

WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY

Monday September 9, 2024 Board Meeting

1280 N. Congress Ave. Suite 215

West Palm Beach FL 33409

NOTE: Agenda Summary (Pages 3-10)

Staff Report (Pages 11 - 16)

- I. CALL TO ORDER / ROLL CALL**
- II. AGENDA APPROVAL**
 - 1. Additions, Deletions, Substitutions to Agenda**
 - 2. Adoption of Agenda**
- III. ADOPTION OF W/BH July 8, 2024 CRA MINUTES (Pages 17 - 20)**
- IV. PUBLIC COMMENTS**
- V. DISCLOSURES**
- Vi. CONSENT AGENDA**
 1. Approval of Agreement with Higgins Engineering (Pages 21-25).
 2. Approval of Site Development Assistance Program (SDAP) Grant for Elite Capital & Development for Four Single Family Homes on 3156, 3164, 3172, and 3180 Hiawatha Avenue and Seven Single Family Homes on 2702, 2704, 2706, 2708, 2710, 2712, and 2714 Nokomis Avenue. (Pages 26 - 53).
 3. Approval of Holiday Lighting and Decoration Services for Oswego Oaks Park and Dennis P. Koehler Preserve (Pages 54 - 56).
- VII. REGULAR AGENDA**
 1. DRO Approval of WCRAO Bonus Density and Type 1 Waivers for Landscaping for NorWest Pointe (Pages 57 - 86)
 2. DRO Approval of WCRAO Bonus Density and Type 1 Waivers for Landscaping for 1302 Tallahassee Drive (Page 87 - 125)
 3. Adoption and Approval of FY 2024-2025 Budget (Pages 126 – 130)

4. Approval of Funding for the Construction of the Cherry Road Transportation Planning Agency Funded Project (Pages 131 - 132)

VIII. REPORTS

- A. Staff Reports**
Correspondence (Pages 133 -134)
- B. Attorney's Report**
- C. Committee Reports and Board Comments**
 1. Administrative/Finance –
 2. Capital Improvements – Chair, Mr. Daniels
 3. Land Use –
 4. Real Estate – Chair, Mr. Kirby
 5. Marketing –
 6. Community Affairs –
 7. Special Events – Chair, Ms. Ruffy

IX. ADJOURNMENT

ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE BOARD WILL BE BARRED FROM FURTHER AUDIENCE BEFORE THE BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD AS GRANTED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.

IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING, HE WILL NEED A RECORD OF THE PROCEEDING, AND FOR SUCH PURPOSE HE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

ON JUNE 7, 1994, THE BOARD OF COUNTY COMMISSIONERS APPROVED RESOLUTION NO. 94-693, KNOWN AS THE CODE OF ETHICS. UNDER SECTION 11, IT IS REQUIRED THAT PAID AND UNPAID LOBBYISTS REGISTER. PLEASE REFER TO SECTIONS 11.01 AND 11.02 IN THE CODE OF ETHICS FOR REGISTRATION SPECIFICS. FOR YOUR USE, REGISTRATION FORMS ARE AVAILABLE FROM THE CRA'S ADMINISTRATIVE ASSISTANT.

AGENDA ITEMS
Westgate/Belvedere Homes CRA Board Meeting
In Person and Via Zoom
September 9, 2024

CONSENT AGENDA

1. Approval of Agreement with Higgins Engineering to Provide Water Management Services and Environmental Resource Permit (ERP) Application to Establish Compensating Storage Credits for the Westgate CRA

A. Background and Summary: Higgins Engineering has worked with the South Florida Water Management District (SFWMD) over the last two years to recapture compensating storage credits created by the Dennis Koehler Preserve built by the CRA within the C-51 Canal Basin that were not memorialized by the district. The current task is to submit a new Environmental Resource Permit to SFWMD to request compensating storage credits created by other detention ponds built by the CRA within the basin that may be available for other redevelopment projects.

To accomplish this goal, Higgins Engineering, Inc. will have a pre-application meeting with SFWMD, evaluate the 100-year flood elevations in light of the CRA projects, submit the ERP application to SFWMD, and provide additional information as requested.

