICABLE NOT PLOTTABLE

1880 OKEECHOBEE BLVD. (TRACT III)

REVIEW OF TITLE SEARCH REPORT PREPARED BY OLD REPUBLIC TITLE INSURANCE COMPANY FILE #24128067 DATED NOVEMBER 20, 2024. SCHEDULE B SECTION 2.

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.

APPLICABLE NOT PLOTTABLE

2. FACTS WHICH WOULD BE DISCLOSED BY AN ACCURATE AND COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED.

APPLICABLE NOT PLOTTABLE

3. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION.

APPLICABLE NOT PLOTTABLE

4. CONSTRUCTION, MECHANIC'S, CONTRACTORS' OR MATERIALMEN'S LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD.

APPLICABLE NOT PLOTTABLE

5. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS.

APPLICABLE NOT PLOTTABLE

6. ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LANDS INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED, AND ARTIFICIALLY EXPOSED LANDS AND LANDS ACCRETED TO SUCH LANDS.

APPLICABLE NOT PLOTTABLE

7. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2025 AND SUBSEQUENT YEARS.

APPLICABLE NOT PLOTTABLE

EASEMENTS, RESTRICTIONS AND OTHER MATTERS AFFECTING TITLE SEARCHED:

8. UNITY OF CONTROL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6148, PAGE 299, AS AFFECTED BY TERMINATION OF UNITY OF CONTROL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 28885, PAGE 1565. OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. NOTE: COUNTY ENGINEERS OFFICE OF PALM BEACH COUNTY DID NOT EXECUTE THE TERMINATION.

APPLICABLE NOT PLOTTABLE

9. UNITY OF CONTROL AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6167, PAGE 493, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE NOT PLOTTABLE

10. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY RECORDED IN OFFICIAL RECORDS BOOK 22473, PAGE 1549, AS AFFECTED BY PARTIAL RELEASE OF UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 30089, PAGE 469, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE AND PLOTTED

11. UTILITY EASEMENT IN FAVOR OF PALM BEACH COUNTY RECORDED IN OFFICIAL RECORDS BOOK 29239, PAGE 367, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

APPLICABLE AND PLOTTED

12. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CH. 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY.

APPLICABLE NOT PLOTTABLE

13. RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES.

APPLICABLE NOT PLOTTABLE

PARCEL A (1950 OKEECHOBEE BLVD.)

REVIEW OF TITLE SEARCH REPORT PREPARED BY OLD REPUBLIC TITLE INSURANCE COMPANY FILE #15793324 DATED DECEMBER 3, 2024. SCHEDULE B SECTION 2.

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.

APPLICABLE NOT PLOTTED

2. FACTS WHICH WOULD BE DISCLOSED BY AN ACCURATE AND COMPREHENSIVE SURVEY OF THE PREMISES HEREIN DESCRIBED.

APPLICABLE NOT PLOTTED

3. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION.

APPLICABLE NOT PLOTTED

4. CONSTRUCTION, MECHANIC'S, CONTRACTORS' OR MATERIALMEN'S LIEN CLAIMS, IF ANY, WHERE NO NOTICE THEREOF APPEARS OF RECORD.

APPLICABLE NOT PLOTTED

5. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS.

APPLICABLE NOT PLOTTED

6. ANY ADVERSE OWNERSHIP CLAIM BY THE STATE OF FLORIDA BY RIGHT OF SOVEREIGNTY TO ANY PORTION OF THE LANDS INSURED HEREUNDER, INCLUDING SUBMERGED, FILLED, AND ARTIFICIALLY EXPOSED LANDS AND LANDS ACCRETED TO SUCH LANDS.

APPLICABLE NOT PLOTTED

7. GENERAL OR SPECIAL TAXES AND ASSESSMENTS REQUIRED TO BE PAID IN THE YEAR 2024 AND SUBSEQUENT YEARS.

APPLICABLE NOT PLOTTED

EASEMENTS, RESTRICTIONS AND OTHER MATTERS AFFECTING TITLE SEARCHED:

8. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CH. 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY.

APPLICABLE NOT PLOTTED

9. RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION, AND ANY PARTIES CLAIMING, BY THROUGH OR UNDER SAID TENANTS OR PARTIES IN POSSESSION, AS TO ANY UNRECORDED LEASES OR RENTAL AGREEMENTS.

APPLICABLE NOT PLOTTED

10. ALL MATTERS CONTAINED ON THE PLAT OF SMITHVIEW, AS RECORDED IN PLAT BOOK 23, PAGE 112.

APPLICABLE NOT PLOTTED

11. RESOLUTION FIXING SETBACK REQUIREMENTS ALONG STATE ROAD 704 (OKEECHOBEE ROAD) RECORDED IN DEED BOOK 1118, PAGE 443.

APPLICABLE NOT PLOTTED

12. DRAINAGE EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 4485, PAGE 562.

APPLICABLE AND PLOTTED

13. TERMS AND CONDITIONS CONTAINED IN MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 9391, PAGE 1679, AS AFFECTED BY INSTRUMENT RECORDED IN OFFICIAL RECORDS BOOK 9391, PAGE 1770.

APPLICABLE NOT PLOTTED

14. TERMS, CONDITIONS AND RESTRICTIONS CONTAINED IN SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 25938, PAGE 298.

APPLICABLE NOT PLOTTED

15. COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 4262, PAGE 1522.

APPLICABLE NOT PLOTTED

PARCEL B (1960 OKEECHOBEE BLVD.)

REVIEW OF TITLE SEARCH REPORT PREPARED BY ATTORNEYS' TITLE FUND SERVICES, INC. FILE #15793324 DATED OCTOBER 23, 2024.

1. NO EXCEPTIONS.

PARCEL C (1934 CHURCH ST.)

REVIEW OF TITLE COMMITMENT PREPARED BY WFG NATIONAL TITLE INSURANCE COMPANY COMMITMENT #2424731FL-A DATED OCTOBER 24, 2024. SCHEDULE B SECTION 2.

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.

APPLICABLE - NOT PLOTTABLE

2. ANY RIGHTS, INTERESTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.

APPLICABLE - NOT PLOTTABLE

3. EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORDS.

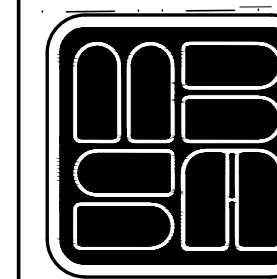
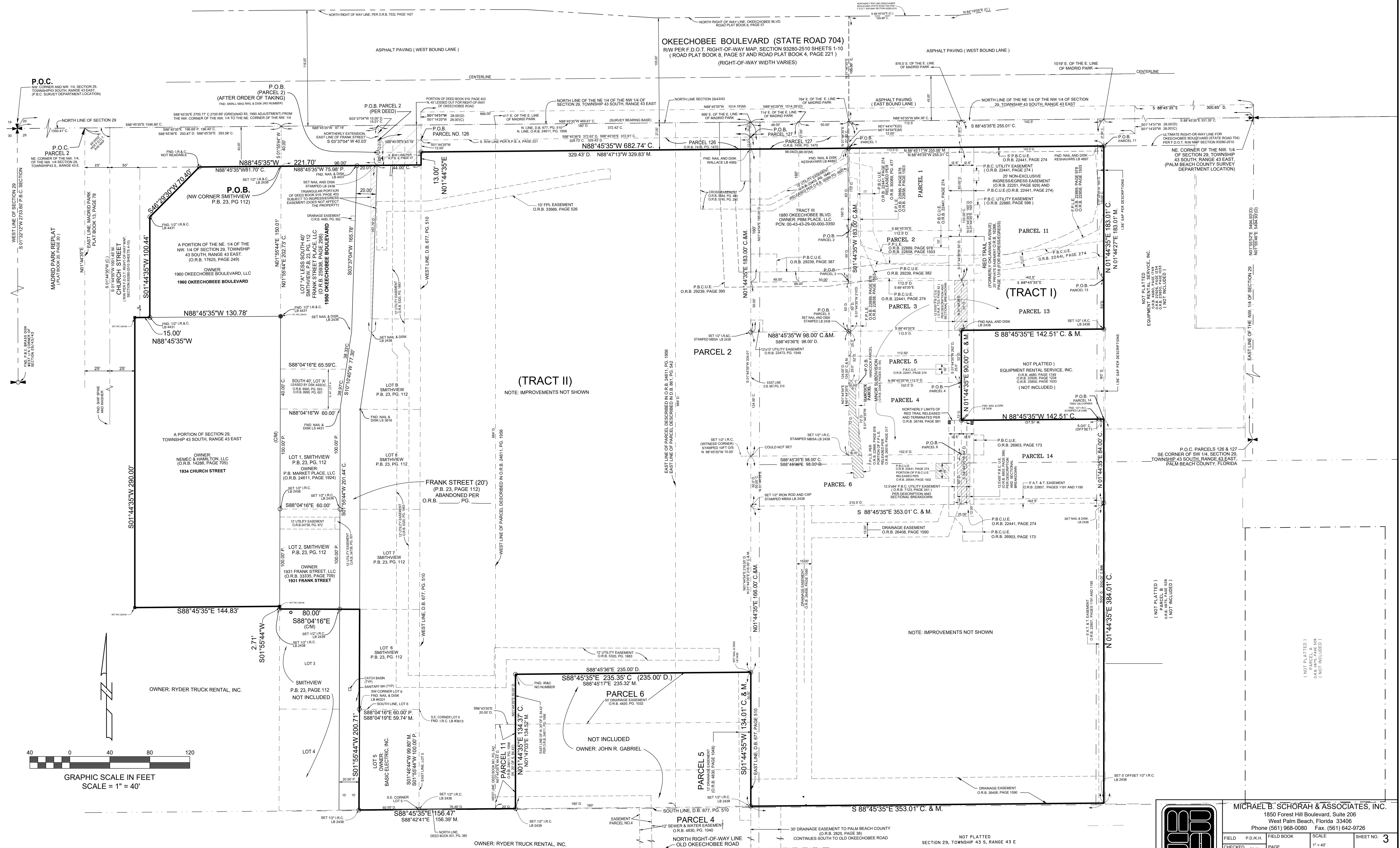
APPLICABLE - NOT PLOTTABLE

4. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, THE TERM ENCROACHMENT INCLUDES ENCROACHMENTS OF EXISTING IMPROVEMENTS LOCATED ON THE LAND ONTO ADJOINING LAND, AND ENCROACHMENTS ON THE LAND OF EXISTING IMPROVEMENTS LOCATED ON ADJOINING LAND.

APPLICABLE - NOT PLOTTABLE

5. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, MATERIALS OR EQUIPMENT IN CONNECTION WITH IMPROVEMENTS, REPAIRS OR RENOVATIONS PROVIDED BEFORE, ON, OR AFTER DATE OF POLICY AND NOT SHOWN BY THE PUBLIC RECORDS AT DATE OF POLICY.

APPLICABLE - NOT PLOTTABLE



MICHAEL B. SCHORAH & ASSOCIATES, INC.
1850 Forest Hill Boulevard, Suite 206
West Palm Beach, Florida 33406
Phone (561) 968-0080 Fax (561) 642-9726

FIELD	P.D./K.H.	FIELD BOOK	SCALE	SHEET NO.
CHECKED	M.J.L.	PAGE	1" = 40'	3
DRAWN	R.A.B.	CADD FILE	DATE	
		1866 BOY OKEE	COR. OVERALL	
		APRIL 2024		

BOUNDARY SURVEY
PALM BEACH MARKETPLACE MUPD

LB # 2438
FILE NO.
1866

NO.	BY	DATE	REVISIONS
1	DJC	12/20/2024	UPDATE BOUNDARY PER PBC COMMENTS

DRAINAGE STATEMENT**FOR****PALM BEACH
MARKETPLACE MUPD****October 21, 2024****Prepared by:****Michael B. Schorah and Associates,
Inc.****1850 Forest Hill Blvd., Suite
206 West Palm Beach, Florida
33406 (561) 968-0080
EB#2438****Digitally signed
by Michael J
LaCoursiere
Date:****2024.10.21
10:28:13 -04'00'**

**Michael J. LaCoursiere, P.E.
Florida Registration No. 41071
for Michael B. Schorah and Associates, Inc.**

Date

Introduction

The current application for Palm Beach Marketplace MUPD considers the addition of lands westward of the current planned development approved by DRO exhibit # 96, dated April 8, 2015 with “ZAR” amendments. These lands are better identified as Frank Street, 1950 Okeechobee Blvd (Nick’s To Go), 1931 Frank Street (undeveloped), 1926 Frank Street (Basic Electric), 1960 Okeechobee Blvd. (Cricket Cellular), and 1934 Church Street (Maaco Auto Painting). The addition of these new lands and their proposed uses increases the total area of the MUPD to 12.39 acres. The following statement addresses these “additional” properties.

A drainage statement addressing the current Palm Beach Marketplace MUPD was previously submitted, reviewed, and approved by DRO. It is attached and made part of this statement. We note that the drainage conditions and two points of legal positive outfall (one each for the original Palm Beach Marketplace and Okeechobee Place developments that were combined to form the current MUPD) have not changed. Both systems access the existing Palm Beach County drainage ditch located adjacent to the “hotel” portion of the MUPD. Recording information of the off-site drainage ditch and any easement utilized to access the ditch are presented in the “old” statement referenced above.

Please see attached a Drainage Statement Exhibit A that will provide context and relationship of properties. All properties within the “red” limits will be part of the proposed MUPD limits.

Frank Street

Frank Street was dedicated to the public via the plat of Smithview (PB 23 PG 112) public records of Palm Beach County. The existing 20’ paved street provides access to the Smithview lots, most of which will now fall within the limits of the proposed MUPD expansion through a concurrent

abandonment process. The roadway has an “inverted crown” section with inlets located in the road centerline. These inlets are connected to a run of subsurface drainage pipes that connect to the existing Palm Beach Marketplace drainage system with outfall to the Palm Beach County drainage ditch. We currently expect that this drainage system will continue to function in its current capacity.

1926 (Basic Electric), 1931 (undeveloped), and 1950 (Nick’s To Go) Frank Street

These three properties lie adjacent to Frank Street and were separate portions of the Smithview plat. Currently, stormwater runoff exits these sites into Frank Street and discharges as described above.

The proposed site plan modifications present parking improvements at the 1926 Church Street parcel. Drainage improvements for this area will be addressed through treatment and connection to the existing MUPD system with outfall at the above-mentioned Palm Beach County drainage ditch. The other two parcels, 1931 and 1950 Frank Street, will become a part of a new system to and address drainage in a similar manner.

1960 Okeechobee Blvd. (Cricket Cellular) and 1934 Church Street (Maaco)

These two properties lie, generally, at the southeast corner of Okeechobee Blvd. and Church Street in the westernmost reaches of the proposed MUPD expansion. The properties make up most of the area proposed to incorporate and serve proposed Buildings A and B. Currently, these two properties collect and attenuate stormwater runoff prior to discharging into Church Street right-of-way. It is proposed that a new subsurface storage system can be developed to serve this area prior to discharging the site. Post development allowable discharge will be determined to be an amount equal to or less than the pre-development discharge volume.

These two properties have the opportunity for two possible routes for legal positive outfall: Church Street or the Palm Beach County drainage ditch via Frank Street and the current Palm Beach Marketplace system. The final system may also incorporate both. Any system designed to utilize Church Street will have to comply with Section 600 of the Palm Beach County Engineering Department's Land Development Standards Manual for drainage connection to a Palm Beach County right-of-way. Alternative routing to the Palm Beach County Drainage Ditch will either be through the existing Frank Street/PBMP piping system or through a second, newly constructed piped connection.

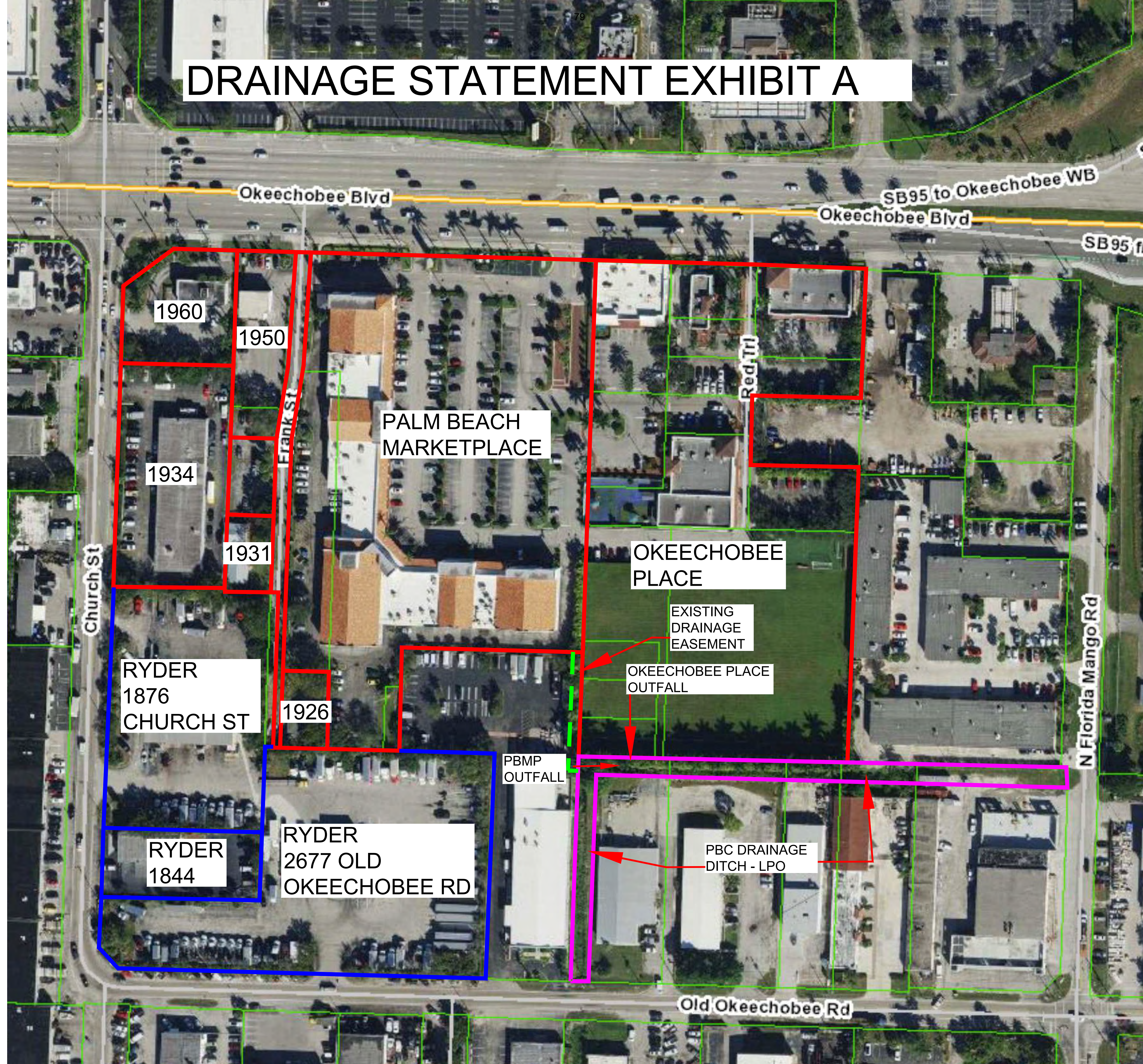
Buildings A and B finished floors will need to be protected from the 100-year 3-day, zero discharge storm event. Basin perimeter grades shall contain the 25-year 3-day storm event on site and the parking lots shall be protected from the 5-year 1-day storm event.

Review of Adjacent Properties

The proposed added parcels at 1960 Okeechobee Blvd., and 1934 Church Street are bordered on the north by Okeechobee Blvd. and on the west by Church Street. Both roadway facilities have their own drainage system and flow from these roads does not come into the site. The east side is a continuation of the proposed MUPD expansion and is internal to the project. On the south side lies Ryder Truck property located at 1876 Church Street. This site lies also lies lower and is separated by a short retaining wall. Accordingly, no off-site stormwater flow is contributed to the proposed MUPD expansion across this shared boundary.

A second Ryder Truck property located at 2677 Old Okeechobee Road lies adjacent to properties at 1926 and 1931 Frank Street. Although grades are similar, in each case there is a low perimeter berm on the proposed MUPD property that prevents any offsite flow from the truck service site. No off-site stormwater flow is contributed to the proposed MUPD expansion across these two shared boundaries.

DRAINAGE STATEMENT EXHIBIT A



Drainage Statement
For
PALM BEACH MARKETPLACE MUPD
Palm Beach County, Florida

June 16, 2014



Prepared by:

Michael B. Schorah and Associates, Inc.
1850 Forest Hill Blvd., Suite 206
West Palm Beach, Florida 33406
(561) 968-0080



This drainage statement is prepared as a support document required by Palm Beach County for applications to DRO. The application to DRO consists of a request to establish a MUPD combining neighboring properties including Palm Beach Marketplace , Okeechobee Place, and a third parcel (Open Field) lying south of Okeechobee Place. Each of the three subject parcels are addressed below:

Palm Beach Marketplace

Palm Beach Marketplace (Tract D on survey) is an existing commercial facility constructed in the 1980's. The existing drainage system is comprised of twenty on-site drainage inlets that collect stormwater runoff and direct it to a subsurface exfiltration trench system. This system has approximately 1972 linear feet of exfiltration trench that provides both water quality treatment and storage capacity. Discharge from the site is through an existing 18-inch diameter pipe connected to a type "C" inlet. This inlet works as a control structure and discharge from this structure to downstream conveyance is through "bubble-up" flow. The existing pipe and inlet are located in an easement (ORB 4830 PG 1048 – see attached). The receiving water is a Palm Beach County drainage ditch established in ORB 2825 PG 38 (see attached). This ditch connects to the L-2/Stub Canal system and is the point of legal positive outfall.

The proposed MUPD site plan considers an increase in total building coverage though expansion of Building #5. Accommodation of net site storage lost due to expanded floor space, associated reduction in green space, and removal of conflicting exfiltration trench can be addressed through installation of new exfiltration trench constructed as part of the necessary parking lot reconfiguration. This accommodation is based upon an

understanding that the current site was permitted by Palm Beach County and that only equal replacement of lost storage created by the proposed Building 5 expansion is necessary for permitting. Vis-à-vis, the entire site does not require re-analysis.

Okeechobee Place

Okeechobee Place (Tract B on survey) is an existing commercial facility constructed in the late 2000's that recently received DRO approval for expansion to Building #8. The MUPD plan shows this previously approved expansion. The existing drainage system is comprised of sixteen on-site drainage inlets that collect stormwater runoff and directs it south into a detention area for stormwater attenuation and water quality treatment. The detention area is located on an Open Field tract lying to the south. Discharge from the detention area is through an existing control structure and 30-inch diameter pipe into a drainage ditch established in ORB 2825 Pg 38. This ditch connects to the L-2/Stub Canal system and is the point of legal positive outfall.

Open Field

The existing open field (Tract C on survey) located south of Okeechobee Place. The site contains the detention area utilized by Okeechobee Place. Currently, runoff from the open field is directed overland to the detention area or to yard-drain style inlets located near the parcel interface with Okeechobee Place. Like the Okeechobee Place parcel, the point of legal positive outfall is the L-2/Stub canal system. The proposed MUPD plan considers addition of a hotel and attendant parking/drives. The hotel-related improvements consider a re-configuration of the existing dry detention area. The re-configured detention area will incorporate side slopes as approved via Variance ZR-2014-018 approved on April 3, 2014. The detention area will be enclosed with a fence consistent with the variance approval. The proposed detention area, combined with

additional sub-parking exfiltration systems, will attenuate and treat relevant storm events (5-yr 1-day, 10-yr 3-day, 25-yr 3-day, and 100-yr 3-day) and provide protection for both the hotel and existing Okeechobee Place structures and parking. The Tract B (Okeechobee Place) and Tract C (Open Field) systems will be combined into one with project discharge and legal positive outfall through the same route as above-outlined for Okeechobee Place.

DRAINAGE EASEMENT AGREEMENT

THIS AGREEMENT made and entered into this 26 day of MARCH, 1986, by and between DSK ASSOCIATES, a Florida General Partnership, [hereinafter referred to at times as "GRANTEE"], R.W. FARMER SUPPLY CO., INC., a Florida corporation, (hereinafter referred to at times as "SUPPLY CO.") and FERGUSON ENTERPRISES, INC., a Virginia corporation, (hereinafter referred to as "FERGUSON") [SUPPLY CO. and FERGUSON being collectively hereinafter referred to as "GRANTORS"],

WITNESSETH:

WHEREAS, GRANTEE is the owner or will be the owner of certain real property located in Palm Beach County, Florida, (hereinafter referred to as "PARCEL 'A'"), which real property is more particularly described as Exhibit "A" attached hereto and made a part hereof; and

WHEREAS, SUPPLY CO. is the owner of certain real property located in Palm Beach County, Florida, which is south of PARCEL "A" (hereinafter referred to as "PARCEL 'B'"), which real property is more particularly described on Exhibit "B" attached hereto and made a part hereof; and

WHEREAS, FERGUSON has a contract with SUPPLY CO. to purchase PARCEL "B", and has interests therein; and

WHEREAS, GRANTEE requires certain easements for drainage purposes in, on, over, across and under PARCEL "B" in connection with its ownership and development of PARCEL "A"; and

WHEREAS, to the extent of their respective interests therein, GRANTORS have agreed to give to GRANTEE and GRANTEE has agreed to accept certain easements in, on, over, across and under PARCEL "B", for the purposes and in the manner hereinafter set forth.