Additionally, Higgins Engineering Inc. will research all the previous ERPs issued to the CRA for the South Westgate and the North Westgate by SFWMD for surface water management. The firm will provide the information requested by SFWMD and attend the required meetings to discuss the request.

Higgins Engineering, Inc. has proposed to complete these tasks for \$15,000.00.

B. Recommendation: Approve an agreement with Higgins Engineering to provide the ERP services for \$15,000.00.

2. Approval of Site Development Assistance Program (SDAP) Grant for Elite Capital & Development for Four Single Family Homes on 3156, 3164, 3172, and 3180 Hiawatha Avenue, and 2702, 2704, 2706, 2708, 2710, 2712, and 2714 Nokomis Avenue.

A. Background and Summary: Elite has applied for an SDAP grant to assist with the development of four single-family homes on 25-foot lots in the 3100 Block of Hiawatha Avenue, and seven single-family homes in the 2700 of Nokomis Avenue in South Westgate Estates in the Neighborhood Residential Medium Density (NRM) Sub-Area. Elite Capital & Development Inc. is a housing development corporation operating in Palm Beach County since 2015. The corporation has already built 26 single-family units in the CRA and has received \$100,000 in site development assistance grant. These houses will have 1,177 SF under air, and a total of 1,273 SF under roof including the covered porch and back patio. The developer uses CBS construction, impact-rated windows, tankless water heaters, 42” cabinets with Dallas White granite stone, paver driveway and patio, stainless steel appliances, and other standard features for the houses.

The corporation has requested a grant of up to \$15,000 per program guidelines from the CRA’s Site Development Assistance Program (SDAP) for the four homes on Hiawatha and \$35,000 for the seven homes on Nokomis. The funds will be used to enhance the quality of the homes. The program allows \$5,000 per home, up to \$15,000 for a development with five contiguous dwellings or less, and up to \$40,000 for a development with more than five contiguous dwelling units.

The application meets the program eligibility guidelines. The SDAP is a reimbursement-based grant that provides funding after the project is completed and a certificate of occupancy is received. The developer is a small business enterprise.

B. Recommendation: Staff recommends approving a reimbursement grant of \$50,000 from the Site Development Assistance Grant Program for Elite Capital & Development Inc. for four single-family homes on Hiawatha Avenue and seven single-family homes on Nokomis Avenue.

3. Approval of Holiday Lighting and Decoration Services for Oswego Oaks Park and Dennis P. Koehler Preserve

A. Background and Summary: Best Holiday Lighting LLC proposes to provide holiday lighting and decoration services for the Oswego Oaks Neighborhood Park and Dennis P. Koehler Preserve at \$12,000 a year through a five-year agreement. It will cost \$15,000 a year without the five-year agreement.

B. Recommendation: Staff recommends that the Board approve the proposal of \$12,000 annually for five years.

REGULAR AGENDA

1. DRO Approval of WCRAO Bonus Density and Type 1 Waivers for Landscaping for NorWest Pointe

- A. **Background and Summary:** The subject +/- 0.54-acre site is located on the northwest corner of Westgate Avenue at Tallahassee Drive, extending the full block depth north to Cherokee Avenue. The property is comprised of two lots, and is vacant, with overgrown vegetation on the northernmost parcel. Zoning records indicate no prior uses or resolutions. The site is in the NC (Neighborhood Commercial) Sub-area of the WCRAO. The County's Managed Growth Tier System classifies the WCRAO as within the U/S (Urban/Suburban) Tier, the RRO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area) Study area, and in the Westgate CCRT area.

The site has a Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre). To facilitate the entitlement process and to allow the site to develop as multifamily, the applicant was required by the Zoning Division to rezone the site for zoning map consistency as a standalone application, in advance of the DRO approval process for bonus density. The site previously supported a split zoning designation, with the lot at the southwest corner of Cherokee Avenue at Tallahassee Drive within the RH (Multifamily Residential) zoning district and the lot fronting Westgate Avenue at Tallahassee Drive within the CN (Neighborhood Commercial) zoning district. The CRA Board provided recommendation of approval at their November 2023 meeting, and in July 2024, the site was approved for an Official Zoning Map amendment. The site is now fully within the RM (Multifamily Residential) zoning district.