NOW, THEREFORE, in consideration of the sum of TEN DOLLARS (\$10.00), the receipt of which is hereby acknowledged, and the mutual promises contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, and the mutual promises contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto covenant and agree as follows:

1. The foregoing recitals are true and correct and are made a part hereof.

2. SUPPLY CO. hereby grants unto GRANTEE a perpetual, non-exclusive easement and right-of-way in, on, over, across and under a portion of PARCEL "B" (hereinafter referred to as the "PARCEL B Drainage Easement Area"), which PARCEL B Drainage Easement Area is

Notary Public for the State of Florida
 Notary Public for the State of Florida
 Notary Public for the State of Florida

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more particularly described on Exhibit "C" attached hereto and made a part hereof.

3. To the extent of FERGUSON's existing or future interests in PARCEL "B" and PARCEL B Drainage Easement Area, FERGUSON hereby grants, acknowledges, consents to and joins in the easements and rights-of-way granted to GRANTEE hereunder.

4. The easements and rights-of-way herein granted shall be for the purpose of constructing, installing, operating, repairing, and maintaining a pipeline to connect with and drain into that certain existing public drainage easement along the eastern border of GRANTORS' property, such public drainage easement having been created by that certain instrument dated the 13th day of December, 1977, and recorded in Official Record Book 2825, Page 38, of the Public Records of Palm Beach County, Florida.

5. In connection with any and all improvements required or permitted to be constructed by GRANTEES upon and of GRANTORS' property, GRANTEES shall:

- a. Construct all such improvements with good workmanship;
- b. comply with all laws, ordinances, rules and regulations applicable to the construction of such improvements;
- c. Keep all property free and clear of mechanic's liens resulting from construction of such improvements done by or for GRANTEES;
- d. Complete all construction within twenty (20) days of commencing construction;
- e. Restore GRANTORS' property to its original condition.

6. GRANTORS represent and warrant that there are no liens or encumbrances upon the PARCEL B Drainage Easement Area and that they have the necessary rights and authority to enter into this Agreement.

7. This Agreement shall be appurtenant to the various lands affected hereby and shall be binding upon and assure to the benefit of the parties hereto and their respective successors, assigns, tenants, customers, and invitees.

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8. The parties hereto agree to execute, upon reasonable request of any of the other parties, any further documents which may be necessary to effectuate the purposes set forth herein.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first above written.

WITNESSES:

GRANTORS:

R.W. FARMER SUPPLY CO., INC.
a Florida corporation

By: David L. Peeble

FERGIESSON ENTERPRISES, INC.
a Virginia corporation

By: David L. Peeble

GRANTEES:

DSK ASSOCIATES, a Florida General Partnership
By: D.R. ASSOCIATES, a Florida

General Partnership

By: STEVEN RHODES

General Partner

and
DENHOLTZ ASSOCIATES, a New Jersey
General Partnership

By: STEVEN DENHOLTZ

General Partner

STATE OF ~~Florida~~ Virginia
COUNTY OF ~~DADE~~ City of Newport News

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared David L. Peeble as President of R.W. FARMER SUPPLY CO., INC., to me known to be the person described in and who executed the foregoing instrument in that capacity and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 15th day of November, 1985.

Paulina J. Stevens
NOTARY PUBLIC

My commission expires:
April 18, 1987

84830 P1050

STATE OF FLORIDA Virginia
COUNTY OF PALM BEACH City of Newport News

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared David L. Peebles as President of FERGUSON ENTERPRISES, INC., to me known to be the person described in and who executed the foregoing instrument in that capacity and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 15th day of November, 1985.

Barbara J. Stevens
NOTARY PUBLIC

My commission expires:

April 18, 1987

STATE OF NEW JERSEY
COUNTY OF UNION

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared STEVEN DENHOLTZ of DENHOLTZ ASSOCIATES, P.A. ASSOCIATES, to me known to be the person described in and who executed the foregoing instrument in that capacity and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 21st day of March, 1986.

Maria Tirkowicz
NOTARY PUBLIC

My commission expires:

MARIA TIRKOWICZ

A Notary Public of New Jersey

My Commission Expires July 21, 1987

STATE OF FLORIDA
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared STEVEN RHODES as General Partner of D.R. ASSOCIATES, to me known to be the person described in and who executed the foregoing instrument in that capacity and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 26th day of March, 1986.

Marie C. Cox
NOTARY PUBLIC

My commission expires:

Marie C. Cox
Notary Public, State of Florida

My Commission Expires Feb. 21, 1988

Resided 1100 2nd Ave. S.W. - Jacksonville, Fla.

THIS INSTRUMENT PREPARED BY
CONRAD EDAMON, ESQ.
COHEN, SCHERER AND COHN, P.A.
712 US HWY. ONE
NORTH PALM BEACH, FL 33409

8430 P1051

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL 1: Lot 1, SMITHVIEW, Palm Beach County, Florida, according to the plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 23, page 112.

PARCEL 2: Lot 8, SMITHVIEW, Palm Beach County, Florida, according to the plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 23, page 112.

PARCEL 3: Lot 9, SMITHVIEW, Palm Beach County, Florida, according to the plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 23, page 112.

PARCEL 4: A parcel of land in the Northeast One-Quarter (NE $\frac{1}{4}$) of the Northwest One-Quarter (NW $\frac{1}{4}$) of Section 29, Township 43 South, Range 43 East, more particularly described as follows:

From the Northwest corner of the Northeast One-Quarter (NE $\frac{1}{4}$) of the Northwest One-Quarter (NW $\frac{1}{4}$) of said Section 29, run Easterly along the North line of said Section 29, a distance of 411.00 feet to the point of beginning; thence run Southerly, parallel to the West line of the Northeast One-Quarter (NE $\frac{1}{4}$) of the Northwest One-Quarter (NW $\frac{1}{4}$) of said Section 29, a distance of 268.00 feet; thence run Westerly along a line parallel to the North line of Section 29, a distance of 74.00 feet; thence run Northerly along a line parallel to the East line of West One-Half (W $\frac{1}{2}$) of Section 29, a distance of 74.00 feet; thence run Westerly along a line parallel to the North line of Section 29, a distance of 49.96 feet, more or less, to a point in the Easterly right-of-way of Frank Street; thence run Northerly along said right-of-way of Frank Street, a distance of 194.16 feet, more or less, to a point in the North line of said Section 29; thence run Easterly along said North line of Section 29 to the point of beginning.

PARCEL 5: All that certain parcel of land and premises situate and being in the County of Palm Beach and State of Florida, more particularly described as follows:

A part of the Northeast One-Quarter (NE $\frac{1}{4}$) of the Northwest One-Quarter (NW $\frac{1}{4}$) of Section 29, Township 43 South, Range 43 East, described as follows:

Commencing at a point on the North line of said section that is 336.69 feet East of the Northeast corner of Madrid Park, running thence South along a line that is parallel with the East line of Madrid Park, a distance of 343 feet to a point which is the point of beginning of the tract herein conveyed, running thence South along a line that is parallel with the East line of Madrid Park, a distance of 75 feet; thence East along a line that is parallel with the North line of said section, a distance of 75 feet; thence North along a line that is parallel with the East line of Madrid Park, a distance of 75 feet; thence West along a line that is parallel with the North line of said section, a distance of 75 feet to the point of beginning.

And from the intersection of the East line of Madrid Park with the North line of Section 29, Township 43 South, Range 43 East, run East on said North line 336.69 feet; thence Southwardly parallel with the East line of the West One-Half (W $\frac{1}{2}$) of said section 268 feet to the point of beginning; thence Southwardly, parallel with said

250 P 1052

CONTINUED

Exhibit "A" cont.

East line of the West One-Half (W $\frac{1}{2}$) 75 feet; thence Eastwardly parallel with said North line of Section, 75 feet; thence Northwardly, parallel with said East line of the West One-Half (W $\frac{1}{2}$), 75 feet; thence Westwardly 75 feet to the Point of Beginning.

PARCEL 6: A parcel of land in the Northeast One-Quarter (NE $\frac{1}{4}$) of the Northwest One-Quarter (NW $\frac{1}{4}$) of Section 29, Township 43 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows:

From the intersection of the East line of Madrid Park, as recorded in Plat Book 13, page 78, in the Official Records of Palm Beach County, Florida, with the North line of said Section 29, run East on said North line 336.69 feet; thence Southwardly parallel with the East line of the West One-Half (W $\frac{1}{2}$) of said Section, 418 feet to the Point of Beginning; thence Southwardly, parallel with the East line of the West One-Half (W $\frac{1}{2}$), 75 feet; thence Eastwardly parallel with said North line of Section, 75 feet; thence Northwardly, parallel with said East line of the West One-Half (W $\frac{1}{2}$), 75 feet; thence Westwardly 75 feet to the Point of Beginning.

PARCEL 7: A part of the Northeast Quarter (NE $\frac{1}{4}$) of the Northwest Quarter (NW $\frac{1}{4}$) of Section 29, Township 43 South, Range 43 East, in Palm Beach County, Florida, bounded and described as follows:

Commencing at a point on the North line of said Section that is 336 feet East of the Northeast corner of Madrid Park, running thence South along a line that is parallel with and East line of said Madrid Park a distance of 568 feet to a point which is the point of beginning of the tract herein described, from said point of beginning run thence South along a line that is parallel with the East line of Madrid Park a distance of 116.5 feet; thence East along a line that is parallel with the North line of said section a distance of 75 feet; thence North along a line that is parallel with the East line of Madrid Park a distance of 116.7 feet; thence West along a line that is parallel with the North line of said section a distance of 75 feet to the Point of Beginning.

PARCEL 8: A parcel of land in Section 29, Township 43 South, Range 43 East, described as follows:

Beginning at a point on the North section line of said Section 29, 411 feet East of the East line of Madrid Park, a plat of which is recorded in Plat Book 13, page 78, Palm Beach County Records, where it adjoins the North section line of said section 29; thence running South parallel to the East line of Madrid Park, a distance of 600 feet; thence East parallel to the North line of said Section 29, a distance of 255 feet; thence North parallel to the East line of Madrid Park, a distance of 600 feet to the North section line; thence West along the North section line, a distance of 255 feet to the point of beginning. Excepting therefrom the right-of-way for the road known as Okaloobee Road and Less and except the South 50 feet of the East 255 feet of the above described property.

EXHIBIT "A" cont.

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EXHIBIT "B"

DESCRIPTION OF PARCEL I

A parcel of land in Section 29, Township 43 South, Range 43 East, in Palm Beach County, Florida, more particularly described as follows:

From a point which is 50 feet East of the East line of MADRID PARK (according to the Plat thereof recorded in Plat Book 12, page 21, Palm Beach County Records) and 734.78 feet South of the North line of Section 29, measured along a line which is parallel to the East line of MADRID PARK, run easterly along a line which is parallel to the North line of Section 29, a distance of 144.42 feet; thence run northerly along a line which is parallel to the East line of the Northeast 1/4 of said Section 29 a distance of 15 feet, more or less, to a point in the South line of that certain parcel which was conveyed to Virgil Lee Smith by a deed recorded in Deed Book 931, page 310, Palm Beach County Records; thence easterly along said South line a distance of 170 feet to a point which is 770.2 feet South of the North line of Section 29, measured along a line parallel to the East line of the Northwest 1/4 of Section 29, and the point of beginning of the parcel hereby described; from said point of beginning run southerly along said line which is parallel to the East line of the Northwest 1/4 of Section 29, a distance of 144.39 feet, more or less, to the North line of the 30 feet right of way for road as conveyed to the State of Florida by Deed recorded in Official Record Book 104, page 541; thence westerly along said right of way line a distance of 110 feet to the Southwest corner of a parcel conveyed to Ayler Truck Rentals, Inc. by Deed recorded in Official Record Book 104, page 541, thence North 0° 30' 30" East a distance of 206.71 feet, more or less, to the South line of the parcel which was conveyed by aforesaid Deed recorded in Deed Book 931, page 310; thence easterly along said South line a distance of 110 feet to the POINT OF BEGINNING.

REVISED DESCRIPTION OF PARCEL I

(Eliminate Flatus Wedge)

A parcel of land lying and being in Palm Beach County, Florida, more particularly described as follows:

The East 110 feet of the following described property:

Beginning at a point 684.71 feet South of the North line of Section 29, Township 43 South, Range 43 East, and 50 feet East of the East line of MADRID PARK, according to the Plat thereof recorded in the Office of the Clerk of the District Court of Palm Beach County, Florida; thence easterly assumed bearing of S00°30'30"W, along a line parallel with the East line of said MADRID PARK a distance of 65.55 feet, thence S89°57'50"E a distance of 614.42 feet to a point, said point being 770.20 feet South of the North line of said Section 29, measured along a line parallel with the East line of the West half of said Section 29; thence Northerly along said parallel line, a distance of 86.20 feet to a point in a line parallel with and 684.71 feet South of the North line of said Section 29; thence West a distance of 614.42 feet to the point of beginning.

DESCRIPTION OF PARCEL III

The south 20 feet of a parcel of land in Section 29, Township 43 South, Range 43 East, described as follows:

Beginning at a point on the North section line of said Section 29, 411.0 feet East of the East line of MADRID PARK, a plat of which is recorded in Plat Book 12, page 21, Palm Beach County Records, where it adjoins the North section line of said Section 29; thence running South parallel to the East line of MADRID PARK, a distance of 684 feet; thence East parallel to the North line of said Section 29, a distance of 155 feet; thence North parallel to the East line of MADRID PARK, a distance of 684 feet to the North section line; thence West along the North section line, a distance of 155 feet to the point of beginning, excepting therefrom the right-of-way for the road known as Alphonso Road and easement over the West 30 feet for road right-of-way as in Deed Book 101, page 542.

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RECORDER'S MEMO: Legibility of Writing, Typing or Printing unsatisfactory in this document when received.

EXHIBIT "B"

EXHIBIT "C"STORM DRAIN EASEMENTLEGAL DESCRIPTION

The following description describes a twelve foot (12 Ft.) easement for the purpose of constructing and maintaining a storm drain outfall over and across the following property:

Commencing at the point intersection of the North line of Section 29, Township 43 South, Range 43 East, Palm Beach County, Florida with the East line of MADRID PARK (according to the plat thereof recorded in Plat book 13, Page 78);

Thence Easterly along the North line of Section 29 a distance of 666.0 feet to a point of the East line of Lot 41 of the unrecorded T.A. Clarke subdivision;

Thence Southerly along the projection of said East line a distance of 550 feet to the Point of Beginning, said point being the Northeast corner of the R.W. Farmer parcel;

Thence continue Southerly along the east line of the R.W. Farmer parcel a distance of 148 feet;

Thence Westerly 12 feet;

Thence Northerly along a line 12 feet westerly of and parallel with the east line of the R.W. Farmer parcel a distance of 148 feet, to the South line of the Denholtz property;

Thence Easterly along said South line a distance of 12 feet to the Point of Beginning.

EXHIBIT "C"

RECORD VERIFIED
PALM BEACH COUNTY, FLA.
JOHN B. DUNKLE
CLERK CIRCUIT COURT

5501 D 0648

Palm Beach Marketplace

JUSTIFICATION STATEMENT

April 4, 2024

Revised June 18, 2024

Revised August 26, 2024

January 14, 2025

REQUEST

Palm Beach Marketplace LLC (the “Applicant”) is seeking Development Order Amendment (DOA) to reconfigure plans (site plan, regulating plan, and master sign plan), add land area (2.209 acres), and rezone the added land area (2.209 acres) from CG to MUPD. Additionally, the request also includes DRO Use of a Type 1 restaurant. The project is located within the boundaries of the Westgate Community Redevelopment (WCRA) neighborhood plan, specifically the UI subdistrict, and shall adhere to the guidelines outlined in the plan as well as the Land Development Regulations.

LOCATION

The property is 12.387 acres and is located on the south side of Okeechobee Boulevard approximately 0.1 miles west of Interstate 95 in unincorporated Palm Beach County, known as Palm Beach Marketplace. The site address is 1900 Okeechobee Blvd, West Palm Beach, FL 33409.

Existing PCN:

00-43-43-29-00-000-3380, 3690, 3700, 3350, 3850, 3370, 3400, 3930, 3480, 3450, 3410, 3920, 3390, 3420, 3440;

Rezoning parcels 2.209 AC (Added land area) PCN:

00-43-43-29-00-000-3340, 3341;

00-43-43-29-06-000-0091, 0092, 0010, 0020, 0050

APPROVALS

The subject property was most recently approved by the Board of County Commissioners (BCC) on April 8, 2015, per Resolutions R-2015-0002, 0003, 0004, 0005, 0006 and corresponding zoning variance approval, per ZR-2014-040. The Development Order Amendment approved addition of 4.33 acres of land to the PBMP site plan for a total of 10.18 acres and a rezoning to MUPD.

WESTGATE CRA

The applicant and Coteleur & Hearing have met with preliminary with the Westgate CRA district in the beginning of 2024 and during the summer of 2024. We will officially be submitting to the West CRA in February 2025.

REQUEST STANDARDS

ARTICLE 2 -----

Article 2.B.7.B.2, Standards

When considering a DO application for a Rezoning to a PDD or a TDD, the BCC or ZC shall utilize the Standards a through h indicated below.

a. Consistency with the Plan

The proposed use is consistent with the purposes, goals, objectives and policies in the Plan, including standards for densities, and intensities of use. [Ord. 2018-002]

RESPONSE: Rezoning The proposed reconfiguration and expansion of the Palm Beach Marketplace project to add 2.209 acres of land area and rezone from CG to MUPD aligns seamlessly with the Westgate Community Redevelopment (WCRA) neighborhood plan, particularly adhering to the UI (Urban Infill) subdistrict guidelines. This ensures that the development stays consistent with the plan's goals, objectives, and policies, including specified densities and intensities of use. By following these standards, the project demonstrates a commitment to responsible urban development while enhancing the community's vitality and sustainability.

Interconnectivity within the site is achieved through thoughtful site design including building orientation, drive aisles, and pedestrian designated walkways between uses. Interconnectivity with the site and the surrounding area has been achieved through the urban infill development of the 2.209 acres of underutilized area which has now been incorporated into the existing Palm Beach Marketplace Plan. Palm Beach Marketplace has proven to be a great addition to Okeechobee Blvd and the addition of the newly rezoned mixed-use area will only add to the continuity of the Okeechobee corridor. The preexisting plaza has become a staple for the people who frequent it regularly. It adds to the amenities needed within the neighboring area creating a more enhanced mix. The expanded site will now be even more accessible as access will now be improved through Church Street and Frank Street, offering different routes.

b. Consistency with the Code

The proposed use or amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code. [Ord. 2018-002]

RESPONSE: The proposed development, including its reconfiguration and expansion, seamlessly complies with all provisions of the Palm Beach County Land Development Regulations. Through meticulous planning, every aspect aligns with the code's purpose and intent, ensuring adherence to zoning and land use guidelines. This commitment to compliance

not only meets regulatory requirements but also reflects a dedication to responsible development practices, enhancing the community's overall quality of life.

c. Compatibility with Surrounding Uses

The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development. [Ord. 2007-001]

RESPONSE: The proposed changes epitomize compatibility with the surrounding land uses and character of the area. Through thorough analysis and consideration of neighboring developments, the proposed development seamlessly integrates with existing commercial and mixed-use structures nearby. This integration ensures that the project harmonizes with the broader environment, fostering a cohesive and unified landscape. By maintaining consistency with the existing fabric of the community, the proposed changes not only complement the surrounding developments but also contribute positively to the overall aesthetic and functionality of the area. This commitment to compatibility underscores the project's dedication to creating a unique character and charm for the neighborhood while facilitating responsible growth and development.

d. Design Minimizes Adverse Impact

The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.

RESPONSE: The proposed development's design has undergone meticulous planning to minimize adverse effects on neighboring lands. Through strategic setbacks, careful consideration of signage placement, and attention to aesthetic details, every aspect of the project has been tailored to reduce visual impact and intensity of land use. By prioritizing harmony with the surrounding environment, the design ensures that the development seamlessly integrates into the area while preserving its character and minimizing disturbances to adjacent properties. This commitment to thoughtful design not only enhances the project's appeal but also fosters a positive relationship with the community and surrounding stakeholders.

e. Design Minimizes Environmental Impact

The proposed use and design minimize environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment. [Ord. 2007-001]

RESPONSE: The proposed development demonstrates a strong commitment to minimizing environmental impacts across various facets, encompassing water, air, stormwater management, wildlife, vegetation, wetlands, and the overall natural functioning of the environment. Through comprehensive planning and design considerations, proactive measures have been implemented to address these concerns.

Specifically, stormwater management strategies have been carefully integrated into the design to mitigate potential runoff issues and preserve water quality. By implementing innovative stormwater management techniques such as retention ponds, bio-swales, and permeable pavement, the project aims to reduce the risk of flooding and limit pollutants entering water bodies.

Furthermore, efforts to preserve existing vegetation and natural habitats are integral to minimizing environmental disruption. Through strategic site planning and landscaping strategies, significant vegetation is retained, providing habitat for wildlife and maintaining biodiversity within the area.

f. Development Patterns

The proposed use or amendment will result in a logical, orderly, and timely development pattern. [Ord. 2007-001]

RESPONSE: The proposed reconfiguration and expansion of the development project exemplify a commitment to fostering a logical, orderly, and timely development pattern within the Westgate Community Redevelopment area. By aligning with the existing framework and future vision outlined in the community redevelopment plan, the project enhances the overall development landscape. It does so by seamlessly integrating with neighboring developments, ensuring a cohesive and harmonious urban environment.

Through careful consideration of surrounding land uses and community needs, the proposed amendments contribute to a development pattern that maximizes efficiency and promotes sustainable growth. By leveraging existing infrastructure and amenities, the project minimizes the strain on public resources while enhancing accessibility and connectivity within the area.

Furthermore, the proposed development serves as a catalyst for future growth and revitalization efforts within the community. By setting a precedent for thoughtful urban planning and design, it inspires confidence and investment in the area, attracting additional businesses and residents to the neighborhood.

g. Adequate Public Facilities

The extent to which the proposed use complies with Art. 2.F, Concurrency (Adequate Public Facility Standards). [Ord. 2007-001]

RESPONSE: The proposed development diligently adheres to the requirements delineated in Art. 2.F concerning Adequate Public Facility Standards. It stands as a testament to a thorough evaluation of infrastructure needs and a commitment to mitigating any potential strain on public facilities.

Through extensive planning and collaboration with relevant stakeholders, the project has addressed necessary infrastructure improvements to ensure seamless integration into the surrounding community. This includes but is not limited to, enhancements to transportation networks, water and wastewater systems, and public utilities. By proactively addressing these needs, the development minimizes disruptions to the existing public infrastructure and enhances overall system efficiency.

Moreover, provisions for essential public services have been carefully considered and incorporated into the project's design. This encompasses amenities such as emergency services, schools, parks, and recreational facilities, ensuring that residents have access to vital resources within proximity to their homes.

h. Changed Conditions or Circumstances

There are demonstrated changed site conditions or circumstances, provided by the Applicant's Justification Statement that necessitate a modification. [Ord. 2007-001] [Ord. 2018-002]

RESPONSE: The Applicant's Justification Statement offers a thorough examination of the altered site conditions or circumstances that have prompted the modifications sought through the Development Order Amendment. Through detailed analysis and documentation, it presents compelling evidence supporting the need for the reconfiguration, expansion, and rezoning of the property to MUPD.

This comprehensive documentation encompasses various factors, including shifts in market demands, demographic trends, regulatory requirements, and infrastructure availability. By addressing these changing dynamics, the statement articulates the rationale behind each proposed modification.

Moreover, the Justification Statement highlights how **these documented changes** in trends, demands, and availability directly impact the feasibility and viability of the proposed amendments. It underscores the project's adaptability and responsiveness to evolving site conditions, ensuring alignment with current regulatory frameworks and community priorities.

DEVELOPMENT ORDER AMENDMENT (DOA)

ARTICLE 2 -----

Pursuant to the Standards indicated in Art. 2.B.7.B.2, Standards the DOA requests, the BCC or ZC shall utilize the Standards a through h indicated below.

a. Consistency with the Plan

The proposed use is consistent with the purposes, goals, objectives and policies in the Plan, including standards for densities, and intensities of use. [Ord. 2018-002]

RESPONSE: The proposed amendments to the development order are aligned with the goals, objectives, and policies outlined in the Westgate Community Redevelopment (WCRA) neighborhood plan. They uphold the intended densities and intensities of use, maintaining coherence with the area's development vision. We have also met with the CRA on several occasions to consider their vision for the development and have incorporated their suggestions into our site plan.

b. Consistency with the Code

The proposed use or amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code. [Ord. 2018-002]

RESPONSE: The proposed amendments do not conflict with any provisions of the Palm Beach County Land Development Regulations. They align with the purpose and intent of the regulations

governing land use and development within the designated area, ensuring compliance with legal standards.

c. Compatibility with Surrounding Uses

The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development. [Ord. 2007-001]

RESPONSE: The proposed amendments are compatible with the surrounding land uses and character of the area. They maintain consistency with existing and planned developments, ensuring harmonious integration into the surrounding environment and preserving the area's identity.

d. Design Minimizes Adverse Impact

The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.