The project is compatible with existing development. To the east of the subject site is a vacant lot which fronts Westgate Avenue, and a single-family residential use along Cherokee Ave., both zoned CG. A CG-zoned vacant residential lot is to the north of the site. To the west is an existing single-family use; zoned CG. Across Westgate Avenue to the south of the site are commercially zoned properties operated by KCL Plumbing, a plumbing contractor. All adjacent properties have a CH/8 FLU.

Proposed Development – NorWest Pointe

The parcels that comprise the site were purchased by the current owner in 2017. The applicant proposes to develop a two-story 9-unit multifamily townhouse-style rental project consisting of six (6) 2-bedroom units and three (3) 1-bedroom units; each at 1,377 sf. The future land use allows the site to develop 4 units by right. Since the project proposes 9 units, an additional 5 units are requested from the WCRAO Density Bonus Pool (DBP), subject to DRO review and approval. The increase in density offered by the DBP pool will provide for an overall site density of just over 16 dwelling units per acre. The applicant is also submitting an administrative Type 1 Waivers for landscape buffer reductions. The project buildout is anticipated to be 2028.

Summary of Petition

The applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Development Review Officer (DRO) approval of five (5) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the ROW landscape buffers along both Westgate Avenue and Tallahassee Drive; and,
3. Any additional variances or waivers necessary to obtain entitlements.

The proposed use and site plan are consistent with the goals and objectives of the Westgate CRA Community Redevelopment Plan and generally comply with the provisions and standards of the WCRAO zoning overlay.

B. Recommendation: Staff recommends **approval** of the following application requests:

1. Development Review Officer (DRO) approval of five (5) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the ROW landscape buffers along both Westgate Avenue and Tallahassee Drive; and,

3. Approval of any additional variances or waivers necessary to obtain entitlements.

2. DRO Approval of WCRAO Bonus Density and Type 1 Waivers for Landscaping for 1302 Tallahassee Drive

A. **Background and Summary:** The subject +/- 0.41-acre site is located on the southeast corner of Cherokee Avenue at Tallahassee Drive. The property is comprised of a single parcel and currently supports a duplex residential use. The site is in the NC (Neighborhood Commercial) Sub-area of the WCRAO. The County's Managed Growth Tier System classifies the WCRAO as within the U/S (Urban/Suburban) Tier, the RRO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area) Study area, and in the Westgate CCRT area.

The site has a zoning classification of CG (Commercial General) and a Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre).

The project is compatible with existing development. To the east of the subject site is a single-family residence fronting Cherokee Avenue zoned RH, or Multifamily Residential. Westgate New Testament Church, an RH-zoned place of worship is to the north of the site. To the west is the proposed NorWest Pointe multifamily project; the site is vacant with RM zoning. To the south is a vacant parcel, zoned CG. All adjacent properties have a CH/8 FLU.

Proposed Development

The applicant proposes to develop a two-story 7-unit multifamily townhouse-style rental project consisting of seven (7) 2-bedroom units on 0.41 acres. Each unit is proposed to be a total of 1,300 sf.. The existing duplex will be demolished to accommodate new construction. The site has a future land use classification of CH/8. A total of 3.28, or 3 units, are permitted by right through the base density. To achieve 7 units, the project may request additional density through the WCRAO Density Bonus Program. Additional bonus density of 4.01 – 22 bonus units per acre requires DRO approval. Since only 2 bonus units are allowed by right through the Program, the additional density needed to realize 7 units must

be approved by the DRO. The increase in density offered by the DBP pool will provide for an overall site density of just over 17 dwelling units per acre. The applicant is submitting concurrent applications for Zoning entitlements and Building permits, along with administrative Type 1 Waivers for landscape buffer reductions. The buildout of the project is anticipated to be 2026.

Summary of Petition

The applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Development Review Officer (DRO) approval of four (4) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 3 ft. in the west ROW landscape buffer, and a reduction of 10 ft. in the south incompatibility landscape buffer to allow for parallel parking; and,
3. Approval of any additional variances or waivers necessary to obtain entitlements.

The proposed use and site plan are consistent with the goals and objectives of the Westgate CRA Community Redevelopment Plan and generally comply with the provisions and standards of the WCRAO zoning overlay.

B. Recommendation: Staff recommends **approval** of the following application requests:

1. Development Review Officer (DRO) approval of four (4) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 3 ft. in the west ROW landscape buffer, and a reduction of 10 ft. in the south incompatibility landscape buffer to allow for parallel parking; and,
3. Approval of any additional variances or waivers necessary to obtain entitlements.

3. Adoption and Approval of FY 2024-2025 Budget

A. **Background and Summary:** This is the second reading of the Budget. The Budget includes five parts, the Redevelopment Trust Fund, the Capital Improvement Project, the Transportation Enhancement grants, the Debt Service Fund, and the Reserve Fund. The Redevelopment Trust Fund presents all the items funded by tax increment revenues and rental income in a line-by-line format. The total amount projected for the Tax Increment Financing (TIF) Trust fund is \$4,505,484. This part details the administrative and programmatic expenses and includes carryover funds for one additional staff member, cost of living adjustment, and merit raises for existing staff. The preliminary tax roll value shows that the TIF might increase by 12.8% this year (an increase of \$510,929 to last year’s TIF); The final tax is computed at the end of the year.

The Capital Improvement Project portion provides funding from the trust fund and grants to complete infrastructure improvement projects and acquire properties for redevelopment. Grants and loans are included in this portion of the Budget. The Total amount projected for Capital Improvement is \$3,920,000.

The Transportation Enhancement part shows the grants received from the Transportation Planning Agency and the Department of Transportation. The Palm Beach County Engineering Department manages these grants on behalf of the Westgate CRA. This funding is provided on a reimbursement basis. Two projects are under construction, and one more is left to start. The County has selected a contractor for Cherry Road.

The Debt Service Fund shows how funds will be used to pay off debt.

B. **Recommendation:** Staff recommends that the Board adopt the budget, approve the budget resolution, and recommend it to the Board of County Commissioners for final approval.

4. Approval of Funding for the Construction of the Cherry Road Transportation Planning Agency Funded Project

A. Background and Summary: The CRA is implementing a grant received from the Florida Department of Transportation through Palm Beach County Transportation Agency to improve Cherry Road between Military Trail and Quail Drive

The Cherry Road project proposes the following: a new shared multi-use path on the north side of Cherry Road, a new sidewalk on the south side of Cherry Road from Quail Drive to County Club Road, a new pedestrian lighting on both sides of Cherry Road, four high visibility crosswalks, and new street trees where allowable.

In accordance with an interlocal agreement executed in March 2022, the County hired contractors to design and construct the project according to the approved design section included in the grant application. The design is completed, and the engineering department has selected a contractor for the construction.

The construction cost is estimated at \$1,450,582.84 (construction contract \$1,208,819.04; PBC staff costs (10%) \$120,881.90; contingency (10%) \$120,881,.90).

B. Staff Recommendation: Authorize staff to provide additional funds of \$1,450,582.84 to the Engineering Department to fund the construction of the Cherry Road Streetscape project.

BOARD MEETING
August 12, 2024

Staff Update on In-House & Private Redevelopment Projects

Strategic Plan – Special District Performance Measures & Standards (STARTED)

CRA staff will retool a draft strategic plan for the implementation of the goals and objectives of the Redevelopment Plan, and will modify the document to reflect a new statutory requirement for special districts. FS 189.0694 now requires Florida special districts to establish “goals and objectives for each program or activity, as well as performance standards and measures to determine if goals and objectives are being achieved”. A strategic plan will outline the specific tasks, timeline and budget required for redevelopment activities over the next 5 years. It can also serve as a platform for the CRA to refine its vision and mission statement in a way that is current with its shifting priorities. Staff has received some initial input from Board members.

Streetlights Initiative + Westgate Safety Plan (IN PROCESS)

Update: The requested funding for Westgate safety initiatives from the County’s legislative appropriation was not authorized. The CRA will renew the request next legislative season. Staff continues to address issues around safety utilizing the Agency’s budget. A draft Safety Plan in in process.

The requested funds from the County’s legislative appropriation have been reduced from \$750,000 to \$250,000; the allocation from the State budget awaits the Governor’s signature. CRA staff continues to develop a Safety Plan for the district. The 1st permit to install FPL streetlights has been issued; the 2nd permit is in process. Conservatively, staff anticipates that the streetlights will be installed within the next 6 months.