RESPONSE: The design adjustments proposed in the DOA aim to minimize adverse effects, including visual impact and intensity of use on adjacent lands. Careful consideration has been given to mitigating any potential negative impacts through thoughtful design modifications that enhance overall neighborhood aesthetics. The site has been designed at a scale desirable for both pedestrian and vehicular traffic flow. The visual impact is minimal from the street view as well as interior of the site. The façade of the building has been designed with interest and details which only add to the aesthetic of the neighborhood in its entirety. Landscaping Buffers and sidewalks have been incorporated along Okeechobee Blvd. for increased connectivity to adjacent lands which is mutually beneficial. Outdoor seating has been located along the interior according to pedestrian scale and place making design features. These can be better appreciated within the elevations and visual impact analysis. The intensity on adjacent land should also be minimal as most of the area surrounding the proposed rezoned sites are commercial, which has shown compatible with MUPD.

e. Design Minimizes Environmental Impact

The proposed use and design minimize environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment. [Ord. 2007-001]

RESPONSE: Efforts have been made to minimize environmental impacts associated with the proposed amendments. Measures such as improved stormwater management, preservation of wildlife habitats, and vegetation preservation are incorporated into the design to mitigate adverse effects on the environment, fostering ecological sustainability.

f. Development Patterns

The proposed use or amendment will result in a logical, orderly, and timely development pattern. [Ord. 2007-001]

RESPONSE: The proposed amendments contribute to a logical, orderly, and timely development pattern within the Westgate Community Redevelopment area. They enhance the overall development landscape by ensuring that modifications fit cohesively with existing and planned developments, promoting urban continuity and functionality.

g. Adequate Public Facilities

The extent to which the proposed use complies with Art. 2.F, Concurrency (Adequate Public Facility Standards). [Ord. 2007-001]

RESPONSE: The proposed amendments comply with the requirements outlined in Art. 2.F regarding Adequate Public Facility Standards. Necessary infrastructure improvements and provisions for public services have been addressed to ensure that the amendments do not impose undue burdens on public facilities, safeguarding community welfare.

h. Changed Conditions or Circumstances

There are demonstrated changed site conditions or circumstances, provided by the Applicant's Justification Statement that necessitate a modification. [Ord. 2007-001] [Ord. 2018-002]

RESPONSE: The Applicant's Justification Statement provides evidence of changed site conditions or circumstances necessitating the modifications sought through the Development Order Amendment. These changes justify the need for the proposed amendments to the development order, reflecting adaptability to evolving site dynamics and community needs.

ARTICLE 4-----

USE; TYPE 1 RESTURANT

a. Definition An establishment equipped to sell food and beverages in one of the following methods: drive through sales to patrons in automobiles for take-out who place orders through a window or remote transmission device; or sales to patrons for take-out or dining in, that includes three or more of the following: food or beverage choices are advertised on a menu board; countertop sales where payment is made prior to consumption; disposable containers and utensils; limited-service dining facilities with no hostess or waiters; and, self-service or prepackaged condiments.

b. Approval Process

1) DRO Approval: A Type 1 Restaurant without a drive-through where the use is allowed provided the GFA including outdoor dining areas does not exceed 5,000 square feet.

RESPONSE: Art. 1.H.2.F.37 defines Gross Floor Area as the “horizontal square footage of all floors of a building measured from the exterior face of exterior walls or other type of enclosure, or from the centerline of a wall separating two buildings.” This definition indicates that the GFA of individual bay for use by a Type 1 Restaurant is considered distinct from other bays in the overall building footprint. Five of the bays have a GFA of 2,500 sq. ft. The overall outdoor dining area is 2,678 sq. ft.; however, each Type 1 Restaurant is limited to using the outdoor dining areas directly in front of their respective bay. Therefore, the outdoor dining area for each Type 1 Restaurant does not exceed 1,500 sq. ft. All five Types 1 Restaurants are subject to DRO approval

c-d. Not applicable to the request

e. Accessory Alcohol Sales A Type 1 Restaurant may include the on-premises sale, service, and consumption of alcoholic beverages as an accessory use.

RESPONSE: Understood and noted.

f-g. Not applicable to the request

e. Accessory Take-Out Service Accessory take-out service shall be allowed provided there are no vehicle take-out windows that include exterior menu boards, queuing lanes, or order services. [Ord. 2023-011]

RESPONSE: This is noted and understood.

h. Outdoor Dining

Shall comply with the principal structure setbacks.

RESPONSE: This is noted and understood.

1) Dog Friendly Dining

Pursuant to F.S. § 509.233, as amended, a Type 2 Restaurant may allow patrons with dogs within designated outdoor dining areas. Before allowing patrons’ dogs on their premises, a participating restaurant shall apply for and receive a Dog Friendly Dining Special Permit from the Zoning Division in accordance with the permit application requirements described in F.S. § 509.233. A restaurant shall be subject to the minimum regulations and limitations described in F.S. § 509.233. [Ord. 2021-027] [Ord. 2022-001]

a) A participating restaurant shall post all signs required by F.S. § 509.233, in size 12 font or greater, in a location that is legible from the entrance of the designated outdoor Dog

Friendly Dining area. [Ord. 2021-027]

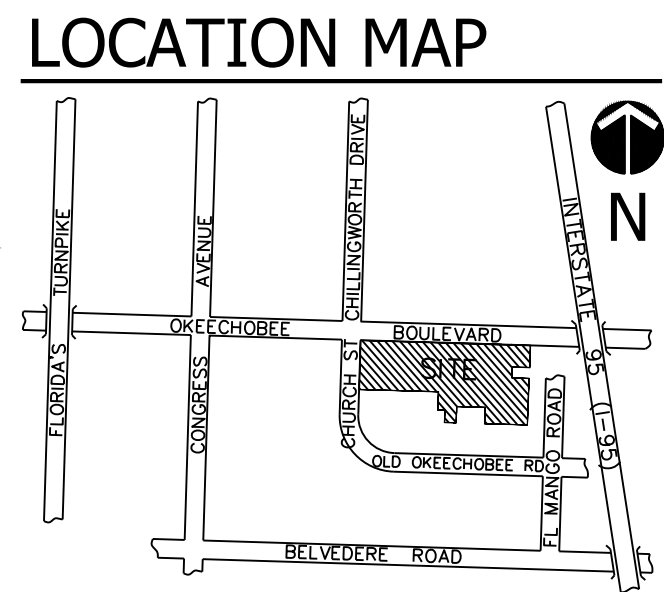
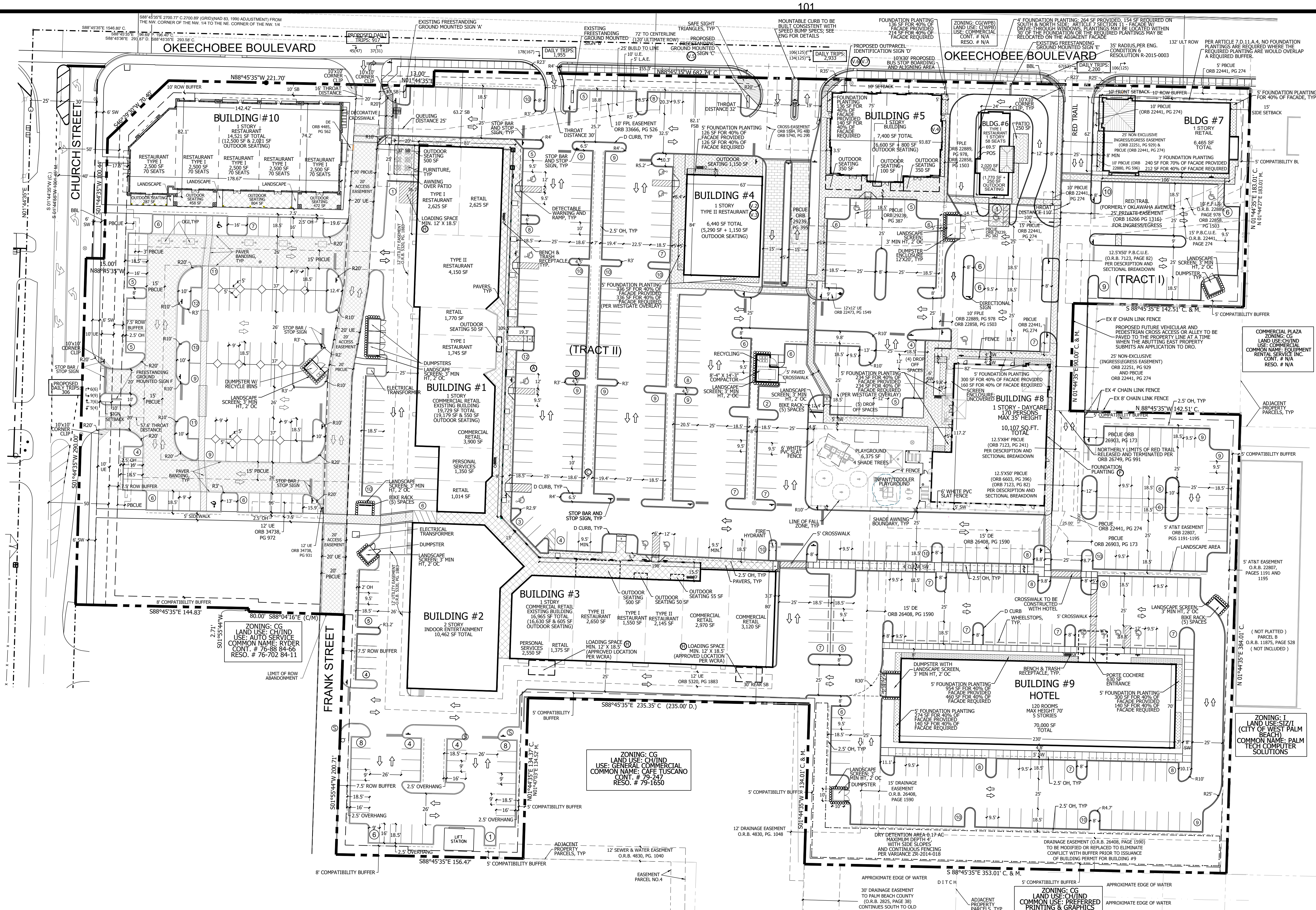
b) A participating restaurant shall ensure that the Dog Friendly Dining Special Permit is available for inspection during hours of operation. [Ord. 2021-027] [Ord. 2022-001]

c) A Dog Friendly Dining Special Permit is not transferable to a subsequent owner upon the sale of a restaurant, and shall expire automatically upon any such sale. [Ord. 2021-027] [Ord. 2022-001]

RESPONSE: This is noted and understood. All applicable permits will be applied for before providing the service.

Contact information

Please contact the agent, Jeanne Ducharme with Coteleur & Hearing, 561.747.6336 ext 105 (jducharme@coteleur-hearing.com) with any questions or requirements for additional information regarding this request.



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Palm Beach Marketplace

Deziel & Company
Preliminary Site Plan
Palm Beach County, Florida

DESIGNED	DEH
DRAWN	NBP/MAK
APPROVED	DEH
JOB NUMBER	11-0413
DATE	R-2015-0002; 0003; 0004
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ZR3 01-05-16	ZR3 02-25-16
ZR4 05-17-16	ZR4 06-28-16
ZR4 08-30-16	ZR4 09-20-16
ZR8 04-02-18	ZR8 04-23-19
ZR8 09-17-19	ZR7 10-07-19
ZR9 04-20-20	ZR12 12-22-20
ZAR 07-12-23	ZAR 10-19-22
04-11-24	10-24-23 12-27-23
06-17-24	10-28-24 12-23-24
	01-27-25

SITE DATA

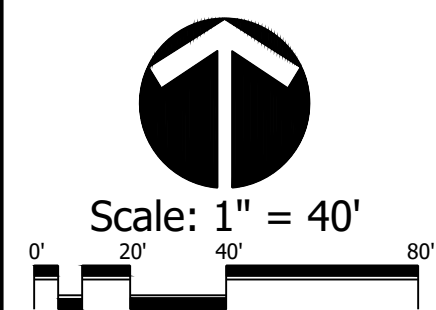
NAME OF APPLICATION (FKA NAME) PALM BEACH MARKETPLACE
CONTROL NUMBER 1988-00029
APPLICATION NUMBER PDD/OA-2024-00634

NOTE

THE DEVELOPER INTENDS TO SUBDIVIDE THE PROPERTY
PURSUANCE TO THE PLATTING EXEMPTION OF ARTICLE 11.A.6.B

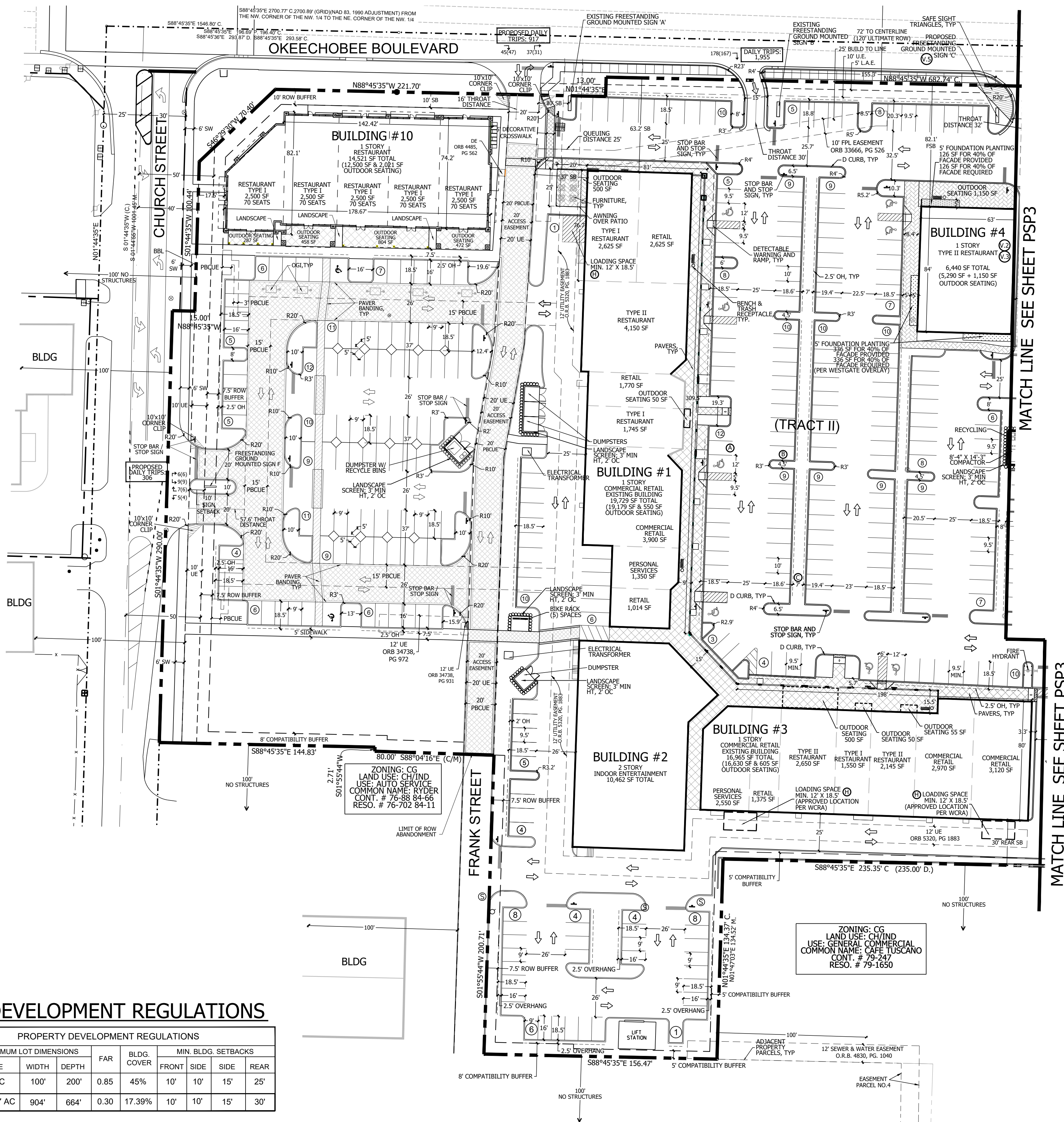
AMENDMENTS

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PROPERTY DEVELOPMENT REGULATIONS

	ZONING	PROPERTY DEVELOPMENT REGULATIONS				FAR	BLDG. COVER	MIN. BLDG. SETBACKS			
		SIZE	WIDTH	DEPTH				FRONT	SIDE	SIDE	REAR
REQUIRED	UI	1 AC	100'	200'	0.85	46%		10'	10'	15'	25'
PROVIDED	UI	12.387 AC	904'	664'	0.30	17.39%		10'	10'	15'	30'

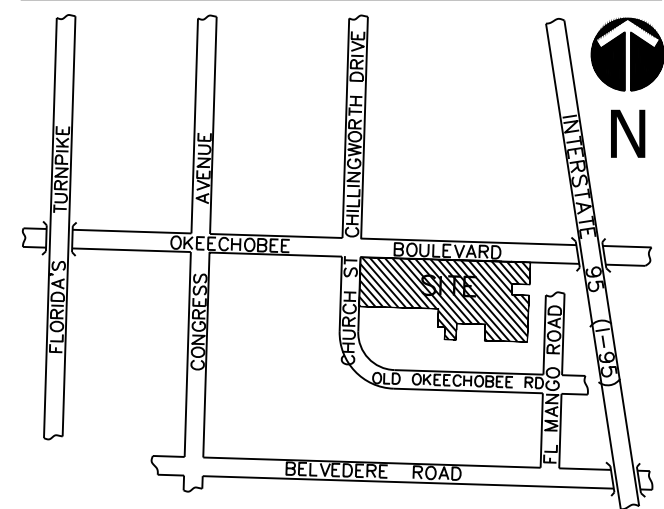
LEGEND

HC	HANDICAP	SB	SETBACK	HC SIGN
R	RADIUS	SW	SIDEWALK	STOP SIGN
OH	OVERHANG	TYP	TYPICAL	

SITE DATA

NAME OF APPLICATION, (FKA NAME)	PALM BEACH MARKETPLACE
CONTROL NUMBER	1988-00029
APPLICATION NUMBER	PDD/DOA-2024-00634
PROJECT NUMBER	05000-105
LAST REC. APPROVAL DATE	04/08/2015
RESOLUTION NUMBERS	R2015-0002, 0003, 0004, 0005, 0006
TIER	URBAN/SUBURBAN
FUTURE LAND USE DESIGNATION	CH/ND
EXISTING ZONING DISTRICT	CG/PCD
PROPOSED ZONING DISTRICT	CG/PCD
OVERLAY	WESTGATE-UI, URA, RR30
SECTION 23, TOWNSHIP 43, RANGE 43	
PROPERTY CONTROL NUMBER(S)	PBMP (1988-00029) 00-43-43-29-00-000-3350, 3850 00-43-43-29-06-000-0010, 0092, 0091, 0020, 0050 OKEECHOBEE PLACE (1981-00094) 00-43-43-29-00-000-3380, 3690, 3700, 3370, 3400, 3930, 3480, 3450 HOTEL 00-43-43-29-00-000-3410, 3920, 3440, 3390, 3420
USE	RETAIL, DAYCARE, TYPE I AND TYPE II RESTAURANT OUTDOOR SEATING HOTEL, PERSONAL SERVICES INDOOR ENTERTAINMENT
GROSS SITE AREA	539,582 SF 12,387 AC
BUILDING DATA	
BUILDING #1 (COMMERCIAL)	19,729 SF RETAIL TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING TYPE II RESTAURANT PERSONAL SERVICES
BUILDING #2 (COMMERCIAL)	10,462 SF INDOOR ENTERTAINMENT
BUILDING #3 (COMMERCIAL)	16,965 SF RETAIL TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING TYPE II RESTAURANT TYPE II RESTAURANT OUTDOOR SEATING PERSONAL SERVICES
BUILDING #4 (TYPE II RESTAURANT)	6,440 SF TYPE II RESTAURANT TYPE II RESTAURANT OUTDOOR SEATING
BUILDING #5 (TYPE I RESTAURANT)	7,400 SF TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING
BUILDING #6 (TYPE I RESTAURANT)	2,020 SF 58 SEATS TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING
BUILDING #7 (RETAIL)	6,465 SF
BUILDING #8 (DAYCARE)	10,107 SF 170 PERSONS
BUILDING #9 (HOTEL)	70,000 SF 120 ROOMS
BUILDING #10 (COMMERCIAL)	14,521 SF TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING TYPE I RESTAURANT TYPE I RESTAURANT OUTDOOR SEATING
GROSS FLOOR AREA	164,109 SF
CONCURRENCY*	
INDOOR ENTERTAINMENT - RETAIL	10,462 SF
PERSONAL SERVICES	23,239 SF
TYPE I RESTAURANT	3,900 SF
TYPE I RESTAURANT OUTDOOR SEATING	26,790 SF
TYPE II RESTAURANT	3,671 SF
TYPE II RESTAURANT OUTDOOR SEATING	14,235 SF
DAYCARE	1,705 SF
HOTEL	10,107 SF/170 PERSONS
TOTAL SF	164,109 SF
*CONCURRENCY IS APPROVED FOR THE ABOVE USES AND AMOUNTS SHOWN ON THIS PLAN.	
PARKING DATA	
COMMERCIAL BLDGS 1-5, 7, 10 MINIMUM (1 SP / 250 SF) / MAXIMUM (1 SP / 166.66 SF)	
ARTICLE 3.8.14.F.2.a - WCRAO Building Frontage (Bldg 1-9)	MIN MAX PROV
RETAIL	42 63
TYPE I RESTAURANT	93 139
TYPE II RESTAURANT	114 171
PERSONAL SERVICES	64 96
SUB TOTAL	16 23
COMMERCIAL BLDGS 6, 8, 9	REQ PROV
RETAIL SALES, GENERAL BLDG 7 (3 SP / 1,000 SF)	19
DAYCARE (170 PERSONS) BLDG 8	17
1 SP / 110 PERSONS	9
1 DROP-OFF SPACE / 20 PERSONS	17
HOTEL (120 ROOMS) BLDG 9	150
1.25 SP / ROOM	9
ADA ACCESSIBLE (INCLUDED IN TOTAL)	195
SUB TOTAL	244
TOTAL	524 594
LOADING SPACE	REQ PROV
NUMBER OF STORIES	3 3
TRAFFIC ANALYSIS ZONE (TAZ)	209
FAR	0.30
BICYCLE PARKING	REQ PROV
BICYCLE SPACES	6 15
(5 BIKE SPACES / 200 CAR SPACES)	
NOTE: SITE PLAN BASED ON SURVEY PREPARED BY MICHAEL B. SCHORAH &	

LOCATION MAP



NONCONFORMITIES AND VARIANCE CHART

		ULDC	VAR # / NONCON	REQUIRED	EXISTING
A	TERMINAL ISLAND BETWEEN PG ROWS	7.6.2.B	NONCONFORMITY	10 SPACES	11-12 SPACES
B	TERMINAL ISLAND WIDTH	7.6.3	NONCONFORMITY	8 FEET	4.5 FEET
C	DIVIDER MEDIAN	7.6.2.C	NONCONFORMITY	8 FEET	7 FEET
D	QUEUING DISTANCE	6.A.1.D.14.2.B	NONCONFORMITY	25 FEET	8.5 FEET
E	FOUNDATION PLANTING (BLDG 1, 2 & 3)	14.1.1.B	NONCONFORMITY	5 FEET FOR 40% OF FACADE	0 SF FOR ALL FACADES
F	FOUNDATION PLANTING (BLDG 3)	14.1.1.B	2R-2013-015	5 FEET FOR 40% OF FACADE	0 SF ON EAST FACADE
G	PEDESTRIAN CIRCULATION	6.A.1.D.14.2.D.1	NONCONFORMITY	NATIVE CANOPY TREE	ONE ROYAL PALM FOR EACH 25 FEET
H	LOADING ZONES	6.B.1	NONCONFORMITY, APPROVED VIA NCMA	15'X55'	MIN 12' X 18.5'
I	SIDE SETBACK (BLDG 7)	3.B.1.5.F.4	2R-2007-054	20 FOOT SETBACK	15 FOOT SETBACK
J	BUILD TO LINE (BLDG 8) (APPLICABLE - BLDG 5)	3.B.1.5.F.2.a	2R-2007-054	ALL MAIN STRUCTURES TO THE BUILD TO LINE	INCREASED SETBACK
K	PERCENTAGE OF PALMS IN ROW BUFFER	7.D.2.B	2R-2008-021 2R-2012-030	25% MAX	100%
L	PALM SPACING IN PERIMETER BUFFER	7.F.2.A.2.A	2R-2008-021 2R-2012-030	10 FEET	30 FEET OR CENTER
M	WALL SIGN STANDARDS MAX SIGN AREA (BLDG 3-4)	8.G.1.A.4	2R-2012-030	1.0 SF	2.0 SF
N	WALL SIGN STANDARDS MAX SIGN AREA (BLDG 5-FRONTAGE)	8.G.1.A.4	2R-2012-030	1.0 SF	126 SF MAXIMUM
O	WALL SIGN STANDARDS MAX SIGN AREA (BLDG 7-NORTH)	8.G.1.A.4	2R-2013-015	0.5 SF	1.0 SF
P	WALL SIGN STANDARDS BLDG FRONTAGE (BLDG 5-5 & 7)	8.G.1.A.4	2R-2008-021 2R-2012-030	WALL SIGNS PERMITTED ON FRONT, SIDE AND REAR FACING A STREET	WALL SIGN NOT FACING A STREET
Q	FREE STANDING SIGN - MAX AREA (SIGN 8)	8.G.2.A.7	2R-2012-030	136 SF	336 SF
R	FREE STANDING SIGN - MAX HEIGHT (SIGN 8)	8.G.2.A.8	2R-2012-030	20 FEET	35 FEET
S	FREE STANDING SIGN - MAX HEIGHT (SIGN 8)	8.G.2.A.8	NONCONFORMITY	15 FEET	20 FEET

VARIANCE CHART

RESO # ZR-2014-040

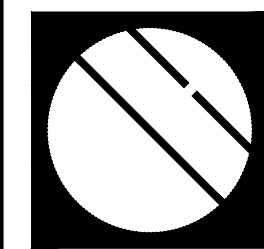
#	ULDC CODE SECTION	REQUIRED	PROVIDED	VARIANCE
V.1	Table 3.8.14.F - WCRAO Building Frontage (Bldg 1-9)	60 percent (493 feet)	49 percent (402 feet)	11 percent (91 feet)
V.2	3.8.14.F.2.a - WCRAO Build to Line (Bldg #4)	10 feet	82 feet	72 feet
V.3	Table 7.C.3 - Minimum Tier Requirements Side Foundation Planting (Bldg #4 East)	5 feet	0 feet	5 feet
V.4	Table 7.C.3 - Minimum Tier Requirements Side Foundation Planting (Not Applicable - Bldg #5 East)	5 feet	0 feet	5 feet
V.5	Table 8.G.2.A Freestanding Sign Standards: Maximum Number Per Project Frontage (Sign C)	3 Signs	4 Signs	1 Sign
V.6	Table 8.G.2.B Freestanding Outparcel Identification Sign- Maximum Height (Sign D)	6 feet	10 feet	4 feet
V.7	Table 8.G.2.B Freestanding Outparcel Identification Sign- Maximum Sign Area (Sign D)	20 SF	60 SF	40 SF

NOTE

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AMENDMENTS

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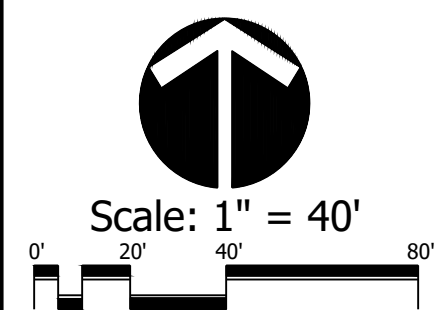
Cotleur & Hearing

Landscape Architects
Land Planners
Environmental Consultants

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Palm Beach Marketplace
Deziel & Company
Preliminary Site Plan
Palm Beach County, Florida

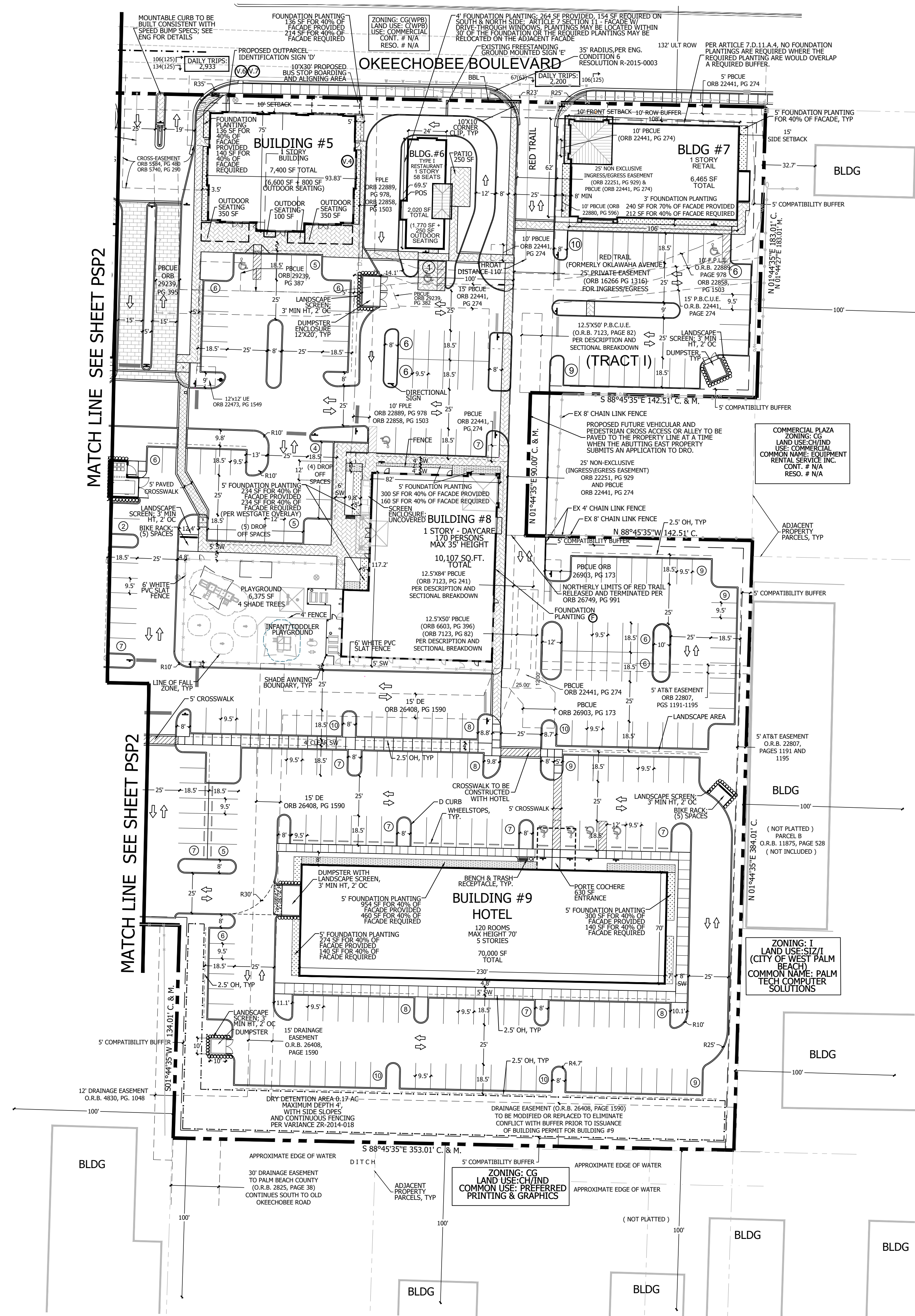
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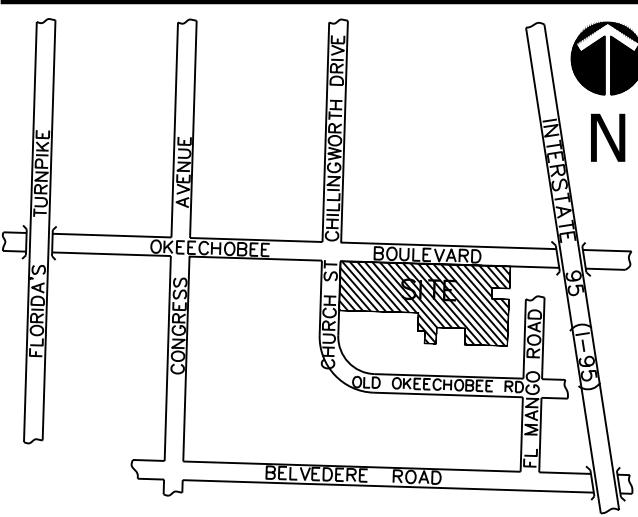
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LEGEND

HC	HANDICAP	SB	SETBACK	HC SIGN
R	RADIUS	SW	SIDEWALK	STOP SIGN
OH	OVERHANG	TYP	TYPICAL	

LOCATION MAP



SITE DATA

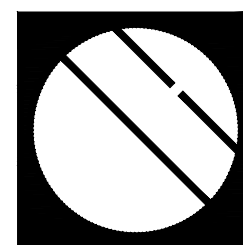
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APPLICATION NUMBER	PDD/DCA-2024-00634

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AMENDMENTS

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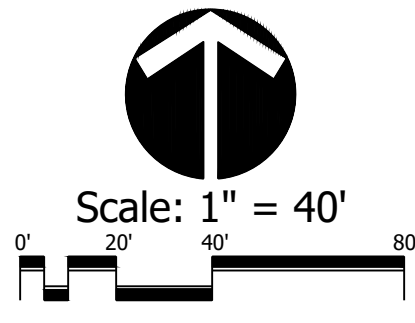
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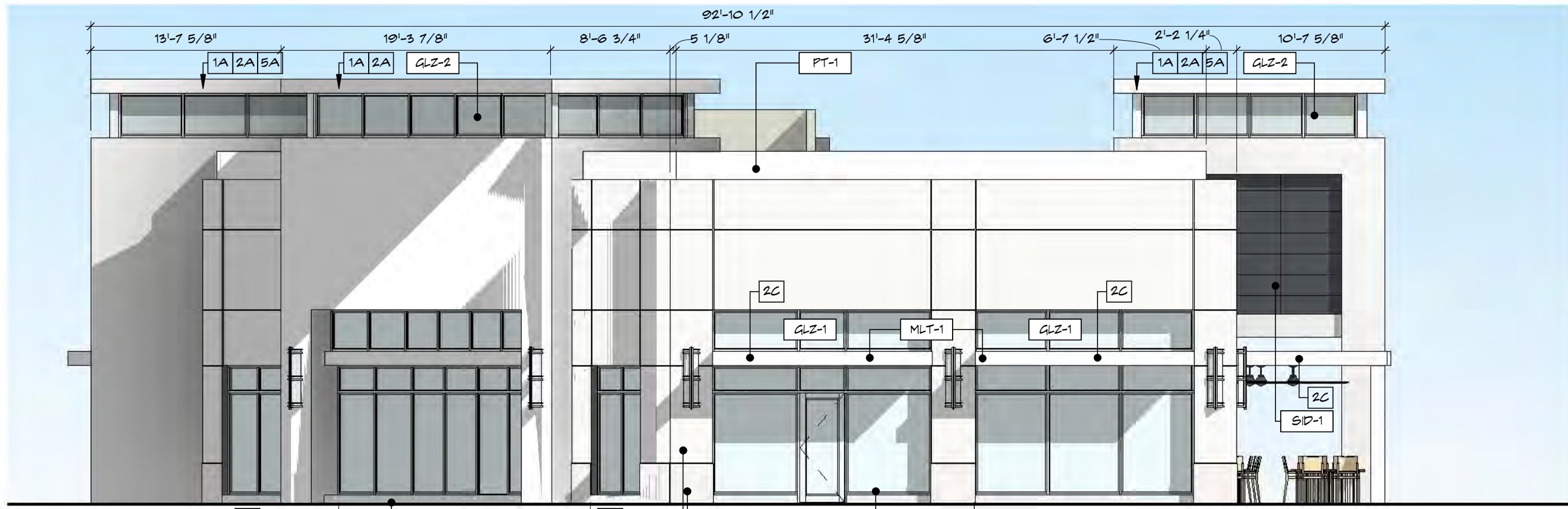
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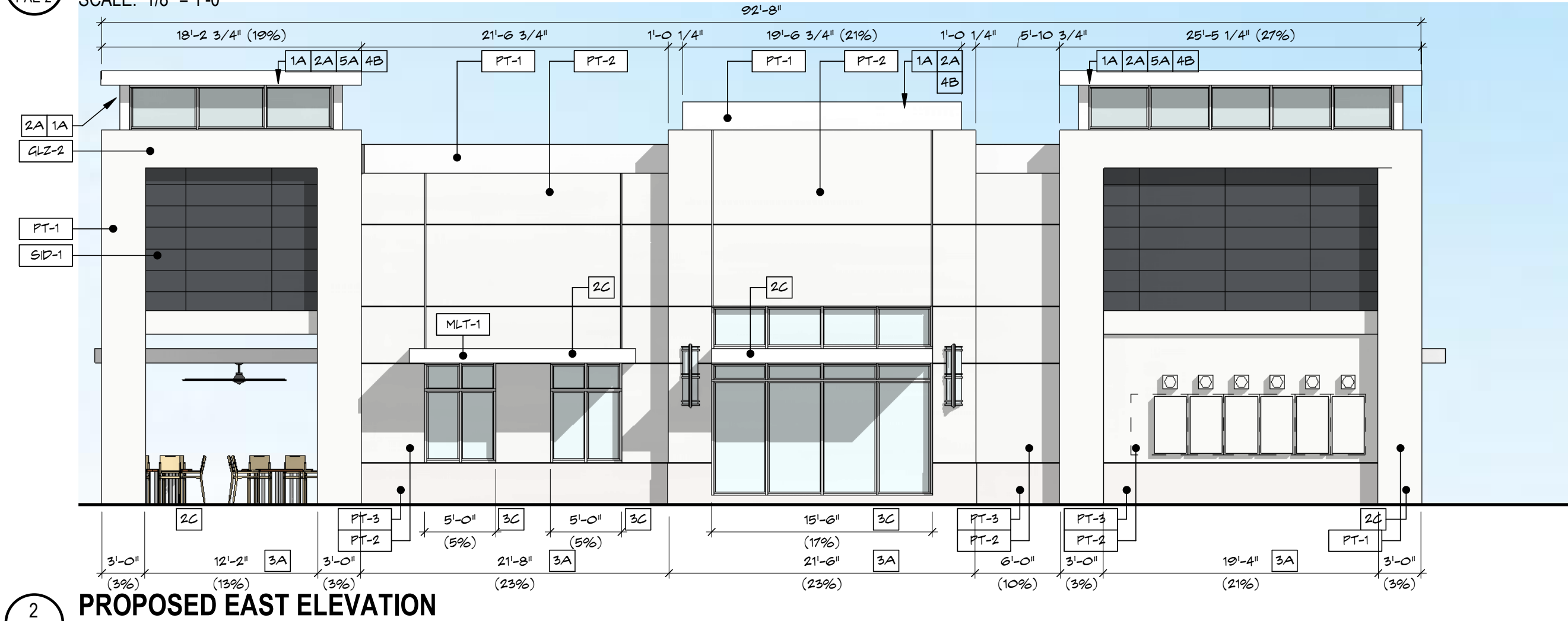
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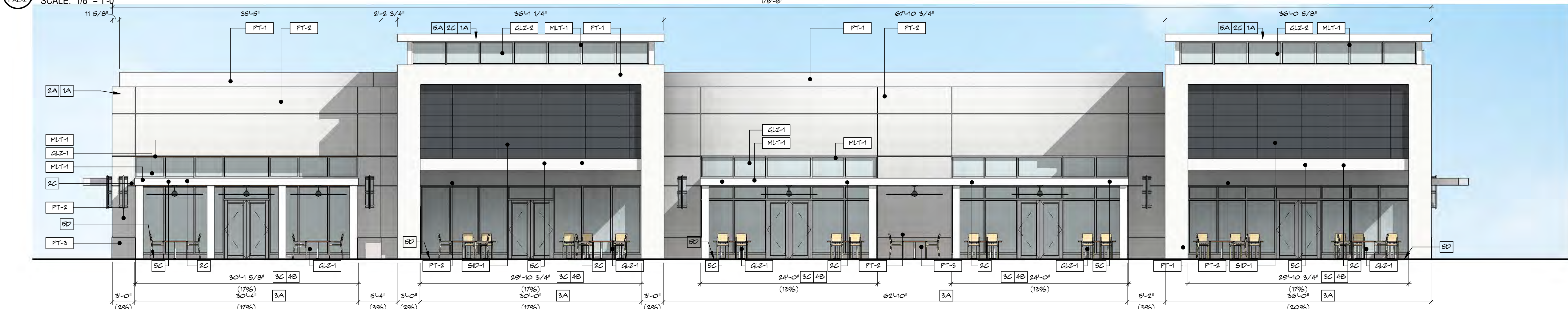
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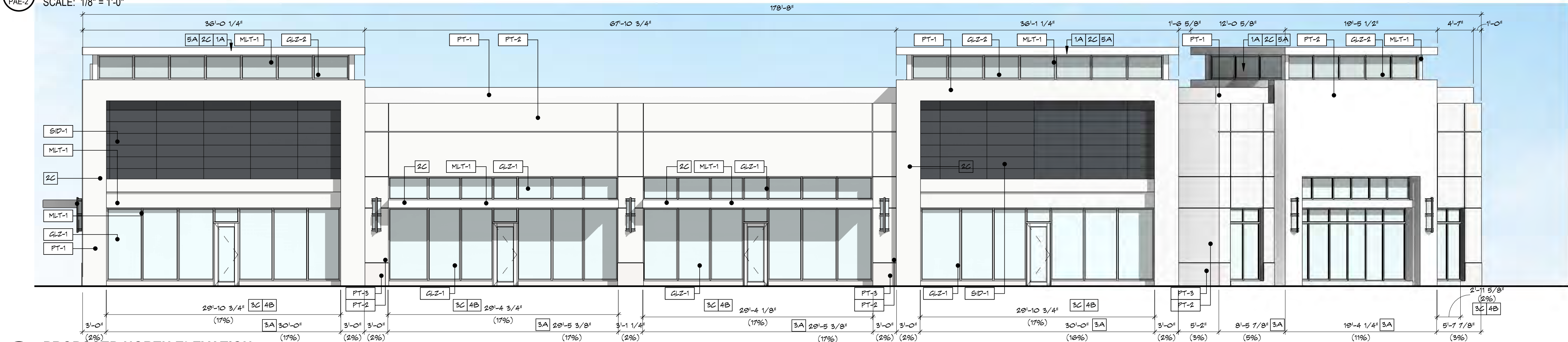
3
PAE-2
PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



2
PAE-2
PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



1
PAE-2
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4
PAE-2
PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

	PT-1	PANT - SHERWIN WILLIAMS - SW 7006, EXTRA WHITE
	PT-2	PANT - SHERWIN WILLIAMS - SW 7004, SNOWBOUND
	PT-3	PANT - SHERWIN WILLIAMS - 750, EGRET WHITE
	GLZ-1	IMPACT RESISTANT, LAMINATED CLEAR GLASS - TYPICAL
	GLZ-2	DECORATIVE SPANDREL GLASS
	MLT-1	CLEAR ANODIZED ALUMINUM METAL AWNING STRUCTURE
	SD-1	NIGHHA PANEL -LATURA V-GROOVE GREY

AMENDMENTS

ZONING STAMP

ZONING REGULATION CHART

ULDC REFERENCE	D1	D2	REQUIREMENT SELECTION	FRONT (NORTH)	SIDE (WEST)	SIDE STREET (EAST)	REAR (SOUTH)
PRIMARY ROOFLINE PURSUANT TO ULDC TABLE 5.2.1.1, PRIMARY ROOF DESIGN ELEMENT							
ONE REQUIRED ELEMENT PER FACADE, OR ANY COMBINATION OF A, B, AND C	1	A	ARTICULATED PARAPET WALLS, 30% OF ROOFLINE WITH 100' MAX SPACING BETWEEN ARTICULATION	SEE ELEV FOR DIMENSION 1A NOTE 8 ARTICULATION	SEE ELEV FOR DIMENSION 1A NOTE 8 ARTICULATION	SEE ELEV FOR DIMENSION 1A NOTE 8 ARTICULATION	SEE ELEV FOR DIMENSION 1A NOTE 8 ARTICULATION
		B	PITCHED ROOF WITH MIN 12' OVERHANGING EAVES	N/A	N/A	N/A	N/A
		C	TWO OR MORE PLANE BREAKS/SLOPES PER FACADE	N/A	N/A	N/A	N/A
SECONDARY ROOFLINE PURSUANT TO ULDC TABLE 5.2.1.1, SECONDARY ROOF DESIGN ELEMENT							
ONE ELEMENT REQUIRED PER FACADE	2	A	DECORATIVE ROOF DETAILS (I.E. GUPOLAS, DORMERS, EXPOSED RAFTER TAILS, BALCONIES, ETC.)	DECORATIVE PARAPET DETAILS	DECORATIVE PARAPET DETAILS	DECORATIVE PARAPET DETAILS	DECORATIVE PARAPET DETAILS
		B	CORNICES WITH DECORATIVE HOLDINGS	N/A	N/A	N/A	N/A
		C	PERIMETERS, PORTICOES, ARCHITECTURAL FEATURES AT ENTRYWAYS, OR DECORATIVE TOWERS	CANOPIES	CANOPIES	CANOPIES	COVERED ENTRYWAYS WITH CANOPIES AND TOWERS
FACADE - RECESSES/PROJECTIONS, WALLS, AND STOREFRONTS PURSUANT TO ULDC ART. 5.2.1.1(2)(A)-(C)							
ALL ELEMENTS ARE REQUIRED	3	A	RECESSES/PROJECTIONS: FACADES 150' SHALL PROVIDE RECESSES/PROJECTIONS A MIN OF 30% OF TOTAL LENGTH OF FACADE, MAX OF 100' BETWEEN RECESSES/PROJECTIONS, DEPTH MIN 12'	% OF LENGTH VARIES, REFER TO PLAN (MEETS REQ.) DEPTH VARIES, REFER TO PLAN	% OF LENGTH VARIES, REFER TO PLAN (MEETS REQ.) DEPTH VARIES, REFER TO PLAN	% OF LENGTH VARIES, REFER TO PLAN (MEETS REQ.) DEPTH VARIES, REFER TO PLAN	% OF LENGTH VARIES, REFER TO PLAN (MEETS REQ.) DEPTH VARIES, REFER TO PLAN
		B	WALLS: NO BLANK WALLS EXCEEDING 10' X 20' FATTERNESS TO BE 10' ON CENTER	NO BLANK WALLS ON ELEVATION	NO BLANK WALLS ON ELEVATION	NO BLANK WALLS ON ELEVATION	NO BLANK WALLS ON ELEVATION
		C	STOREFRONTS: DISPLAY WINDOWS ALONG 50% OF FACADE LENGTH	STOREFRONT AT 10% OF LENGTH	STOREFRONT AT 40% OF LENGTH	STOREFRONT AT 70% OF LENGTH	STOREFRONT AT 70% OF LENGTH

ULDC REFERENCE	D1	D2	REQUIREMENT SELECTION	FRONT (NORTH)	SIDE (WEST)	SIDE STR (EAST)	REAR (SOUTH)
EXTERIOR TREATMENT AND PENETRATION DETAILS PURSUANT TO ULDC ART. 5.2.1.1(2.2)(A) AND (B)							
ONE ADDITIONAL ELEMENT REQUIRED	4	A	EXTERIOR TREATMENT: 80% MAX PRIMARY, 20% MIN SECONDARY TREATMENTS	N/A	PRIMARY TREATMENT: 45% (REHARMER) SECONDARY TREATMENT: 55%	N/A	N/A
		B	PENETRATION DETAILS: PROVIDE ALONG A MIN OF 80% OF FACADE LENGTH	PENETRATION ALONG 100% OF FACADE (GLAZING)	N/A	PENETRATION ALONG 80% OF FACADE (CORNICE)	PENETRATION ALONG 70% OF FACADE (GLAZING)
ENTRIES PURSUANT TO ULDC TABLE 5.2.1.1, PRIMARY ENTRY FEATURES DESIGN ELEMENTS							
ONE DESIGN ELEMENT REQUIRED	5	A	CANOPIES, PORTICOES, OR PORTAGES	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.
		B	WALL RECESSES OR PROJECTIONS (MIN 12' DEPTH)	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.
		C	COVERED ARCADES (MIN 8' CLEAR WIDTH)	N/A	N/A	N/A	INCLUDED
		D	PEAKED ROOF FORMS	N/A	N/A	N/A	N/A
		E	ARCHES, COLUMNS, OR PLASTERS	N/A	N/A	N/A	N/A
ENTRIES PURSUANT TO ULDC TABLE 5.2.1.1, SECONDARY DECORATIVE TREATMENT							
ONE DESIGN IS REQUIRED PER FACADE	6	A	OVERHANGS, CORNICES, AND BAYES	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.	INCLUDED ON ALL ELEV.
		B	DECORATIVE HOLDINGS OR TRIMS AROUND WINDOWS AND DOORS	N/A	N/A	N/A	N/A
		C	COVERED PUBLIC OUTDOOR PATIO/PLAZA INCORPORATED WITH ENTRY AREA (NOT PART OF TENANT SPACE)	N/A	N/A	N/A	INCLUDED
		D	SPECIAL PAVERS, BRICKS, DECORATIVE CONCRETS, OR OTHER SIMILAR PAVEMENT TREATMENT	N/A	N/A	N/A	INCLUDED
		E	ARCHITECTURAL DETAILING (I.E. TILE WORK, MOLDINGS)	N/A	N/A	N/A	N/A





October 25, 2024
 Revised December 10, 2024
 Revised January 21, 2025

Quazi Bari, P.E.
 Palm Beach County Traffic Division
 2300 North Jog Road
 West Palm Beach, Florida 33411

**RE: *Palm Beach Marketplace
 Traffic Performance Standards Statement
 Palm Beach, Florida
 Kimley-Horn #144523006***

Dear Quazi:

Kimley-Horn and Associates, Inc. has been retained to perform a traffic impact evaluation for the proposed development of the site located on the southeast corner of Okeechobee Boulevard & Church Street, in unincorporated Palm Beach County, Florida (see Figure 1). The Parcel Control Numbers for the site are listed as follows:

- 00-43-43-29-00-000-3350
- 00-43-43-29-00-000-3341
- 00-43-43-29-00-000-3340
- 00-43-43-29-00-000-3850
- 00-43-43-29-06-000-0010
- 00-43-43-29-00-000-3380
- 00-43-43-29-00-000-3690
- 00-43-43-29-00-000-3700
- 00-43-43-29-00-000-3370
- 00-43-43-29-00-000-3400
- 00-43-43-29-00-000-3470
- 00-43-43-29-00-000-3930
- 00-43-43-29-00-000-3480
- 00-43-43-29-00-000-3450

The site was approved for a mix of inline commercial retail, restaurant, day care, and hotel use. The proposed development includes the construction of 12,000 square feet of restaurant use and a 120-room hotel. The restaurant use will replace retail and auto care use currently located on the southeast corner of Church Street & Okeechobee Boulevard. The hotel was originally approved as part of the previous Palm Beach Marketplace approvals but has not been built. This analysis was conducted to evaluate the compliance with the Traffic Performance Standards (TPS) of Palm Beach County, as defined in Article 12 of the County's Unified Land Development Code (ULDC). The proposed buildout date is 2029.