Background: Staff has requested the installation of 280+ new streetlights within the North and South Westgate Estates neighborhoods of the CRA district from FPL. The streetlights initiative is in the final stage of permitting. FPL resubmitted in January to respond to Land Development comments. To supplement this effort, Staff is working with County Administration to secure a legislative appropriation of \$750,000. This funding would also be used to leverage CRA TIF in the creation of a Westgate Safety Plan. Planning for the development of a Safety Plan is underway.

SFWMD Compensating Floodplain Storage Mitigation Bank (ONGOING)

Update: Staff is working with Reikenis & Associates, LLC Consulting Engineers to analyze the potential value of existing and future C-51 compensating flood plain storage credits that are banked with SFWMD. Quantifying and adding a valuation to the mitigation bank allows the CRA to better understand the dollar value of mitigation credits for redevelopment projects.

There remains approx. 13-acre feet available in various retention areas in the CRA district that could be added to the mitigation bank. CRA staff has requested a proposal from Higgins Engineering to continue with this important work.

Higgins Engineering has advised that SFWMD has formally amended the original permit for the Westgate Central Lake. A total of 23-acre feet are assigned to the mitigation bank, lower than our original estimation. The Board allocated 8-acre feet to the Greene Apartments (now Brandon Estates), and 6-acre feet to the Autumn Ridge apartments. Only 9-acre feet remain in the mitigation bank.

On June 30th SFWMD formally established a compensating storage bank for C-51 basin, sub-basin 39. This bank only includes the Westgate Central Lake aka Dennis Koehler Preserve. Available

compensating storage volume available from the bank will expire in 2043. The Autumn Ridge project will utilize 9 acre-feet of storage from the mitigation bank. Approx. 12 acre-feet will be remaining for future redevelopment projects. Staff is considering developing a program for accessing credits from the bank.

Background: The CRA is working with Higgins Engineering and SFWMD to formalize a storm water storage mitigation/redevelopment credit program using the Dennis Koehler Preserve retention lake for redevelopment projects within a certain basin or sub-basin. Higgins Engineering estimates that approximately 28-acre feet could be available to redevelopment projects to offset storage requirements. Some of those acre feet have already been pledged to the Greene Apartments and Autumn Ridge projects.

WCRAO/ULDC Amendments (IN PROCESS)

Update: Staff is processing a Comprehensive Plan amendment to the text of the Westgate/Belvedere Homes Community Redevelopment Area Overlay sub-objective that would increase the number of units available in the Density Bonus Pool by 3,000 from 1,300 to 4,300. The amendment is triggered by redevelopment of the PBKC site which is anticipated to need at least 80% of the density bonus remaining in the program for multifamily housing. An increase is necessary to support future redevelopment build out projections. Concurrently, Zoning has given Staff the green light to finalize an amendment to the WCRAO in the ULDC that would allow, as an incentive for density bonus program projects, a reduction of 15% from Westgate parking standards for mixed use and residential projects.

Tentative Amendments Timeline

Comp Plan (25-A2) Density Bonus Pool	Planning Commission Initiation – July 12, 2024	BCC Transmittal Hearing – August 28, 2024	FLUA Intake – staff reports – Nov. 2024	Planning Commission Hearing – Jan. 10, 2025	BCC Transmittal – Feb. 5, 2025 (TBD)	BCC Adoption – May 7, 2025 (TBD)
ULDC WCRAO Parking Reduction	BCC Request for Permission to Advertise – August 22, 2024	Zoning Commission – September 5, 2024	BCC Adoption Hearing – September 26, 2024	--	--	--

Zoning Management has reviewed the amendment draft provided in October, and has provided general direction to rework the document. A path has been provided to revise WCRAO parking provisions. Staff has been working with Schmidt Nichols on developing a parking code that would reduce the demand for residential by unit type.

Staff submitted an amendment draft to Zoning in early October 2023. Concurrently, Staff is exploring the concept of merging the WCRAO with the URAO toward a Redevelopment Code for the County.