TRIP GENERATION DETERMINATION

A trip generation determination was prepared to determine the potential impacts of the proposed development. Rates and equations published by the Palm Beach County Traffic Division and ITE's *Trip Generation Manual*, 11th Edition for the uses shown in Table 1 were used for the daily, AM peak hour, and PM peak hour trip generation calculations for the proposed site.

Table 1: Approved & Proposed Uses

Uses	Existing Intensity	Unit	Approved Intensity	Unit	Proposed Intensity	Unit
Shopping Plaza (40-150k)	47.156	ksf	47.156	ksf	-	ksf
Strip Retail Plaza	9.581	ksf	6.465	ksf	-	ksf
High Turnover Sit-Down Restaurant	6.440	ksf	6.44	ksf	18.44	ksf
Fast Food Restaurant	7.4	ksf	7.4	ksf	-	ksf
Coffee/Donut Shop + DT	2.02	ksf	2.02	ksf	-	ksf
Day Care	170	Students	170	Students	-	Students
Hotel	-	Rooms	120	Rooms	120	Rooms
Autocare	11.582	ksf	-	ksf	-	ksf

Table 2: Trip Generation Calculations

Bldg. #	Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Existing Scenario >5 Years									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	47.156 ksf	3,184	82	51	31	245	120	125
7	Strip Retail Plaza (<40k)	9.581 ksf	522	23	14	9	63	32	31
4	High Turnover Sit-Down Restaurant	6.440 ksf	690	62	34	28	58	35	23
5	Fast Food Restaurant w/o DT	7.400 ksf	3,334	320	186	134	246	123	123
6	Coffee/Donut Shop +DT	2.020 ksf	1,078	173	88	85	79	40	39
8	Day Care	170 Students	695	133	70	63	134	63	71
	Automobile Care Center	11.582 ksf	291	26	17	9	36	17	19
11									
		Subtotal	9,794	819	460	359	861	430	431
Internal Capture									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	5.0%	159	5	3	2	12	6	6
7	Strip Retail Plaza (<40k)	5.0%	26	1	1	0	4	2	2
4	High Turnover Sit-Down Restaurant	5.0%	35	3	2	1	3	2	1
5	Fast Food Restaurant w/o DT	5.0%	167	16	9	7	12	6	6
6	Coffee/Donut Shop +DT	5.0%	54	8	4	4	4	2	2
8	Day Care	5.0%	35	7	4	3	7	3	4
9		5.0%	0	0	0	0	0	0	0
10	Automobile Care Center	5.0%	15	1	1	0	2	1	1
11									
		Subtotal	491	41	24	17	44	22	22
Pass-By Capture									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	39.0%	1,180	30	19	11	91	44	47
7	Strip Retail Plaza (<40k)	63.0%	312	14	8	6	37	19	18
4	High Turnover Sit-Down Restaurant	43.0%	282	25	14	11	24	14	10
5	Fast Food Restaurant w/o DT	45.0%	1,425	137	80	57	105	53	52
6	Coffee/Donut Shop +DT	49.0%	502	81	41	40	37	19	18
8	Day Care	50.0%	330	63	33	30	64	30	34
9									
10	Automobile Care Center	61.0%	168	15	10	5	21	10	11
11									
		Subtotal	4,199	365	205	160	379	189	190
Driveway Volumes			9,303	778	436	342	817	408	409
Net New External Trips			5,104	413	231	182	438	219	219
Previously Approved Scenario (Excluding Retail & Auto Uses on Added Parcels)									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	47.156 ksf	3,184	82	51	31	245	120	125
7	Strip Retail Plaza (<40k)	6.465 ksf	352	15	9	6	43	22	21
4	High Turnover Sit-Down Restaurant	6.440 ksf	690	62	34	28	58	35	23
5	Fast Food Restaurant w/o DT	7.400 ksf	3,334	320	186	134	246	123	123
6	Coffee/Donut Shop +DT	2.020 ksf	1,078	173	88	85	79	40	39
8	Day Care	170 Students	695	133	70	63	134	63	71
9	Hotel	120 Rooms	959	55	31	24	71	36	35
		Subtotal	10,292	840	469	371	876	439	437
Internal Capture									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	5.0%	159	5	3	2	12	6	6
7	Strip Retail Plaza (<40k)	5.0%	18	0	0	0	2	1	1
4	High Turnover Sit-Down Restaurant	5.0%	35	3	2	1	3	2	1
5	Fast Food Restaurant w/o DT	5.0%	167	16	9	7	12	6	6
6	Coffee/Donut Shop +DT	5.0%	54	8	4	4	4	2	2
8	Day Care	5.0%	35	7	4	3	7	3	4
9	Hotel	5.0%	48	3	2	1	4	2	2
				0			0		
				0			0		
				0			0		
		Subtotal	516	42	24	18	44	22	22
Pass-By Capture									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	39.0%	1,180	30	19	11	91	44	47
7	Strip Retail Plaza (<40k)	63.0%	210	9	6	3	26	13	13
4	High Turnover Sit-Down Restaurant	43.0%	282	25	14	11	24	14	10
5	Fast Food Restaurant w/o DT	45.0%	1,425	137	80	57	105	53	52
6	Coffee/Donut Shop +DT	49.0%	502	81	41	40	37	19	18
8	Day Care	50.0%	330	63	33	30	64	30	34
9	Hotel	10.0%	91	5	3	2	7	3	4
		Subtotal	4,020	350	196	154	354	176	178
Driveway Volumes			9,776	798	445	353	832	417	415
Net New External Trips			5,756	448	249	199	478	241	237

Table 2: Trip Generation Continued

Bldg. #	Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out
Proposed Scenario									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	47.156 ksf	3,184	82	51	31	245	120	125
7	Strip Retail Plaza (<40k)	6.465 ksf	352	15	9	6	43	22	21
4,11	High T turnover Sit-Down Restaurant	18.440 ksf	1,977	176	97	79	167	102	65
5	Fast Food Restaurant w/o DT	7.400 ksf	3,334	320	186	134	246	123	123
6	Coffee/Donut Shop +DT	2.020 ksf	1,078	173	88	85	79	40	39
8	Day Care	170 Students	695	133	70	63	134	63	71
9	Hotel	120 Rooms	959	55	31	24	71	36	35
Subtotal			11,579	954	532	422	985	506	479
Internal Capture									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	5.0%	159	5	3	2	12	6	6
7	Strip Retail Plaza (<40k)	5.0%	18	0	0	0	2	1	1
4	High Turnover Sit-Down Restaurant	5.0%	99	9	5	4	8	5	3
5	Fast Food Restaurant w/o DT	5.0%	167	16	9	7	12	6	6
6	Coffee/Donut Shop +DT	5.0%	54	8	4	4	4	2	2
8	Day Care	5.0%	35	7	4	3	7	3	4
9	Hotel	5.0%	48	3	2	1	4	2	2
Subtotal			580	48	27	21	49	25	24
Pass-By Capture									
1, 2, 3	Shop Plaza (40-150k) w/o Sup Market	39.0%	1,180	30	19	11	91	44	47
7	Strip Retail Plaza (<40k)	63.0%	210	9	6	3	26	13	13
4	High Turnover Sit-Down Restaurant	43.0%	808	72	40	32	68	42	26
5	Fast Food Restaurant w/o DT	45.0%	1,425	137	80	57	105	53	52
6	Coffee/Donut Shop +DT	49.0%	502	81	41	40	37	19	18
8	Day Care	50.0%	330	63	33	30	64	30	34
9	Hotel	10.0%	91	5	3	2	7	3	4
Subtotal			4,546	397	222	175	398	204	194
Driveway Volumes			10,999	906	505	401	936	481	455
Net New Driveway Volumes (For New Retail Site)			1,223	108	60	48	104	64	40
Net New External Trips			6,453	509	283	226	538	277	261
Proposed Net External Trips-Approved Net New External Trips			697	61	34	27	60	36	24
Proposed Net External Trips-Existing Net New External Trips			1,349	96	52	44	100	58	42
Radius of Development Influence:			1 mile(s)						
Land Use	Daily	AM Peak Hour	PM Peak Hour	Pass By					
Shop Plaza (40-150k) w/o Sup Market	67.52 trips/ksf	1.73 trips/ksf (62% in, 38% out)	5.19 trips/ksf (49% in, 51% out)	39.0%					
Strip Retail Plaza (<40k)	54.45 trips/ksf	2.36 trips/ksf (60% in, 40% out)	6.59 trips/ksf (50% in, 50% out)	63.0%					
High Turnover Sit-Down Restaurant	107.2 trips/ksf	9.57 trips/ksf (55% in, 45% out)	9.05 trips/ksf (61% in, 39% out)	43.0%					
Fast Food Restaurant w/o DT	450.49 trips/ksf	43.18 trips/ksf (58% in, 42% out)	33.21 trips/ksf (50% in, 50% out)	45.0%					
Coffee/Donut Shop +DT	533.57 trips/ksf	85.88 trips/ksf (51% in, 49% out)	38.99 trips/ksf (50% in, 50% out)	49.0%					
Day Care	4.09 trips/Students	0.78 trips/Students (53% in, 47% out)	0.79 trips/Students (47% in, 53% out)	50.0%					
Hotel	7.99 trips/Rooms	0.46 trips/Rooms (56% in, 44% out)	0.59 trips/Rooms (51% in, 49% out)	10.0%					
Automobile Care Center									
* Daily rate of Automobile Parts and Service Center (ITE 943) 16.60									
* PM Peak Hour of Automobile Parts and Service Center (ITE 943) 2.06									
* Daily rate for Automobile Parts and Service Center = 16.60/2.06 =>									
	8.06	>	8.06*3.11	25.1					

As shown in Table 2, the proposed development will result in an increase of 1,349 net new external daily trips, 96 net new external AM peak hour trips (+52 inbound, +44 outbound), 100 net new external PM peak hour trips (+58 inbound, +42 outbound).



LEGEND

 Site Location

FIGURE 1

Palm Beach Marketplace

KH # XXXXXXX

Site Location & Trip Assignment

Kimley»Horn

SIGNIFICANCE ANALYSIS

Based on the traffic generation for this site, it was determined that the radius of developmental influence (RDI) for this project is 1 mile. The project traffic was distributed across the links within the RDI based on the distribution illustrated in Figure 1, to determine if the addition of project traffic will significantly impact the roadway links, based on Palm Beach County TPS methodology. Per palm Beach County standards, all the links on which the project impact is greater than 1% of the level of service (LOS) D generalized service volume are considered significantly impacted links.

Table 33 and Table 44 summarize the AM peak hour and PM peak hour significance analyses, respectively.

Table 3: Test 1 AM Peak Hour Significance Analysis

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							AM PEAK HOUR					
							TRIPS		% IMPACT			
							NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?
Belvedere Road	Congress Avenue	Australian Avenue	6LD	2,680	5%	i	3	2	0.11%	No	0.07%	No
Belvedere Road	Australian Avenue	I-95	6LD	2,680	0%	o	0	0	0.00%	No	0.00%	No
Okeechobee Boulevard	Palm Beach Lakes Blvd	Spencer Drive	8LD	3,590	40%	i	21	18	0.58%	No	0.50%	No
Okeechobee Boulevard	Spencer Drive	Congress Avenue	8LD	3,590	40%	i	21	18	0.58%	No	0.50%	No
Okeechobee Boulevard	Congress Avenue	Church Street	8LD	3,590	50%	i	26	22	0.72%	No	0.61%	No
Okeechobee Boulevard	Church Street	Project Driveway	8LD	3,590	75%	i	39	33	1.09%	Yes	0.92%	No
Okeechobee Boulevard	Project Driveway	I-95 West	8LD	3,590	40%	o	18	21	0.50%	No	0.58%	No
Okeechobee Boulevard	I-95 West	I-95 East	8LD	3,590	30%	o	13	16	0.36%	No	0.45%	No
Okeechobee Boulevard	I-95 East	Australian Avenue	8LD	3,590	15%	o	7	8	0.19%	No	0.22%	No
Congress Ave	Belvedere Road	Okeechobee Boulevard	4LD	1,770	5%	i	3	2	0.17%	No	0.11%	No
Congress Ave	Okeechobee Boulevard	Palm Beach Boulevard	4LD	1,770	5%	o	2	3	0.11%	No	0.17%	No
Church Street/Old Okeechobee Road	Australian Avenue	Church Street	2L	810	10%	i	5	4	0.62%	No	0.49%	No
Church Street/Old Okeechobee Road	Church Street	Project Driveway	2L	810	10%	i	5	4	0.62%	No	0.49%	No
Church Street/Old Okeechobee Road	Project Driveway	Okeechobee Boulevard	2L	810	15%	o	7	8	0.86%	No	0.99%	No
Australian Avenue	Belvedere Road	Okeechobee Boulevard	6LD	2,940	5%	i	3	2	0.10%	No	0.07%	No
Australian Avenue	Okeechobee Boulevard	Banyan Boulevard	6LD	2,940	0%	o	0	0	0.00%	No	0.00%	No
I-95	Belvedere Road	Okeechobee Boulevard	10LX	9,320	10%	i	5	4	0.05%	No	0.04%	No
I-95	Okeechobee Boulevard	Palm Beach Boulevard	10LX	9,320	10%	o	4	5	0.04%	No	0.05%	No

Table 4: Test 1 PM Peak Hour Significance Analysis

ROADWAY	FROM	TO	EXISTING NUMBER OF LANES	LOS D GENERAL SVC. VOLUME	PROJECT % ASSIGNMENT	NB/EB IN/OUT?	PROJECT TRIPS					
							PM PEAK HOUR					
							TRIPS		% IMPACT			
							NB/EB	SB/WB	NB/EB	Sig?	SB/WB	Sig?
Belvedere Road	Congress Avenue	Australian Avenue	6LD	2,680	5%	i	3	2	0.11%	No	0.07%	No
Belvedere Road	Australian Avenue	I-95	6LD	2,680	0%	o	0	0	0.00%	No	0.00%	No
Okeechobee Boulevard	Palm Beach Lakes Blvd	Spencer Drive	8LD	3,590	40%	i	23	17	0.64%	No	0.47%	No
Okeechobee Boulevard	Spencer Drive	Congress Avenue	8LD	3,590	40%	i	23	17	0.64%	No	0.47%	No
Okeechobee Boulevard	Congress Avenue	Church Street	8LD	3,590	50%	i	29	21	0.81%	No	0.58%	No
Okeechobee Boulevard	Church Street	Project Driveway	8LD	3,590	75%	i	44	32	1.23%	Yes	0.89%	No
Okeechobee Boulevard	Project Driveway	I-95 West	8LD	3,590	40%	o	17	23	0.47%	No	0.64%	No
Okeechobee Boulevard	I-95 West	I-95 East	8LD	3,590	30%	o	13	17	0.36%	No	0.47%	No
Okeechobee Boulevard	I-95 East	Australian Avenue	8LD	3,590	15%	o	6	9	0.17%	No	0.25%	No
Congress Ave	Belvedere Road	Okeechobee Boulevard	4LD	1,770	5%	i	3	2	0.17%	No	0.11%	No
Congress Ave	Okeechobee Boulevard	Palm Beach Boulevard	4LD	1,770	5%	o	2	3	0.11%	No	0.17%	No
Church Street/Old Okeechobee Road	Australian Avenue	Church Street	2L	810	10%	i	6	4	0.74%	No	0.49%	No
Church Street/Old Okeechobee Road	Church Street	Project Driveway	2L	810	10%	i	6	4	0.74%	No	0.49%	No
Church Street/Old Okeechobee Road	Project Driveway	Okeechobee Boulevard	2L	810	15%	o	6	9	0.74%	No	1.11%	Yes
Australian Avenue	Belvedere Road	Okeechobee Boulevard	6LD	2,940	5%	i	3	2	0.10%	No	0.07%	No
Australian Avenue	Okeechobee Boulevard	Banyan Boulevard	6LD	2,940	0%	o	0	0	0.00%	No	0.00%	No
I-95	Belvedere Road	Okeechobee Boulevard	10LX	9,320	10%	i	6	4	0.06%	No	0.04%	No
I-95	Okeechobee Boulevard	Palm Beach Boulevard	10LX	9,320	10%	o	4	6	0.04%	No	0.06%	No

As shown in the tables above, the following links are significantly impacted by the project traffic during the AM and PM peak hour:

- Okeechobee Boulevard: From Church Street to Project Driveway (AM Peak Hour EB, PM Peak Hour EB)
- Church Street: From Project Driveway to Okeechobee Boulevard (PM Peak Hour EB)

Therefore, further Test 1 capacity analysis.

CAPACITY ANALYSIS

The future traffic volumes on the significantly impacted roadway segment was analyzed in comparison to its LOS D adopted service volume. **Table 5** and **Table 6** detail these calculations for the AM and PM peak respectively. As seen in the tables the significantly impacted roadway links are projected to operate acceptably during the AM and PM peak hour through 2029.

Table 5: Test 1 Capacity Analysis (AM Peak Hour)

Roadway	From	To	Committed		LOS D Service Volume	Direction	Significantly Impacted?	Count Year	Count Year Traffic Volume	Committed Traffic - Option #1			Committed Traffic - Option #2			Utilized (Maximum) Committed Traffic	Project Traffic	2029 Total Traffic	Meets Standard ??	Back-ground Def. ??
			Lanes	Facility Type						Committed Traffic (from TPS)	1.0% Traffic Growth	Committed plus 1.0%	Historic Growth Rate (from TPS)	Max Historic Growth or 1%	Max Historic Growth					
Okeechobee Boulevard	Church Street	Project Driveway	4LD	Class II	1,770	NB/EB	Yes	2023	906	110	56	166	1.62%	1.62%	92	166	39	1,111	Yes	-
			4LD	Class II	1,770	SB/WB	No	2023	-	-	-	-	-	-	-	-	-	-	-	-

Table 6: Test 1 Capacity Analysis (PM Peak Hour)

Roadway	From	To	Committed		LOS D Service Volume	Direction	Significantly Impacted?	Count Year	Count Year Traffic Volume	Committed Traffic - Option #1			Committed Traffic - Option #2			Utilized (Maximum) Committed Traffic	Project Traffic	2029 Total Traffic	Meets Standard ??	Back-ground Def. ??
			Lanes	Facility Type						Committed Traffic (from TPS)	1.0% Traffic Growth	Committed plus 1.0%	Historic Growth Rate (from TPS)	Max Historic Growth or 1%	Max Historic Growth					
Okeechobee Boulevard	Church Street	Project Driveway	4LD	Class II	1,770	NB/EB	Yes	2023	852	128	52	180	1.62%	1.62%	86	180	44	1,076	Yes	-
			4LD	Class II	1,770	SB/WB	No	2023	-	-	-	-	-	-	-	-	-	-	-	-
Church Street/Old Okeechobee Road	Project Driveway	Okeechobee Boulevard	2L	Class II	810	NB/EB	No	2022	-	-	-	-	-	-	-	-	-	-	-	-
			2L	Class II	810	SB/WB	Yes	2022	333	-	24	-	-	1.00%	24	24	9	366	Yes	-

INTERSECTION ANALYSIS

As requested, the Okeechobee Boulevard & Church Street intersection was analyzed using *Synchro 12* software and HCM 7th Edition methodology. Baseline traffic data was collected during the AM peak period (7:00AM-9:00AM) and the PM peak period (4:00PM to 6:00PM). Existing count data is included in the Appendix.

The following three scenarios were analyzed at the studied intersection:

- Existing Conditions (2022)
- Future Background Conditions (2029)
- Future Total Conditions (2029)

Existing Conditions (2022): This analysis scenario provides a baseline evaluation of current conditions, based upon traffic volume data collected at the studied intersection.

Future Background Conditions (2029): This analysis scenario includes the baseline traffic volumes adjusted to future year conditions without the project by applying an annually compounding background growth rate.

Future Total Conditions (2029): This analysis scenario uses the Future Background Conditions (2029) volumes as a baseline and adds new project traffic generated by site development. The future total (2029) volumes assume an estimated fully build out condition in year 2029.

The 95th percentile queues are reported in Table 10. As shown in the table, the queues in the background extend beyond the available left-turn storage length. The project will add less than one vehicle to the queue in the buildout condition.

Synchro summaries for the existing conditions (2029), future background (2029), and future total conditions (2029) are shown in Tables 7, 8, and 9 respectively.

Synchro output sheets are included in the Appendix.

Table 7: Existing Conditions (2022)

#	Intersection	Control Type	Movement	AM Peak Hour		PM Peak Hour	
				Delay (s)	LOS	Delay (s)	LOS
1	Okeechobee Boulevard & Church Street	Signalized	EB	38.2	D	40.1	D
			WB	30.2	C	37.1	D
			NB	115.0	F	179.0	F
			SB	97.2	F	94.5	F
			Overall	41.8	D	56.4	E

Table 8: Background Conditions (2029)

#	Intersection	Control Type	Movement	AM Peak Hour		PM Peak Hour	
				Delay (s)	LOS	Delay (s)	LOS
1	Okeechobee Boulevard & Church Street	Signalized	EB	46.5	D	46.1	D
			WB	31.5	C	42.6	D
			NB	117.5	F	200.0	F
			SB	96.7	F	93.6	F
			Overall	47.1	D	62.8	E

Table 9: Future Conditions (2029)

#	Intersection	Control Type	Movement	AM Peak Hour		PM Peak Hour	
				Delay (s)	LOS	Delay (s)	LOS
1	Okeechobee Boulevard & Church Street	Signalized	EB	46.5	D	46.8	D
			WB	32.4	C	42.1	D
			NB	118.3	F	204.2	F
			SB	96.9	F	93.6	F
			Overall	47.6	D	63.9	E

Table 10: Queues

#	Intersection Queues (ft)	Movement	AM Peak Hour		PM Peak Hour	
			Background	Buildout	Background	Buildout
1	Okeechobee Boulevard & Church Street	NBL	288	299	779	792
		NBT	186	186	411	411

DRIVEWAY CLASSIFICATION

Access to the site is proposed to be maintained via a full access driveway on Church Street and a right-in/right-out driveway on Okeechobee Boulevard. Other access to the site includes three driveways on Okeechobee Boulevard. One driveway is classified right-in only, the other two driveways are classified as right-in/right-out.

According to the Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards”, it is necessary to classify the driveway as minor, intermediate, or major according to the following criteria:

- Minor – Services a maximum daily volume of 500 vehicles.
- Intermediate – Services a daily volume ranging from 501 to 2000 vehicles.
- Major – Services a daily volume of more than 2000 vehicles.

As mentioned, the development includes addition of 12,000 square feet of restaurant use and the development of the previously approved hotel. Trip volumes at driveways 2, 3 and 4 match the volumes on the latest approved plan since the additional development will not utilize those driveways. The new traffic was added to the Church Street driveway and to Frank Street. Figure 2 illustrates the approved driveway volumes of the site. Figure 3 illustrates the driveway volumes that are generated from the proposed development. Figure 4 shows the total driveway volumes for the overall site. Using the above criteria, the driveways are classified as major and minor. The driveways on Okeechobee Boulevard are existing and are vested for the uses for the existing Palm Beach Marketplace. Therefore, the throat distances and turn lanes serving those driveways are not proposed to be modified.

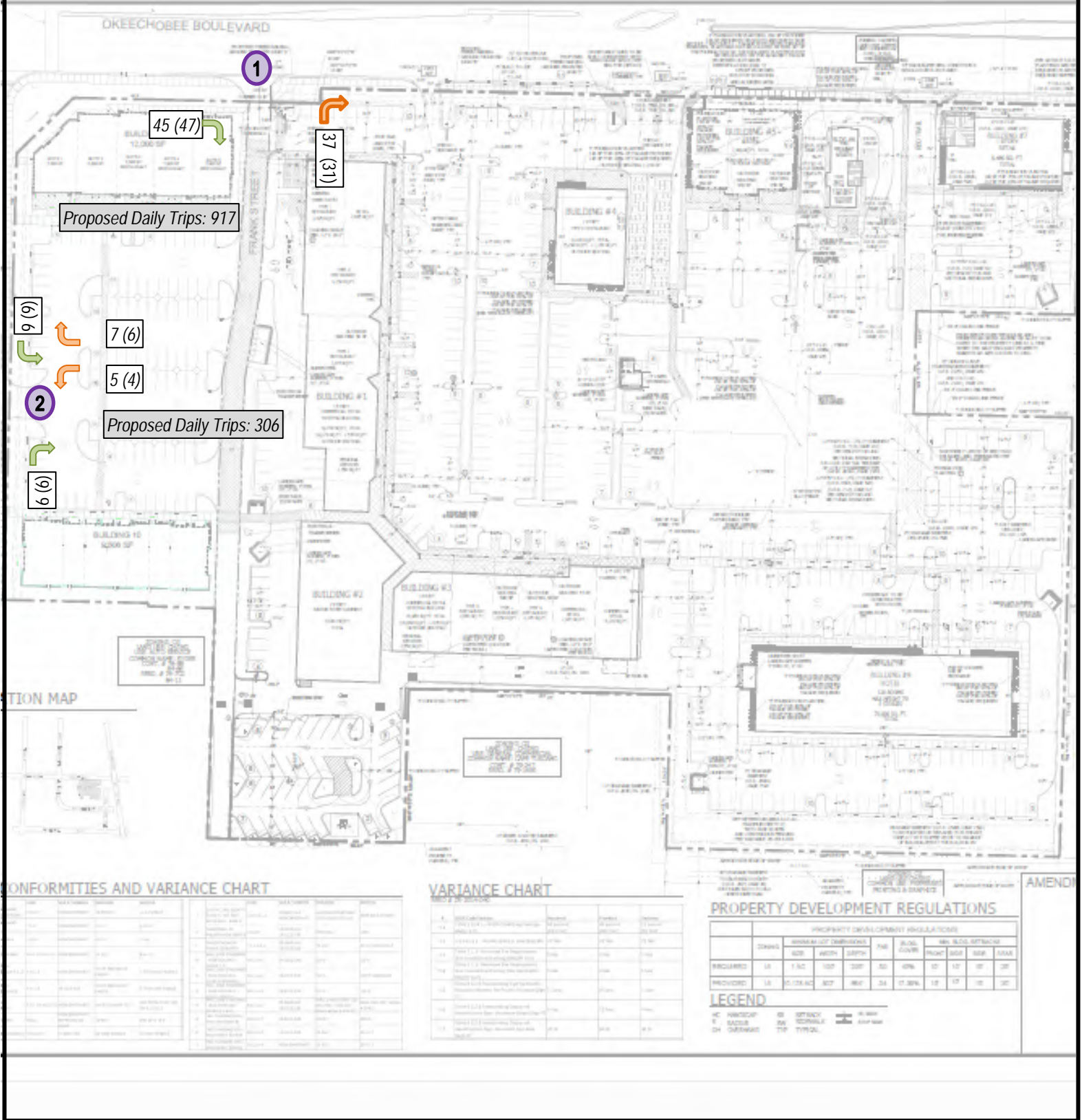
TURN LANE REQUIREMENTS

The Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards” provides guidance on the provisions of turn lanes at site driveways. According to the standards notes in this document, the volume thresholds for providing exclusive turn lanes are as follows:

- Right Turn Lane: 75 peak hours right turns, with driveway volumes that exceed 1,000 trips per day, and average daily traffic volumes that exceed 10,000 vehicles per day.
- Left Turn Lane: 30 peak hour left turns

Based on these requirements, the criteria for additional turn lanes are met for the driveway on Okeechobee Boulevard. However, the volumes at driveways 2,3 and 4 are not expected to change from the previously approved volumes. Furthermore, as the length from the existing Okeechobee Boulevard & Church Street is limited and, the construction of a turn lane is not recommended.





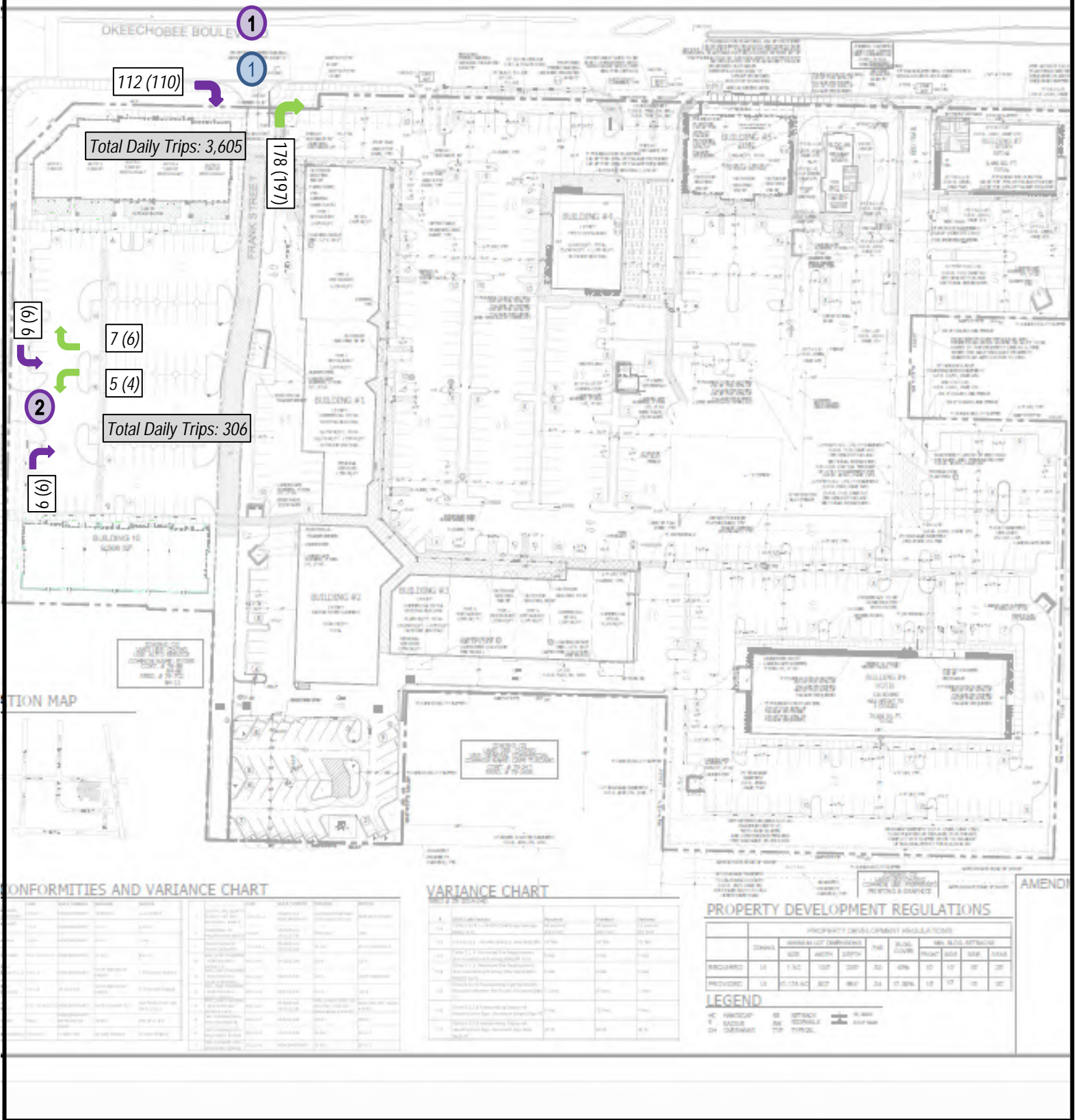


FIGURE 4
Palm Beach Marketplace
Total Driveway Volumes

CONCLUSION

Kimley-Horn and Associates, Inc. has prepared a traffic study to evaluate the potential impact of the development for the project site located at the southeast corner of Okeechobee Boulevard & Church Street, in Unincorporated Palm Beach County, Florida. The proposed development includes the construction of 12,000 square feet of restaurant and a 120-room hotel. Turn lane requirements are met, however, due to the short distance between the existing driveway and the intersection of Okeechobee Boulevard & Church Street, a right turn lane is not recommended. As shown in the analysis, the proposed development program meets Palm Beach County Traffic Performance Standards requirements.

Please contact me via telephone at (561) 840-0874 or via e-mail at adam.kerr@kimley-horn.com should you have any questions regarding this evaluation.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Digitally signed
by Adam B Kerr
Date: 2025.01.22
09:47:10 -05'00'

Adam B. Kerr, P.E.
Transportation Engineer

Florida Registration
Number 64773
Registry No. 35106

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March 18, 2025

Elizée Michel, FRA-RA, HDPF, AICP, Executive Director
Westgate CRA
1280 N Congress Ave. Suite 215
West Palm Beach, FL 33409

Dear Elizée:

It was a pleasure to meet virtually last week and to learn about the Westgate CRA and the proposed Westgate Gardens housing development. The following includes a scope of work and budget for BAE Urban Economics, Inc. (BAE) to conduct a peer review of the project proponent's financial feasibility analysis for the development project. This letter can serve as an agreement for services if you agree with the scope of work, budget, and terms.

The objective of the peer review is to provide the Westgate CRA with feedback on the reasonableness of the proponent's requested Tax Increment Rebate, considering anticipated project development costs and financial returns from project operations.

We understand that you would like to have the draft results of our peer review by the first week of April, 2025, so that there is time to finalize the analysis and include the analysis with a staff report for your Board's mid-April meeting; thus, the scope of work reflects the level of effort that BAE is able to accommodate within this timeframe.

The scope of work assumes that the proponent will submit a working Excel model of the project financial feasibility analysis, including a detailed breakdown of development costs, projected operating expenses, revenues, and net operating income for the period of time corresponding to the duration of the requested TI rebate period, sufficient to show the financial justification for the requested amount of annual TI rebates.

1. Review Developer Pro-Forma

BAE will conduct a review of the project proponent's financial model with an eye towards the reasonableness of the financial assumptions, calculations, and projections that are used to justify the requested TI rebate. BAE will conduct this review from the standpoint of validating the financial justification for the amount of tax increment rebate that the proponent is requesting as expressed by a projection of a reasonable rate of return on the costs to develop the project.

2. Conduct Research on Key Pro-Forma Inputs

Although there are many inputs to the financial feasibility model that can influence the amount of financial assistance requested, key inputs include hard construction costs, market rate and

below-market rate rents, and targeted financial feasibility metrics (e.g., cap rates, yield on cost, etc.) BAE will focus the time available for the peer review on collecting information from local sources who can provide input on current assumptions. BAE will request that CRA staff provide names of up to five developers, contractors, and/or other types of local real estate professionals (key informants) who may be able to provide such input for BAE's consideration and comparison with the assumptions used in the proponent's financial model. BAE will reach out to the key informants by telephone and request information based on their respective local experience and knowledge that BAE can use to independently establish assumptions for use in the financial pro-forma model and to test sensitivity vs. the assumptions used by the project proponent.

3. Conduct Sensitivity Analysis

Having reviewed the proponent's financial model in Task 1 and conducted due diligence as part of Task 2, BAE will utilize the financial model to conduct sensitivity analysis and evaluate the extent to which modifications to the financial model and its inputs that BAE deems reasonable would produce financial subsidy needs that vary from those identified by the proponent's analysis.

4. Discuss Initial Findings with Agency Staff

BAE will hold a virtual meeting with CRA Staff (and County Staff, if desired) to share finding from the initial pro-forma review, the research on key pro-forma inputs, and the sensitivity analysis. BAE will answer any questions from agency staff and also receive input on any suggested follow-up analysis, to inform preparation of the memo of findings and recommendations.

5. Prepare Memo of Findings and Recommendations

Based on the research conducted for the prior tasks as well as the agency staff feedback from the Task 4 meeting, BAE will prepare a brief memo to outline BAE's research, findings, and recommendations regarding the requested tax increment rebate. If BAE's recommendations suggest changes in the amount and/or timing of the tax increment rebate, BAE will provide justifications and the rationale for the recommendations. BAE may also suggest other terms or conditions that might best protect the interest of the CRA and/or County in conjunction with an agreement for a tax increment rebate. BAE will submit the memo in electronic (PDF) format for the County's use.

6. Optional Participation at CRA Board Meeting

If requested by the client, BAE's project manager will be available to participate in a CRA Board meeting where BAE's analysis would be discussed. BAE would participate virtually via Zoom or similar platform implemented by the CRA. Costs for in-person attendance would require additional time and expense for travel.

Budget

BAE will complete the scope of work described above for a fixed fee of \$13,000, not including optional Task 6, which would involve an additional cost of \$1,000 for meeting preparation and participation. BAE's role would be to provide an overview of the Task 5 memo's findings and recommendations and to answer any questions from CRA staff or the Board.

1. Review Developer Pro-Forma	\$3,000
2. Conduct Research on Key Pro-Forma Inputs	\$5,000
3. Conduct Sensitivity Analysis	\$1,500
4. Discuss Initial Findings with Agency Staff	\$1,000
5. Prepare Memo of Findings and Recommendations	\$2,500
6. Optional Participation at CRA Board Meeting	\$1,000
Total, not including Optional Task 6:	\$13,000
<i>Total, including Optional Task 6:</i>	<i>\$14,000</i>

Terms

BAE will begin work upon receipt of a countersigned agreement and contact information for key informants as described in Task 2.

BAE will invoice for \$10,500 upon completion of Tasks 1-4. BAE will invoice for \$2,500 upon completion of Task 5. BAE will invoice for \$1,000 upon completion of Task 6 (if requested by the CRA).

Payments for invoices will be due within 30 days from the date received.

Past due invoices will be subject to monthly interest charges equal to 1.5% of the outstanding past due balance, compounding monthly.

Approval of Agreement

If the scope, budget, and terms outlined in this letter are acceptable to you, please indicate approval of this agreement by providing an authorized signature in the signature block below.

Accepted by:

[Signature]

for Westgate CRA "Client"

Elizée Michel, FRA-RA, HDFP, AICP
Executive Director

[Date]

for BAE URBAN ECONOMICS, INC. "Consultant"



Matt Kowta, MCP
Managing Principal

February 24, 2025

Via Email

Mr. Elizee Michel
Executive Director
Westgate/Belvedere Homes CRA
1280 Old Congress Avenue
West Palm Beach, FL 33409

Re: Westgate Gardens, Term Sheet for Economic Incentive Agreement

Dear Executive Director Michel:

Thank you for providing Westgate Gardens, LLC (“Westgate Gardens”) the opportunity to present a proposed term sheet for an economic incentive agreement that provides the critical support needed to realize Phase 1 of the Westgate Gardens Project, a proposed mixed-income residential development that will advance multiple objectives of the 2017 Amended Westgate CRA Community Redevelopment Plan (the “CRA Plan”).

Westgate Gardens is a joint venture of the Frisbie Group and Terra, two of the most active real estate firms in South Florida, with a portfolio of sustainable, design-oriented development projects valued in excess of \$18 billion. Westgate Gardens intends to develop an approximately 42-acre site located within the CRA District at 1111 N. Congress Avenue, a portion of which is currently operated as the Palm Beach Kennel Club.

Building on the work of the Westgate CRA to improve and stimulate the economic development of the CRA District, our proposed Westgate Gardens Project will be one of the largest and most impactful redevelopment projects undertaken within the Westgate CRA. Our plan is to develop the Westgate Gardens Project in phases, with the first phase focusing on mixed-income housing, in furtherance of the CRA Plan’s mixed income housing goals. Utilizing an innovative design concept, we intend to build low-scale, 3-story garden apartment buildings, containing approximately 405 residential units across 16 acres, including 81 workforce housing units, interlinked via courtyards and pedestrian pathways, with expansive open green spaces and pocket parks that will be open to the general public and promote community health and wellness.

Importantly, the workforce housing units will be restricted to income-eligible residents earning income equal to 100% or less of the Palm Beach County Area Median Income (“AMI”), and one-half of the workforce units will be available only for residents earning 80% AMI or less. In recognition of the housing needs of members of our community that contribute to the public good, we will market the workforce housing units to provide priority placement for first responders, teachers, nurses and other healthcare workers, for a period of 30 years.

Although the project emphasizes affordability, our residential design concept is intentionally focused on the quality of life of the end users of our facilities: the residents. We are working with the award-winning design team at Merrill, Pastor & Colgan, to set a new high bar for quality residential development, with lush native plantings and shade trees, a variety of garden spaces, courtyard spaces, walking trails, and amenities that are geared toward, and grounded upon, community, creating a “village” look and feel at a scale that is compatible with the single-family homes directly west of the Phase 1 Project. By allocating budget to quality materials that are most

impactful to the end users, our project aims to demonstrate that quality and affordability are not mutually exclusive, and that all residents of the Westgate Gardens community, regardless of their financial ability, will have a safe, resilient, functional and beautiful place to live. Details of our plan can be found in the corresponding zoning application that was submitted to the CRA on February 24, 2025.

We strongly believe that Phase 1 will serve as a catalyst for the future phases of the Westgate Gardens Project, and more broadly, for the revitalization of the CRA District. However, without the CRA's support, the Project's affordability goals and public green space plan cannot be realized, as the rental revenues associated with the restricted workforce housing units would render the Project, as proposed, unfeasible.

Our proposed term sheet for the Economic Incentive Agreement is attached hereto as **Exhibit 1**. Our request is for an annual economic incentive for the Project, to consist of 75% of the tax increment revenue directly generated by the Phase 1 Project. This funding, which would be used solely to cover debt service and other Project costs, would bridge the gap needed to achieve the mixed-income housing goals of the CRA Plan.

As shown in our summary projections attached as part of Exhibit 1, we estimate that Phase 1 of the Westgate Gardens Project alone will increase the assessed values of the Property from its current assessed value of \$16.7 million to approximately \$142 million, generating additional tax increment revenue for the CRA of approximately \$932,200 annually. Even after accounting for the 75% TIF rebate to Westgate Gardens, Phase 1 will benefit the CRA by generating over \$233,000 in additional tax increment revenue for the CRA each year, a significant net annual contribution to the CRA's overall budget, all of which would be available to support other goals and objectives of the CRA over the life of the CRA. These figures underscore the transformative potential of the Westgate Gardens Project to stimulate redevelopment, in partnership with the CRA.

In view of the CRA's revenue sharing agreement with Palm Beach County commencing in 2036, we will separately propose that the Palm Beach County Board of County Commissioners consider its approval of this economic incentive agreement for the benefit of the Westgate Gardens Project, to maintain the economic incentive at 75% of the tax increment revenue directly generated by our project. As explained in the term sheet, the Westgate CRA will not have any obligation with respect to the potential participation of the County in this agreement, as the CRA's contribution would be separate and not dependent on the County in any way.

For these reasons, we respectfully request that the CRA Board consider approval of the term sheet at its next available meeting, and authorize the Executive Director and the CRA counsel to finalize and execute an economic incentive agreement that incorporates the approved terms.

Thank you for your consideration of this proposed partnership. We are available at your convenience to answer any questions you may have.

Sincerely,



Robert Frisbie
Manager
Westgate Gardens, LLC



Cody Crowell
Manager
Westgate Gardens, LLC



David Martin
Manager
Westgate Gardens, LLC

TERM SHEET
Economic Incentive Agreement
Westgate Gardens – Phase 1
February 24, 2025

Westgate Gardens, LLC ("Westgate Gardens"), a joint venture of the Frisbie Group and Terra, has requested that the Westgate/Belvedere Homes Community Redevelopment Agency (the "Westgate CRA" or "CRA") provide certain economic incentives in the form of tax increment fund ("TIF" or "Incremental TIF") rebates to Westgate Gardens, to assist with covering the gap for funding the cost of constructing Phase 1 of the Project (as defined below).

The purpose of this Term Sheet is to set forth the mutual intent of, and preliminary understanding between the CRA and Westgate Gardens relative to such economic incentives. The following terms and conditions are intended to serve as the basis for the preparation of a definitive economic incentive agreement, without which the Project in its current form could not be implemented for the benefit of the CRA and the surrounding community (the "Agreement" or "Economic Incentive Agreement"). Capitalized terms used but not otherwise defined in this Term Sheet will be defined in the Economic Incentive Agreement.

The Westgate Gardens Project will advance the CRA's 2017 Amended Community Redevelopment Plan (the "Plan") and its objectives of facilitating mixed-income housing (Plan Focus Area 3), community improvement (Plan Focus Area 4), and infrastructure and public space improvements (Plan Focus Area 5), and will more generally complement the efforts of the CRA and Palm Beach County (the "County") to improve and beautify the physical character of the area and stimulate redevelopment within the boundaries of the CRA. Based on the Project's alignment with the CRA Plan objectives, Westgate Gardens proposes the TIF rebate incentives set forth herein, in view of the significant additional TIF revenues and other public benefits that will result from the construction, development and operation of the Project.

1. Background: Project. Westgate Gardens intends to develop the approximately 42.05 acres of real property located within the Westgate CRA District, west of downtown West Palm Beach, along Belvedere Road at 1111 N. Congress Avenue, known as the site of the Palm Beach Kennel Club (the "Property"). Westgate Gardens proposes a mixed-use project on the Property, to be constructed in three separate phases. The first phase of development includes low-scale 3-story garden apartment buildings, containing approximately 405 residential units, including 81 workforce housing units, interlinked via courtyards and pedestrian pathways, with open green spaces and pocket parks (the "Phase 1 Project" or "Phase 1"). The Phase 1 Project will be developed on a designated portion of the Property that is approximately 16.05 acres in area (the "Phase 1 Property").

2. Workforce Housing Units. The eighty-one (81) total workforce housing units consist of (a) forty (40) apartment units income restricted to residents earning an amount equal to or less than 80% AMI; and (b) forty-one (41) apartment units income restricted to residents earning an amount equal to or less than 100% AMI, all for a period of thirty (30) years (the "Affordability Period," commencing upon the issuance of a Certificate of Occupancy) (collectively, the "Workforce Housing Units"). "AMI" or "Area Median Income" means the Palm Beach County Area Median Income as set forth each year by the Department of Housing and Urban Development ("HUD"). Westgate Gardens shall ensure that the apartments are occupied by eligible households during each year of the Affordability Period. Income shall be determined using the methodology approved by the CRA. The maximum rent the Westgate Gardens may charge shall be governed by the rent limit amounts established annually by the Florida Housing

Finance Corporation for the type and size of unit for the West Palm Beach-Boca Raton HMFA (Palm Beach County).

3. Public Benefit Commitments. As an inducement to the CRA entering into the Economic Incentive Agreement, Westgate Gardens will make the following commitments for the public benefit, in addition to providing the Workforce Housing Units:

- a. Westgate Gardens will provide landscaping, green spaces and other related pedestrian pathway improvements and exterior sidewalks, with a minimum of 50,000 square feet in public green spaces or “pocket parks” that will be open to the general public; and
- b. Westgate Gardens will complete water and sewer improvements, drainage improvements, on-site water retention (underground), and other civil infrastructure upgrades;
- c. Westgate Gardens will market and implement its workforce housing program to prioritize and provide a first opportunity to lease the workforce housing units to (i) first responders (including law enforcement, public safety and/or fire department personnel of any local, county or state agency); (ii) teachers, teacher assistants and teachers’ aides providing instruction and support to students in pre-kindergarten through 12th grade; and (iii) nurses and healthcare technicians, provided that such priority tier residents otherwise meet all income and/or other workforce housing eligibility requirements.

4. Anticipated Development Value and Incremental TIF. Westgate Gardens anticipates that the assessed value of the Phase 1 Project once completed will equal approximately \$141,600,000, which will generate approximately \$932,200 in Incremental TIF annually beginning January 1, 2029, with the Phase 1 Project alone yielding additional TIF of more than 20% of the total FY 2025 existing TIF revenue of the CRA. The Incremental TIF projections for the Phase 1 Project are set forth on Exhibit A.

5. TIF Rebate Incentive. In furtherance of the Plan’s redevelopment objectives, and the additional value to the CRA of adding quality mixed-income housing stock within the CRA, as well as community improvement and public space improvements, the CRA agrees to provide Westgate Gardens with a TIF rebate, consisting of a percentage of Incremental TIF actually generated from the Phase 1 Project, as follows:

- a. On an annual basis for each year commencing after the Base Year and continuing throughout the Term of the Economic Incentive Agreement (as defined in Section 6 below), the CRA will pay to Westgate Gardens an incentive payment equal to seventy-five percent (75%) of the Phase 1 Project’s Incremental TIF (see Exhibit B for the calculation formula for Incremental TIF) (the “Incentive Payment”).
- b. Westgate Gardens agrees that the Incentive Payments shall be used for the sole and exclusive purpose of paying and/or reimbursing the costs of the construction, maintenance, operation and debt service/debt issuance costs of the Phase 1 Project, to the extent such payments are a permitted use of TIF Increment pursuant to Chapter 163 Part III, Florida Statutes.

- c. To facilitate financing for the Phase 1 Project, Westgate Gardens, in its sole and absolute discretion, may assign and reassign the Incentive Payment (or discrete portions thereof) at any time or from time to time upon written notice given to the CRA. Further, Westgate Gardens, in its sole and absolute discretion, may collaterally assign and reassign the Incentive Payment to any lender providing financing for the Phase 1 Project.
- d. An estimate of the annual Phase 1 Project TIF revenue that would remain available to the CRA (and the County, commencing in 2036) after the Incentive Payments are made to Westgate Gardens is attached as part of Exhibit "A". As shown therein, even after accounting for the Incentive Payments to Westgate Gardens, the Phase 1 Project will realize millions in additional revenue for the CRA and the County (commencing in 2036), which funds may be used by the CRA and the County in their sole discretion, to further stimulate redevelopment within the CRA and accomplish the goals of the Plan or otherwise serve the interests of Palm Beach County.

6. Proposed Participation of Palm Beach County. Westgate Gardens understands that the Westgate CRA has agreed to a certain revenue-sharing arrangement with Palm Beach County, whereby a designated percentage of the CRA's overall TIF revenue will be remitted to or retained by Palm Beach County each year commencing in 2036, until the expiration of the CRA. If the CRA approves this Agreement, Westgate Gardens will propose to Palm Beach County that it join in this Agreement as a limited party, to provide for the County, commencing in 2036, to fund its proportionate share of the Incentive Payment, and thereby ensure that the aggregate amount of the Incentive Payment to Westgate Gardens each year remains equal to 75% of the total Incremental TIF generated by the Phase 1 Project.

- a. By way of example only, if in 2036, the Phase 1 Incremental TIF revenue equals \$1,000,000, and 25% of the total TIF revenue of the CRA is shared with the County, then the CRA would receive total TIF revenue from Phase 1 in the amount of \$750,000, and the County would receive \$250,000. In such event, the CRA's Incentive Payment for that year would equal \$562,500 (75% of the CRA's portion of the Phase 1 TIF), and the County's Incentive Payment would equal \$162,500 (75% of the County's portion of the Phase 1 TIF), for a total Incentive Payment of \$750,000, equal to 75% of the total Phase I Project Incremental TIF for that year.
- b. Westgate Gardens acknowledges and agrees that the Westgate CRA's participation in the economic incentive agreement shall be separate from, and not dependent in any way on, Palm Beach County's participation in the Project. The County's participation in this Agreement shall be at the County's sole discretion, and the Westgate CRA shall have no responsibility or obligation with respect thereto.