Staff met with Vice-Mayor Weiss, assistant County administrators, and PZB staff on October 26th to discuss ways in which the WCRAO may be streamlined to be made more efficient and flexible to use, while remaining true to intent. A path forward includes a Comprehensive Plan amendment to be initiated early in the new year to better define policies for open space and land development, followed by amendments to the WCRAO/ULDC. Staff will also propose increases to the Density Bonus Program pool of units as well as explore options to add more daily and pm peak trips to the TCEA pool. Staff is

re-tooling to address the Mayor's concerns.

Background: CRA staff submitted a request letter for amendments to the CRA's zoning overlay in early December 2021 with the optic of adoption by the BCC at the end of 2022. The Zoning Division is under new directorship, and the two-round policy for UDLC amendments is replaced by a prioritization scale. The CRA will work with County Code Revision staff and County departments to develop amendment language for Board review in the coming months. Staff will utilize one of its continuing planning consultants to assist.

FY21 TCRPC Brownfields Site Assessment Grant (IN PROCESS)

Update: Florida DEP has reviewed Stantec's ESA report and has provided comments; Stantec is preparing a response. If Stantec advises that additional testing is required by the State to determine the extent of contamination, and necessary clean-up, TCRPC has funding available to assist. The next step would be to determine the best path for remediation.

Cardno (now Stantec) has completed testing. Results indicate levels of contamination on site that are in excess of allowable State limits. Staff will be meeting with Stantec and TCRPC to discuss next steps.

Cardno has identified that contamination is most concentrated in the northeast corner of the Chickamauga site with no groundwater affected, however further assessment is warranted to determine the spread and depth of contamination in order to recommend the best path for remediation. Using a new round of funding through TCRPC, a specific assessment will be completed by Cardno. Next steps include: specific testing, a meeting with the DEP to understand the scope of clean up, and a determination of funding sources for excavation/clean up (TCRPC or PBC DHED).

Cardno has completed supplementary soils testing and is preparing a final report for CRA review and/or action. Results are targeted to be presented to the CRA Board at their September meeting. Testing indicates a high concentration of Benzoapyrene (BaP) in the northwest corner of the property. Cardno will determine whether remedial action is warranted. Cardno conducted a Phase II assessment in early December. Findings indicate trace amounts of contamination (arsenic & BaP) in the soil; the groundwater is said to be clear. CRA Staff is pursuing a more thorough soils study through funding available through TCRPC prior to issuing an RFP. Phase I ESA findings indicate the need to conduct further assessment of the site to determine if historical adjacent uses have negatively impacted the site. The CRA was approved by the TCRPC for a Phase I Environmental Assessment on September 9, 2021. Brownfields environmental consultants Cardno, completed the Phase I assessment in mid-October 2021.

On August 25, 2021, CRA staff submitted an application for funding from the TCRPC (Treasure Coast Regional Planning Council) Brownfields Program for a Phase I Environmental Assessment for the Chickamauga redevelopment site. Due to historic auto salvage and a dry cleaning use on Okeechobee on the site now occupied by Cumberland Farms, there is a likelihood that the site has some degree of contamination. The grant would fund a Phase I assessment, and a possible Phase II assessment depending upon initial findings. Any remediation timelines and cost to be determined. State funding is possible.

Background: The Chickamauga site consists of 3 parcels, one containing an occupied single-family dwelling, purchased by the CRA in December 2019 for \$550,000. The site is located directly south of Spencer Square facing the Dennis Koehler Preserve to the south. The site is earmarked for the CRA for mixed use or high density residential redevelopment. CRA staff anticipates issuing an RFP in FY22.

Community Garden/Greenmarket (ONGOING)

Update: The Plat is recorded and corner clip dedications are complete. CRA staff is planning for the construction of a permanent structure. Staff applied for a USDA Urban Agriculture grant in 21/22 to assist with the construction of the structure and to facilitate enhanced programming at the farm, but was not awarded the grant. CRA staff is looking at the viability of re-applying in another fiscal year.

PBC Transportation Planning Agency (TPA) Transportation Alternatives (TAP) & Local Initiatives (LI) Grants

FY20 Cherry Road Pedestrian & Safety Improvements (CONTRACTOR SELECTION)

Update: The ILA between the CRA and the County has been approved by the BCC. An RFP has been issued to select the contractor.