7. Term of Economic Incentive Agreement. The term of the Economic Incentive Agreement (the "Term") will commence on the date of full execution by the CRA and Westgate Gardens after adoption of a resolution by the CRA Board approving the terms thereof, and will expire on the date that is the earlier of (i) the date of expiration of the Affordability Period or (ii) the date of expiration of the CRA.

8. Preparation of Agreements. Following approval of this Term Sheet by the CRA's Board, Westgate Gardens will prepare and deliver to the CRA a proposed draft of the Economic Incentive Agreement. Westgate Gardens will use a form from a similar project familiar to the CRA's legal counsel to minimize the time and cost for both parties to prepare and review.

Agreed and accepted by WESTGATE GARDENS:

Westgate Gardens, LLC

By : _____

Name:

Title:

Date: _____

Agreed and accepted by Westgate CRA:

Westgate/Belvedere Homes Community Redevelopment Agency,

a public agency and body corporate created pursuant to Section 163.356, Florida Statutes

By: _____

Elizee Michel

Executive Director

Date: _____

EXHIBIT A

Incremental TIF Projections

DETERMINATION OF TIF CAPACITY									
	Taxable Values				Increment Revenue			75%	
Date	Market	Assessed	Taxable	Incremental Value	General Fund	Fire Rescue	Total TIF	TIF Reimbursement	Residual Amount to CRA/County
1/1/2024	27,416,799	16,735,425	16,735,425	-	-	-	-	-	-
1/1/2025	28,239,303	17,237,488	17,237,488	-	-	-	-	-	-
1/1/2026	29,086,482	17,754,612	17,754,612	-	-	-	-	-	-
1/1/2027	29,959,077	18,287,251	18,287,251	-	-	-	-	-	-
1/1/2028	140,713,051	105,534,788	105,534,788	87,247,538	372,983	286,625	659,608	494,706	164,902
1/1/2029	221,150,997	165,863,248	141,586,207	123,298,956	527,103	405,061	932,164	699,123	233,041
1/1/2030	227,785,527	170,839,146	145,833,793	127,546,542	545,261	419,015	964,277	723,208	241,069
1/1/2031	234,619,093	175,964,320	150,208,807	131,921,556	563,965	433,388	997,353	748,015	249,338
1/1/2032	241,657,666	181,243,250	154,715,071	136,427,820	583,229	448,192	1,031,421	773,566	257,855
1/1/2033	248,907,396	186,680,547	159,356,523	141,069,272	603,071	463,440	1,066,511	799,883	266,628
1/1/2034	256,374,618	192,280,963	164,137,219	145,849,968	623,509	479,146	1,102,654	826,991	275,664
1/1/2035	264,065,856	198,049,392	169,061,335	150,774,085	644,559	495,322	1,139,881	854,911	284,970
1/1/2036	271,987,832	203,990,874	174,133,175	155,845,925	666,241	511,984	1,178,226	883,669	294,556
1/1/2037	280,147,467	210,110,600	179,357,171	161,069,920	688,574	529,146	1,217,720	913,290	304,430
1/1/2038	288,551,891	216,413,918	184,737,886	166,450,635	711,576	546,823	1,258,399	943,799	314,600
1/1/2039	297,208,448	222,906,336	190,280,022	171,992,772	735,269	565,030	1,300,299	975,224	325,075
1/1/2040	306,124,701	229,593,526	195,988,423	177,701,172	759,673	583,783	1,343,456	1,007,592	335,864
1/1/2041	315,308,442	236,481,332	201,868,076	183,580,825	784,808	603,099	1,387,907	1,040,930	346,977
1/1/2042	324,767,696	243,575,772	207,924,118	189,636,867	810,698	622,994	1,433,692	1,075,269	358,423
1/1/2043	334,510,726	250,883,045	214,161,842	195,874,591	837,364	643,486	1,480,850	1,110,638	370,213
1/1/2044	344,546,048	258,409,536	220,586,697	202,299,446	864,830	664,593	1,529,423	1,147,067	382,356
1/1/2045	354,882,430	266,161,822	227,204,298	208,917,047	893,120	686,333	1,579,454	1,184,590	394,863
1/1/2046	365,528,903	274,146,677	234,020,427	215,733,176	922,259	708,726	1,630,985	1,223,239	407,746
1/1/2047	376,494,770	282,371,077	241,041,039	222,753,789	952,272	731,790	1,684,062	1,263,047	421,016
1/1/2048	387,789,613	290,842,210	248,272,271	229,985,020	983,186	755,546	1,738,732	1,304,049	434,683
1/1/2049	399,423,301	299,567,476	255,720,439	237,433,188	1,015,027	780,014	1,795,041	1,346,281	448,760
Total							28,452,114	21,339,086	7,113,029

EXHIBIT B

Incremental TIF Calculation

The Board of County Commissioners of Palm Beach County declared on May 9, 1989, through adoption of

Resolution No. 89-6, that there was a need for a community redevelopment agency ("CRA"). Chapter 163, Part III, Florida Statutes, as amended (the "Act") authorized a municipality to create a CRA. The taxable value of all real property in the CRA District is determined as of a fixed date. The Act defines the base-year value as the value associated with the most recent assessment tax-roll used in connection with the taxation of property within the CRA District by each applicable Taxing Authority prior to the effective date of the Ordinance providing for the funding of the redevelopment trust fund. Tax Incremental Value shall mean the difference between the base-year value of the Phase 1 Property (as of the date of the Act) and the future assessed value of the Phase 1 Property (the Date of Completion year) as prepared by the Property Appraiser of Palm Beach County, Florida, and submitted to the Florida Department of Revenue pursuant to Section 193.1142, Florida Statutes.

Incremental TIF shall be determined based on the following calculation:

Present Year Assessed Value - Base Year "Frozen Increment" Assessed Value = Tax Increment Value

Tax Increment Value * City, County & DDA Mil Rate * 0.001 = Tax Increment Revenue

Tax Increment Revenue * 95% * 75% = Incremental TIF

EXAMPLE CALCULATION:

\$123,300,000 (Tax Increment Value) * 7.9581 (Millage Rate) * 0.001 = \$981,233 (Tax Increment Revenue)

\$981,233 (Tax Increment Revenue) * 95% * 75% (Rebate to Westgate Gardens) = \$699,130 Incremental TIF

West Palm Beach Mobility Coalition

107 S. Olive Ave, Suite 200
West Palm Beach, FL 33401



TO: Elizee Michel, Executive Director
FROM: Board, WPBgo
DATE: March 22, 2025
SUBJECT: 2025 Commitment Letter, WPBgo

Westgate CRA is committed to constructive community partnership, dedicated stewardship of community resources, and leadership in preserving quality of life for all those who choose to reside in or visit the Palm Beaches. Given the unprecedented ongoing growth in population and commerce in our community, we recognize our local institutions must be prepared with solutions as our region evolves. This will require an exceptional spirit of collaboration among all parties that can influence policy and infrastructure choices and travel behavior outcomes.

To that end, Westgate CRA is committed to the development of a public-private partnership organization focused on improving access and mobility to our densest and most popular areas over the near and medium term. This organization must have a bias towards data-driven action, underwritten by collaboration and innovation across sectors and interests. Due to the nature of the work, the organization will be designed as a **Transportation Management Association (TMA)**, exemplifying best global practices for such, with clearly outlined objectives to maximize efficiency of our current and future infrastructure. The organization will assist entities that include employers, residential and commercial real estate, leisure destinations, and the public sector to work cooperatively to achieve outcomes that no organization working in isolation could achieve, for the broader community's wellbeing..

This effort will progressively reduce the per capita car traffic burden and improve mobility in and around West Palm Beach and Westgate CRA to enable economic growth, save people's precious time, and make everyday life easier – for residents and visitors alike. Invoking best practice policies, incentives and education, the organization must be able to effectuate change in the near and medium term to make more efficient use of the infrastructure we already have, recognizing that infrastructural advances are only possible in the medium and long term.

We recognize that there is no silver bullet to managing the unprecedented economic growth that is coming to our community. While new economic growth is attracted by our community assets and quality of life, new data-driven solutions are necessary to enable continued growth to occur without damaging that quality of life. The TMA at the center of this effort will have a steering workgroup (the Mobility Coalition Leadership Group) that includes top tier leadership from public and private entities that have the greatest influence over access and mobility in our community.

That Mobility Coalition must have a bias towards action, encouraging implementation of data-driven solutions by WPBgo at the collaborative nexus of the public and private sectors.

The TMA will also collect and evaluate data, to include an annual or bi-annual modesplit survey of the West Palm Beach Traffic Concurrency Exclusion Area to measure performance of the near term investments, incentives and collaborations that the collective community undertakes.

Together, WPBgo and the Mobility Coalition Leadership Group that influences it can shape the way we get around for a better quality of life and increased economic opportunity. No longer treating traffic as an externality, we are recognizing that together, traffic volumes and the flow of goods and people are something we can influence to empower economic growth, improve quality of life, and grow access to well paying jobs for the good of the community.

As part of our shared commitment to readying the economic environment of West Palm Beach and Palm Beach County for the growth trajectory that is already apparent, Westgate CRA is dedicated to supporting this effort with an annual commitment of **\$20,000 for the calendar year 2025**, generally billed in Q2 of Calendar Year 2025. This investment will be joined by other investments – both public and private – necessary to operate and sustain WPBgo's employment of best practice congestion reduction and TDM (transportation demand management).

Private sector representatives (1 senior leader per company) of founding partners will be invited to attend The Mobility Coalition Leadership Group meetings bimonthly for the duration of the pledge, and will be close partners with WPBgo as the TMA pursues best practice policies, implements traffic-reducing incentive programs and aids employer, workforce and visitor education to keep West Palm Beach moving and accessible for residents, employees, visitors and dependent businesses alike.

Elizée Michel
Executive Director
Westgate CRA

Jonathan Hopkins
Executive Director
WPBgo

Building a diverse, safe, economically vibrant community.



2024 **Annual Report**
FOR THE FISCAL YEAR ENDING
SEPTEMBER 30, 2024



MESSAGE FROM THE EXECUTIVE DIRECTOR

133



Many of the goals of the Redevelopment Plan were accomplished in 2024. The long-awaited Westgate Avenue streetscape project broke ground as an initiative to encourage economic development and remove slum and blight in the area. The project retained and created many jobs for Palm Beach County residents. This project not only supports the economic development and infrastructure improvements, but also boosts market positioning. Several feet of multipurpose sidewalks were built, enhanced by the installation of decorative streetlights to improve and upgrade pedestrian and bicyclist infrastructure and encourage various modes of transportation.

Housing development received a notable boost with the completion of two medium-density apartment buildings, providing much-needed housing units in the County. Those two developments added over 300 rental units to the housing supply. The CRA contributed additional density and drainage credits to facilitate the developments. In planning, the CRA initiated efforts to reduce parking, streamline cumbersome zoning requirements, modify land use to increase density, and assess traffic patterns and impact measures. Plans are being developed to provide more housing for low-income families, as affordable housing remains one of the County's most pressing needs.

The CRA is involved in various initiatives aimed at enhancing the physical appearance, safety, and overall perception of the community. The streetlight programs are maintained and enhanced each year. Funds are used to support drainage facilities, ensuring their optimal functionality and preventing flooding, thereby minimizing damage to the area. The Agency continues to combat illegal dumping, loitering, and trespassing throughout the community, with numerous efforts to remove debris and maintain a safe and clean environment.

The Tax Increment Financing was leveraged with grants and loans to continue the redevelopment efforts. The District has yet to resolve all of its issues. The Agency will continue to utilize its assets and political capital to achieve all the goals outlined in the Redevelopment Plan. The CRA appreciates its parent jurisdiction, Palm Beach County, for its contribution to redevelopment initiatives and support of the Plan. We are optimistic that next year will be even better.

Elizée Michel, AICP, FRA-RA, HDFP, Executive Director

561-640-8181 x 102

emichel@pbc.gov

Redevelopment Team



Denise Pennell, FRA-RA

Senior Planner/Project Manager

561-640-8181x105

dpennell@pbc.gov



Mai Bui

Redevelopment Specialist/

Administrative Assistant

561-640-8181x101

mbui@pbc.gov



Carmen Geraine

Bookkeeper

561-640-8181x106

cgeraine@pbc.gov

This report is filed with the Palm Beach County Office of Finance, Management & Budgets, and is also on file with the Clerk & Comptroller of Palm Beach County. The report can also be found on the CRA's website at www.westgatecra.org.

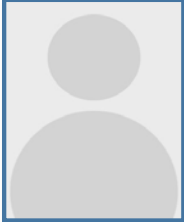
The Annual Report is prepared by Westgate CRA Staff.



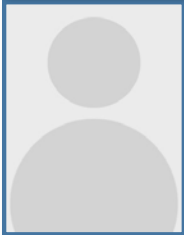
The 7-member Westgate CRA Board, comprised of community residents, business and property owners, are appointed for a 4-year term by the Palm Beach County Board of County Commissioners to guide the implementation of the Community Redevelopment Plan.



Enol Gilles
Board Member, Seat 1



Vacant
Board Member, Seat 2



Vacant
Board Member, Seat 3



Teliska Wolliston
Board Member, Seat 4



Ruth Haggerty, P.E.
Board Member, Seat 5



Ronald L. Daniels
Board Chair, Seat 6



Joanne Rufty
Board Vice-Chair, Seat 7



Our Ongoing Mission

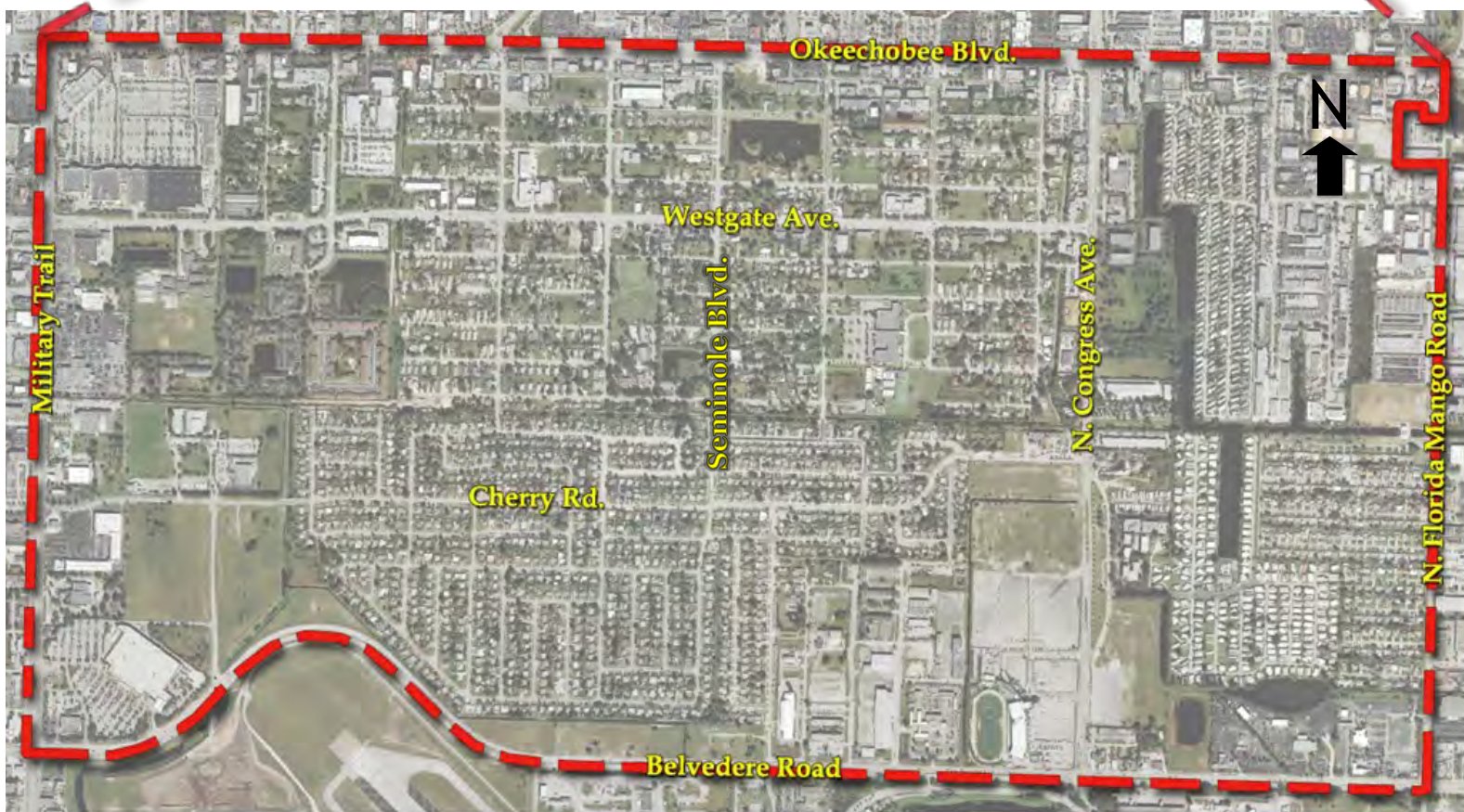
To eliminate blighted conditions and increase the tax base through economic opportunity, new housing availability, community enhancement, and improvements to public transportation, and infrastructure.



Our Vision

A diverse, safe, and economically vibrant community.

The redevelopment area is approximately 1,300 acres or 2 square miles bounded by Okeechobee Blvd. to the north, Florida Mango Rd. to the east, Belvedere Rd. to the south, and N. Military Trail to the west.



Location & Boundary Map

The Westgate area was developed in 1921 as the westernmost gateway into the city of West Palm Beach, and stands as one of the oldest platted subdivisions in Palm Beach County. The community redevelopment area is centrally located in Palm Beach County, and in close proximity to Palm Beach International Airport, I-95, Florida's Turnpike, US Hwy 1, and downtown West Palm Beach.



AN OVERVIEW OF THE WESTGATE CRA

136

Pursuant to the Community Redevelopment Act of 1969, FS 163, Part III, the **Westgate/Belvedere Homes Community Redevelopment Agency**, defined as a dependent special district, was created on May 9, 1989 by the Palm Beach County Board of County Commissioners via Res. #89-6. The CRA will sunset in 2049.

The Westgate CRA is the only Community Redevelopment Agency in unincorporated Palm Beach County, mandated to eliminate slum and blight and effectuate redevelopment pursuant to the goals and objectives of an approved Community Redevelopment Plan.

The CRA receives annual tax increment revenue (TIF) from Palm Beach County based on incremental increases in property values. This revenue can be used for any project or program outlined in the CRA's Community Redevelopment Plan.

The CRA is required by Florida Statutes 163, Part III to report its activities for the fiscal year ending September 30, 2023 by March 31, 2024.

Community Redevelopment Agency Annual Report

Florida Department of Economic Opportunity Special District Accountability Program ID 1168

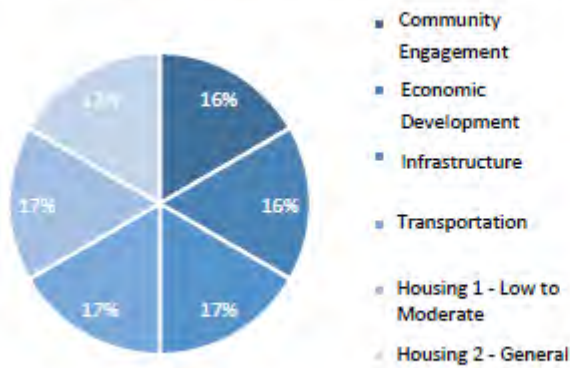
Registered Agent	Mr. Ronald L. Daniels
Mailing/Office Address	1280 N. Congress Avenue, Suite 215
Telephone	(561) 640-8181
Fax	(561) 640-8180
Email	cgeraine@pbcgov.org
Website	www.westgatecra.org
County(ies)	Palm Beach
Local Governing Authority	Palm Beach County
Date Created / Established	Tuesday, May 9, 1989
Creation Documents	County Ordinance 89-6
Board Selection	Local Governing Authority Appoints
Authority to Issue Bonds	Yes
Revenue	Tax Increment Financing
Most Recent Update	Tuesday, October 3, 2017

Total number of Activities started	9
Total number of Activities completed	6
Current Year Taxable Value in CRA	\$786,117,453.00
Actual expended increment revenue	\$1,406,613.00
Base Year Taxable Value in CRA	\$190,169,267.00
Current Year Tax Increment Value	\$595,948,186.00

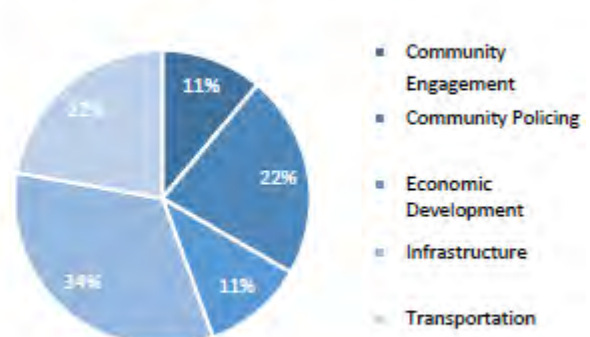
Total amount expended for low and middle income affordable housing	\$531,289.00
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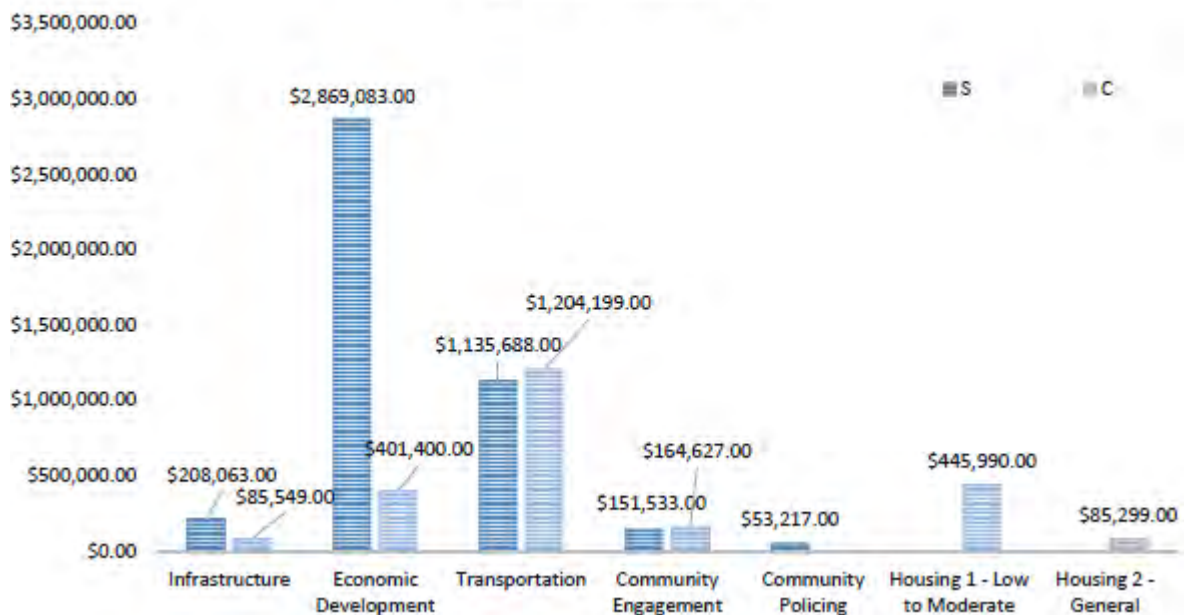
COMPLETED (C) ACTIVITIES BY COUNT



STARTED (S) ACTIVITIES BY COUNT



ACTIVITIES SUMMARY (\$)



The following is a summary of the Westgate CRA's achievement of its Redevelopment Plan goals, programs & projects:

ACHIEVEMENT	CRA PLAN PAGE
Community Engagement	74, 78 — Focus Areas 2 & 4
Community Policing	78, 81 — Focus Areas 4 & 5
Economic Development	70, 82 — Focus Areas 1 & 5
Housing 1— Low to Moderate	86 — Focus Area 6
Housing 2— General	76 — Focus Areas 1 & 3
Infrastructure	79 & 82 — Focus Areas 4 & 5
Transportation	70 & 82— Focus Areas 1 & 5



The State, in adopting Florida Statute 163, Part III, created the CRA's main source of income, tax increment funds (TIF). All CRAs in Florida are dependent taxing districts, which means that they depend upon other taxing districts to make contributions to their trust fund. TIF funds are based upon the added value of property valuations within a CRA district once the base year has been set by a CRA's governing body.

The Palm Beach County Board of County Commissioners created the Westgate CRA in 1989 and pledged an annual TIF from the General Fund and Fire Rescue MSTU to create the CRA's Trust Fund in accordance with Florida Statute 163, Part III. In the year the CRA was established, its base year property valuation (taxable value) amounted to **\$190,169,267**.

Historical Taxable Property Values

Calendar Year	CRA Taxable Values	Net Change from Previous Year	Percent Change from Previous Year
1988	190,169,267		
2005	329,749,687		
2006	390,996,979	61,247,292	18.5%
2007	512,487,263	121,490,284	31%
2008	544,306,595	31,819,332	6.2%
2009	556,004,505	11,697,910	2.1%
2010	462,927,140	(93,077,365)	(16.8%)
2011	365,451,066	(97,476,074)	(21%)
2012	341,996,623	(23,454,443)	(6.4%)
2013	345,390,869	3,394,246	.99%
2014	367,146,237	21,755,368	6.3%
2015	344,771,209	(21,755,368)	(5.9%)
2016	395,436,502	50,665,293	14.7%
2017	434,152,267	38,715,765	10.9%
2018	465,303,909	31,151,642	7.18%
2019	489,710,927	24,407,018	5.2%
2020	537,943,577	48,232,650	9.8%
2021	565,094,312	27,150,735	5%
2022	638,445,844	73,349,532	12.9%
2023	718,535,963	80,052,387	12.5%

Trajectory of Increment Financing

The property valuation for the previous fiscal year amounted to **\$718,535,963**, representing a **12.5%** increase from the previous years' valuation. The incremental difference, subtracting the taxable value of the base year from the final taxable value considered for the previous budget year amounts to **\$528,366,696**. Given the tax rate of Palm Beach County at 4.5 mils and the Fire Rescue District's rate of 3.4581 mils, the Westgate CRA's tax increment income, after a 5% required statutory reduction, was **\$3,994,555** for FY 2024.



Prior to 2005, the TIF remained under \$1,000,000 a year. Though it grew to \$2.3 million in 2008/2009 at the height of the real estate market, it fell back to its lowest amount since to \$1.1 million in 2011/2012. After that dip, we have seen a steady increase. In the fiscal year 2024, the CRA recorded an increase in its TIF revenue of nearly 14%. Tax increment revenue, leveraged with grant funds, is used to complete infrastructure improvements, housing, economic development, and transportation projects throughout the CRA area.

Historical Increment Revenues

Calendar Year	Taxable Value	Taxable Value Increment	County Millage	Fire Rescue Millage	Tax Revenue	Statutory Reduction	Final Tax Increment	Changes	Percent Changes
1988	190,169,267	Base Year							
2006	329,749,687	139,580,420	0.0045000	0.0031990	1,074,630	0.950	1,020,898		
2007	390,996,979	200,827,712	0.0044500	0.0030990	1,516,048	0.950	1,440,246	419,348	41%
2008	512,487,263	322,317,996	0.0042800	0.0029800	2,340,029	0.950	2,223,027	782,781	54%
2009	544,306,595	354,137,328	0.0037811	0.0027794	2,323,318	0.950	2,207,152	(15,875)	(1%)
2010	556,004,505	365,835,238	0.0037811	0.0029500	2,462,474	0.950	2,339,350	132,198	6%
2011	462,927,140	272,757,873	0.0043440	0.0034581	2,128,084	0.950	2,021,680	(317,670)	(14%)
2012	365,451,066	175,281,799	0.0047500	0.0034581	1,438,731	0.950	1,366,794	(654,886)	(32%)
2013	341,996,623	151,827,356	0.0047815	0.0034581	1,250,997	0.950	1,188,447	(178,347)	(13%)
2014	345,390,869	155,221,602	0.0047815	0.0034581	1,278,964	0.950	1,215,016	26,569	2%
2015	367,146,237	176,976,970	0.0047815	0.0034581	1,458,219	0.950	1,385,308	170,293	14%
2016	344,771,209	154,601,942	0.0047815	0.0034581	1,273,858	0.950	1,210,165	(175,143)	(13%)
2017	395,436,502	205,267,235	0.0047815	0.0034581	1,691,320	0.950	1,606,754	396,589	33%
2018	434,152,267	243,983,000	0.0047815	0.0034581	2,010,323	0.950	1,909,806	303,052	19%
2019	465,303,909	275,134,642	0.0047815	0.0034581	2,266,999	0.950	2,153,649	243,843	12.7%
2020	489,710,927	299,541,660	0.0047815	0.0034581	2,468,103	0.950	2,344,698	191,049	9%
2021	537,943,577	347,774,310	0.0047815	0.0034581	2,865,521	0.950	2,722,245	377,548	16%
2022	565,094,312	374,925,045	0.0047815	0.0034581	3,089,232	0.950	2,934,771	212,525	7.8%
2023	638,445,844	448,276,577	0.0047815	0.0034581	3,693,620	0.950	3,509,234	574,168	19.6%
2024	718,535,963	528,366,696	0.004500	0.0034581	4,204,795	0.950	3,994,555	485,616	13.8%

*Annual peak increment revenue

NOTES ON PROPERTY VALUATION & TAX INCREMENT:

Increase from Base Year Taxable Value to 2024:

★ **\$528,366,696**

10-Year Increase in Final Increment Revenue:

★ **\$2,779,539**

Tax increment revenue was **\$3,994,555** for FY 2024 representing a **14% increase** from the previous budget year.



AUDITED FINANCIAL STATEMENTS

140

In accordance with F.S. 163.387(8), the CRA's Annual Audit Report was completed on February 14, 2025 by independent auditors and distributed to each taxing authority. Audited financial statements for the CRA are included within Palm Beach County's Annual Comprehensive Financial Report (ACFR) for the year ending September 30, 2024. The Audit Report is also available on the CRA's website. Below is a snapshot.

Westgate/Belvedere Homes Community Redevelopment Agency (A Component Unit of Palm Beach County, Florida)

Statement of Activities For the Fiscal Year Ended September 30, 2024

	Governmental Activities
Expenses:	
General government	\$ 1,515,188
Redevelopment projects	6,669,946
Retirement of principal	638,194
Total expenses	<u>\$ 8,823,328</u>
General revenues:	
Incremental property taxes	\$ 3,980,907
Grants	31,622
Interest	68,884
Rental income	27,540
Other	14,461
Total general revenues	<u>\$ 4,123,414</u>
Change in net position	(4,699,914)
Net position - beginning of year	15,234,494
Net position - end of year	<u>\$ 10,534,580</u>

Westgate/Belvedere Homes Community Redevelopment Agency (A Component Unit of Palm Beach County, Florida)

Balance Sheet Governmental Funds For the Fiscal Year Ended September 30, 2024

	General	Capital Projects	Revenue Note, Series 2022 Project Fund	Revenue Note, Series 2022 Debt Service Fund	Total Governmental Funds
Assets					
Cash and cash equivalent	\$ 2,723,045	\$ 105,227	\$ -	\$ 338,238	\$ 3,166,510
Rent receivable	3,675	-	-	-	3,675
Project advances	-	1,505,061	5,638,509	-	7,143,570
Prepaid expenses	26,470	-	-	-	26,470
Assets held for resale	3,159,108	-	-	-	3,159,108
Other assets	4,884	-	-	-	4,884
Total assets	<u>\$ 5,917,182</u>	<u>\$ 1,610,288</u>	<u>\$ 5,638,509</u>	<u>\$ 338,238</u>	<u>\$ 13,504,217</u>
Liabilities and fund balances					
Liabilities					
Accounts payable and accrued expenses	\$ 71,454	\$ -	\$ -	\$ 167,181	\$ 238,635
Total liabilities	<u>71,454</u>	<u>-</u>	<u>-</u>	<u>167,181</u>	<u>238,635</u>
Fund Balances					
Nonspendable:					
Assets held for resale	3,159,108	-	-	-	3,159,108
Prepaid expenses	26,470	-	-	-	26,470
Restricted:					
Community Development	2,660,150	1,610,288	5,638,509	-	9,908,947
Debt service	-	-	-	171,057	171,057
Total fund balances	<u>5,845,728</u>	<u>1,610,288</u>	<u>5,638,509</u>	<u>171,057</u>	<u>13,265,582</u>
Total liabilities and fund balances	<u>\$ 5,917,182</u>	<u>\$ 1,610,288</u>	<u>\$ 5,638,509</u>	<u>\$ 338,238</u>	<u>\$ 13,504,217</u>

In FY 2024, the CRA
reported \$4.12
million in general
revenues

QUICK FISCAL YEAR FACTS:

- ★ Revenue from incremental property taxes comprised 96.5% of total general revenue
- ★ \$5,638,509, a portion of the 2022 Revenue Bond, is restricted for advances to the County Engineering Department to construct TPA transportation projects
- ★ The CRA expended \$669,946 million on Redevelopment Projects in the 2024 budget year
- ★ In FY 23, the CRA held \$3.5 million in assets for resale, and total assets including government funds equaling \$18.8 million



Streetscape Projects

Improving Connectivity, Safety, Walkability & Stimulating Investment Interest



Seminole Boulevard Complete Streets

Seminole Boulevard, which intersects with Westgate Avenue, is an important north-south connector within in the district, extending from Okeechobee Blvd. to Troy Blvd. This project will tie into planned Westgate Avenue improvements by installing landscaping and pedestrian scale streetlights, and constructing 10-12' multi-use paths on each side of the roadway from Okeechobee Blvd. to Oswego Avenue.

In FY 19, the CRA, in partnership with PBC Engineering, was awarded **\$1 million** in FDOT funding from the Palm Beach TPA TAP grant program to implement the project.

PROJECT UPDATES:

Construction on the Seminole Blvd. project was completed by October 2024. The Cherry Rd. project is programmed to mobilize construction in Spring 2025.

The CRA spent \$1,605,599 in advance payments to PBC Engineering for the construction of the Seminole Blvd. project, and \$179,328 for design for the Cherry Rd. project.

In FY24, the CRA continued its efforts to improve transportation options, and create a safe, multi-modal network throughout the redevelopment area.

Project Partners:



Cherry Road Pedestrian Improvements

Cherry Road is the primary access point into the Belvedere Homes (Golfview Heights) Neighborhood from Military Trail. The project seeks to improve pedestrian and bicyclist facilities by adding a 10-12' multi-use path on the north side of the roadway, sidewalks to portions along the south, as well as pedestrian-scale streetlights for nighttime safety and landscaping to provide shade.

In FY 20, the CRA, in partnership with PBC Engineering, was awarded **\$1 million** in FDOT funding from the Palm Beach TPA TAP grant program to complete the project.



PLAN IMPLEMENTATION : ECONOMIC DEVELOPMENT & TRANSPORTATION:

Focus Area 1, Economic Development & Redevelopment (Obj. 1.2.3, Project 1.4.1.);

Focus Area 5, Public Infrastructure Improvements & Public Spaces (Program 5.4.6. & 5.4.7.)



Westgate Avenue Corridor Complete Streets

Capital Improvements Project + Economic Development Driver

This project reduces lanes from five to three on **Westgate Avenue** from Suwanee Avenue to Wabasso Drive, adds bike lanes, on-street parking, pedestrian-scale lighting, and landscaping in the right-of-way.

During the FY 2018 Transportation Planning Agency (TPA) Local Initiatives (LI) grant cycle, the CRA, in partnership with PBC Engineering, was awarded **\$3.23 million** in funding from FDOT to implement the project. The CRA's contribution to project costs is **\$7.9 million**.

The project is anticipated to cost \$11.14 million.

PROJECT UPDATE:

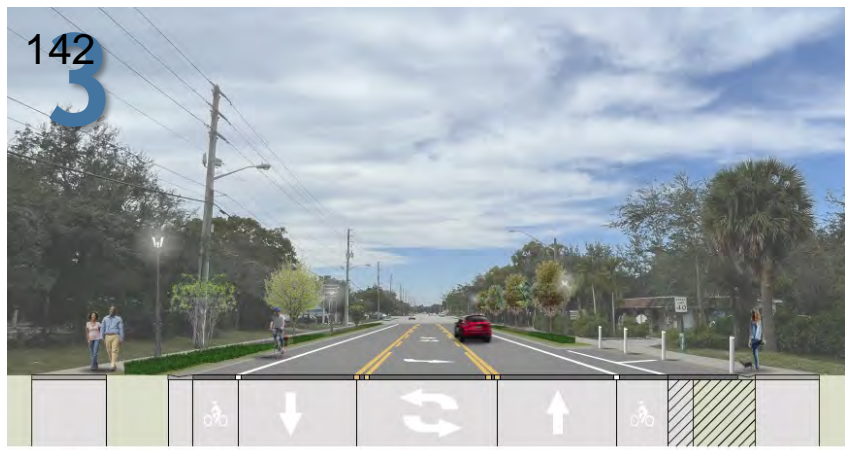
In FY24, an advance payment totaling **\$3,825,443** was issued to PBC Engineering for the construction of the project.

Construction of the Westgate Ave. project will be closed out by March 2025.

Westgate Avenue will be the first complete streets project in the County.

The project was conceived through a 2016 grant awarded by the Department of Economic Opportunity (DEO) Community Planning Technical Assistance Program for the preparation of a Westgate Avenue Corridor Streetscape Plan.

The Plan created a streetscape design to improve functionality, walkability and multi-modal transit opportunities, and to beautify, enhance and create an environment to attract new investment along the Westgate Avenue corridor. The Streetscape Plan incorporated input from community and local government stakeholders via a two-part charrette process.



Project Partners:



PLAN IMPLEMENTATION : ECONOMIC DEVELOPMENT & TRANSPORTATION

Focus Area 1, Economic Development & Redevelopment (Obj. 1.2.3, Project 1.4.1.); Focus Area 5, Public Infrastructure Improvements & Public Spaces (Program 5.4.7.)

Streetlights Program

The CRA sets aside an amount from the yearly budget to pay for power to 163 light standards in residential and commercial areas of North & South Westgate Estates. The CRA has also installed and pays for 40 decorative streetlights on Cherry Road in the Belvedere Homes neighborhood, as well as backyard security lighting for several private homes. In 2024, **\$43,497** was paid to FPL to power additional streetlights in the community.

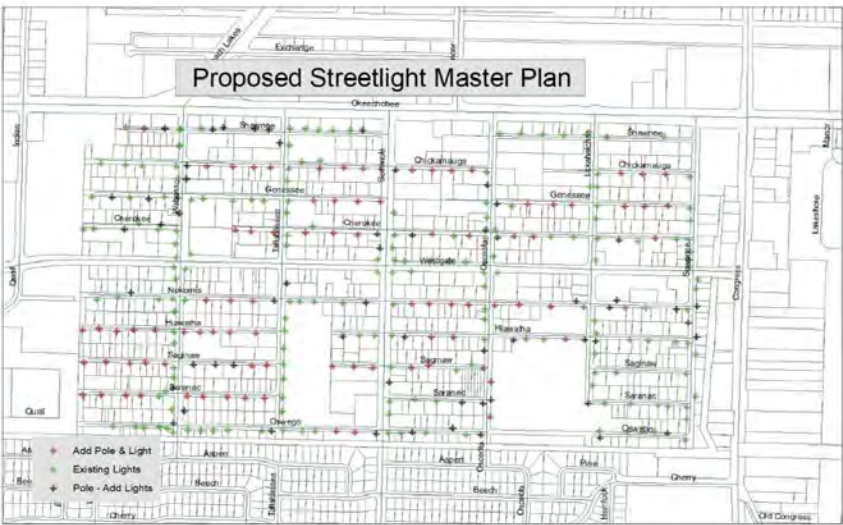
In 2022, the CRA began working with Florida Power & Light to install additional streetlights in dark areas of the North & South Westgate Estates neighborhoods. This project will be completed in the 2025 fiscal year.

Neighborhood Clean-Up, Landscape & Utilities Maintenance, and Enhanced Security for Public Spaces

In 2024 the CRA allocated **\$112,503** to maintain the landscaping and irrigation systems on its properties, wet and dry retention areas, and neighborhood parks. The CRA also funds the removal illegally dumped trash on and around its vacant properties.

In 2022, the Agency installed security cameras in several locations in the District to discourage loitering and petty crime such as graffiti and vandalism.

The CRA sets aside **\$44,649** for the operation of the L2 Canal Pump Station to ensure water conveyance in low-lying areas of the District during storm events.



PBSO Satellite Office

Through a 2008 rental agreement with a private property owner, the CRA opened a satellite office in South Westgate Estates for **Palm Beach County Sheriff’s Community Policing Deputies** to utilize for rest and work during shifts in the Westgate CCRT area.

The intent is to have a comfortable, accessible space for deputies and to provide an active police presence in the community, in a neighborhood that requires constant police presence. The CRA utilized **\$8,679** in increment revenue funds in 2024 to operate this important resource. PBSO Community Policing Deputies also attend CRA community engagement events.

PLAN IMPLEMENTATION : COMMUNITY ENGAGEMENT & INFRASTRUCTURE

Focus Area 2, Infrastructure (Program 2.4.2); Focus Area 4, Community Improvement (Program 4.2.2., 4.4.3.); Focus Area 5, Public Infrastructure Improvements (Program 5.4.1., 5.4.9.)



Missing Middle Housing

“Missing middle” building types, such as two and three-story townhouses, fourplexes, courtyard buildings, or live/work, provide a diversity of housing options, and support locally-serving retail and public transportation options.

The form and scale of missing middle housing differs in number of units, affordability, and in construction, and end-user rents, making these housing types ideal for small-scale mid-density infill redevelopment. Bonus density from the WCRAO Density Bonus Pool was allocated to these missing middle projects in FY 2024, to support workforce housing production:

1302 Tallahassee Drive Multifamily

- * 7-unit, 2-story multifamily development on .41 acres
- * 4 WCRAO bonus density units for 17 du/acre

Norwest Pointe

- * 9-unit, 2-story multifamily development on .54 acres
- * 5 WCRAO bonus density units for 16.7 du/acre

1302 Tallahassee Drive



Norwest Pointe



BEFORE



AFTER



Neighborhood Preservation Program

The NPP encourages the preservation and rehabilitation of existing single family housing stock in the residential areas of North & South Westgate Estates, Belvedere Homes, and Belvedere Heights.

The CRA offers reimbursable grant funding to homeowners up to a maximum of \$6,000 to correct existing code deficiencies, structural issues, assist with weatherization, accessibility, and general property improvements.

In FY 2024, **\$85,299** in NPP grant funds were awarded to 16 individual homeowners. The majority of grant funds were used to assist with roof replacements due to home Florida insurance demands for older homes.

Homeowners of the Belvedere Homes property on the left utilized the NPP to assist with termite extermination, improved landscaping, driveway resurfacing, and painting.

PLAN IMPLEMENTATION : HOUSING

Focus Area 6, Planning for Redevelopment (Program 6.4.2.a.);
Focus Area 3, Housing (Program 3.4.1., and 3.4.2.)

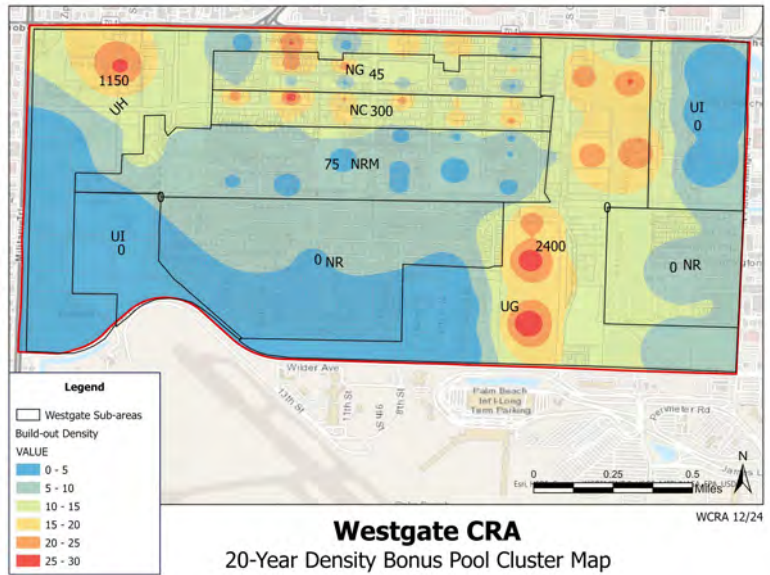


Bonus Density Initiative

The **Westgate Community Redevelopment Area Overlay (WCRAO)** is a special overlay within the County's Comprehensive Plan and Unified Land Development Code (ULDC) created to encourage the development and redevelopment of the Westgate area through regulatory incentives, smart growth, form-based code principles, and urban design that allows for mixed use development, and increased densities and intensities, furthering the implementation of the CRA's Redevelopment Plan.

In 2005, the BCC assigned 1,300 bonus units to a floating pool Density Pool, reducing the need for future land use amendments, expediting permitting, and accelerating housing output.

An uptick of residential projects in the CRA are depleting the Pool. Triggered by the redevelopment of the 47-acre Palm Beach Kennel Club site, which proposes 1,200 residential units in a phased program, in July 2024, the CRA initiated a Comp Plan text amendment to increase the number of units available in the Pool by 3,000. To support a 20-year build out horizon, this projection considers density clusters along arterials (TOD), and the redevelopment of three large underutilized sites. The amendment is anticipated to be adopted by the BCC end of FY 25.



SFWMD Compensating Floodplain Storage Mitigation Bank

The CRA district is the lowest point within the C51 Drainage Basin. Improvements to drainage capacity, stormwater storage, and flood mitigation have remained a priority for the Agency since its creation. The Dennis P. Koehler Preserve is a +/- 7 acre retention lake created by the CRA within the North Westgate Estates neighborhood, just south of Okeechobee Blvd. In 2022, work began to formalize a compensating floodplain storage mitigation bank with South Florida Water Management District (SFWMD) with the goal of creating a bank of compensating storage for use by redevelopment projects. In FY 24, **the CRA allocated 6 acre feet of mitigation bank credits for the redevelopment of the Kennel Club site.**

In FY24, the CRA spent **\$6,726** in engineering technical assistance to formally establish credits in the mitigation bank. A valuation of mitigation bank credits is underway.



Lot Clean-up & Demolition of Blighted Structure for Future Redevelopment

In FY 2023 the CRA was awarded \$40,122 from the Palm Beach County Solid Waste Authority Blighted & Distressed Properties Clean-up Program for the demolition of a blighted structure on a CRA owned parcel located at 1304 Seminole Blvd. The final \$20,061 disbursement was received from the SWA in FY 24.

The CRA spent **\$85,549** to demolish the structure in March of 2024. The structure had become inhabitable and unsafe. Illegal dumping and trespassing had become problematic. The CRA will hold this lot for future private redevelopment.

PLAN IMPLEMENTATION — ECONOMIC DEVELOPMENT:

Focus Area 4, Community Improvement (Program 4.4.3); Focus Area 6, Planning (Program 6.4.2. & 6.4.6.); Focus Area 3, Housing

SPOTLIGHT ON REDEVELOPMENT: CONGRESS AVENUE

146

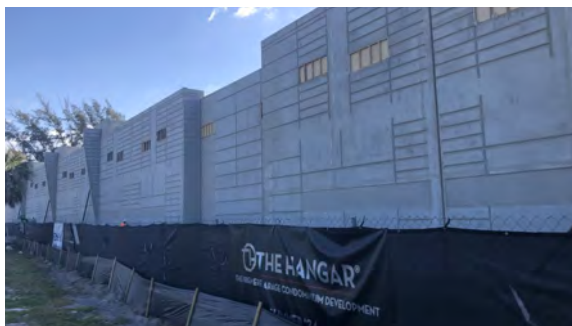
The Palm Beach Kennel Club

The historic Palm Beach Kennel Club sits on 47 acres at the intersection of Congress Avenue and Belvedere Road, directly north of PBIA. The site is one of the largest privately owned properties within the CRA District. The Kennel Club has been in operation since 1932; greyhound racing ceased in 2020. The Rooney Family will relocate the facility to 5 acres on the north portion of the site, and continue to operate gaming rooms, simulcast and pari-mutuel betting, entertainment, and restaurant uses—the remaining 42 acres is under redevelopment by a local development group with 1,200 housing units in a mixed use development.

- * 5 acre site
- * Building 1: 60,286 sf
 - * Indoor entertainment (913 seats) — 33,425 sf
 - * Accessory office — 21,922 sf
 - * Type 2 Restaurant (108 seats) — 4,939 sf
- * Building 2: 5,271 sf including a Type 3 Kennel, and 4-story 903 space parking structure



Under Construction



The Hangar & Airfield

- * 11.72 acre site formerly owned by PBKC
- * 244,865 sf. of warehouse, office, community space, vehicle repair, and sales
- * Owners lounge & rooftop deck
- * Concrete tilt-wall construction
- * 68 storage units ranging in size from 1,591 sf to 4,502 sf
- * Ceiling heights 18-20 ft. + mezzanine
- * Condominium ownership
- * 88% of units sold
- * **Construction to be completed in Spring 2025**

PLAN IMPLEMENTATION — ECONOMIC DEVELOPMENT & COMMUNITY IMPROVEMENT:

Focus Area 1, Economic Development & Redevelopment (Program 1.4.3.)



<https://www.westgatecommunityfarm.com/>

The **Westgate Community Farm** sits on an acre of CRA-owned land in an area identified by the USDA as a 'food desert'. The Farm is dedicated to using sustainable farming practices to provide organically grown produce for the Westgate community at a nominal cost. Individual plots and raised beds are made available for individual residents.

With an in-house garden manager, farm hand and part-time community resident apprentice, the Farm also serves as a gathering and educational place, offering mentorship and apprenticeship programs, field trips to local schools, a monthly Community Work Day, and volunteering opportunities. The Farm exposes non-resident visitors to the potential of Westgate area. The Farm is funded with CRA TIF. All sales are used to supplement the Farm's budget and improve the program.



The Farm participates in the **USDA's Supplemental Nutrition Assistance Program (SNAP)** which allows qualified residents to pay with food stamps (EBT) at weekly Greenmarket days.

The Westgate Greenmarket is one of six partner farmers' markets in south Florida, and the only market in Palm Beach County, that participates in **Feeding Florida's Fresh Access Bucks (FAB) program** which doubles SNAP benefits to purchase Florida-grown produce.

In FY 2024, the CRA spent **\$151,533** to fund the Farm program.

WESTGATE COMMUNITY FARM PROGRAM BY THE NUMBERS:

-  **\$14,662 in total Farm sales**
-  **7 gardening workshops & 6 children's events with a total of 175 attendees**
-  **\$2,079 EBT sales & Fresh Access Bucks distributed**
-  **\$4,159 EBT & FAB transactions**

PLAN IMPLEMENTATION — COMMUNITY ENHANCEMENT:

Focus Area1. Economic Development; Focus Area 2, Market Positioning; & Focus Area 4, Community Improvement (Obj. 4.2.4. & Program 4.4.1.)

**Westgate/Belvedere Homes Community Redevelopment Agency
Palm Beach County**

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