Design has been completed. Design engineers had identified field conditions that will make the installation of 10-12 ft. wide multi-purpose paths on the north side of Cherry Rd. impossible within the existing ROW. Several options have been discussed with PBC Engineering and the TPA, with the best option being reducing the multi-purpose paths to 8 ft. Engineering is awaiting approval from FDOT on the new cross section prior to design resuming.

PBC Engineering has expressed concerns regarding crosswalks on the approved cross section that requires resolution for the project to move forward on the TPA grant timeline.

The Cherry Road project received approval for funding by the TPA Governing Board in July, 2020. The CRA engaged consultants, WGI to refine the Cherry Rd. improvements project for TPA TAP grant application submittal in the 2020 cycle. CRA Staff and WGI worked with Engineering on improving the proposed typical sections. The project proposes reduced with travel lanes for traffic calming, new sidewalks on the south side of Cherry Rd east and west of the bridge to the intersection of Country Club Rd., a new 12' shared multi-use path on the north side of the corridor, new crosswalks, pedestrian scale lighting, and shade trees where allowed. The total project cost is \$1.96 million. The grant reimburses \$1 million. The application was submitted to the TPA on February 28, 2020.

FY19 and Seminole Blvd. Complete Streets (UNDER CONSTRUCTION)

Update: Sidewalks have been fully installed, and sod is laid. The project is delayed from completion due to supply issues with streetlights. Irrigation conduit will be added via change order, provided cost is acceptable, so that landscaping can be added in the future.

Construction is progressing well. Staff will work with Engineering and FDOT to process a field change order to reduce the path on the west side of the ROW from 12 ft. to 10 ft. Staff will engage a landscape architect from WGI through our continuing services contract to create a landscape/irrigation plan for the project. BCC approval of the construction contract is projected for August.

The Transportation Planning Agency Governing Board approved funding for the Seminole Blvd project at their July 18th meeting. The Seminole project was ranked #1. Staff and WGI presented the projects to FDOT and BTPAC in early April; Seminole was ranked #1 and Cherry Rd was #4. The Board recommended that the Seminole Blvd project should be prioritized since it ranked higher and is a larger project.

Background: The Board approved a two-fold work assignment with WGI in November 2018 to prepare a feasibility analysis to identify the best two projects to submit to the TPA for the 2019 Transportation Alternatives Program (TAP) cycle. Based on findings presented by WGI, the Board selected the following project:

Seminole Blvd Complete Streets expands existing sidewalks to 10-12 ft. multi-use paths on each side of the roadway, adds high visibility crosswalks at each intersection, adds pedestrian scale lighting, and shade trees. The project boundaries are from Okeechobee Blvd. to Oswego Ave. Total construction cost is \$1,622,979. The grant reimburses \$1 million.

TAP grant projects are designed and constructed within 3 years of prioritized funding. Design will begin in 2020 with construction completion in 2022.

FY18 – Westgate Avenue Corridor Complete Streets (UNDER CONSTRUCTION)

Update: The Westgate Ave. streetscape is under construction, and ahead of schedule. Sidewalks, driveway connections, bollards, irrigation lines, and landscaping is in place on the north side of the corridor. Construction crews have moved to the south side, and are working on drainage.

Background: Staff engaged WGI to coordinate the preparation of travel demand forecast modelling to determine the impact of reducing Westgate Ave from 5 lanes to 3 lanes utilizing a road diet approach. WGI facilitated communication with PBC TPA and Engineering to determine the best design alternative, held a public input meeting, and drafted the final design for the project be used to obtain funding. WGI met with the Engineering Department to present the lane elimination plan. County staff is in support of the lane reduction from Wabasso to Congress, but they are not in support of the elevated landscape median. An alternative design, which allows for 3 lanes (2 thru lanes and one center turn lane), bike lanes, and floating landscape islands on both sides of the ROW alternating with on street parking was presented to County Engineering for approval and support. With assistance from WGI, the LI grant application was submitted on March 2, 2018. CRA staff is working with County Engineering and Administration to design and administer all 3 of the TPA grant projects.

The TPA Governing Board voted to adopt the TPA List of Priority Projects for the LRTP FY 2020-2024 at their September 20, 2018 meeting. Projects that met TPA and FDOT eligibility requirements were ranked by internal advisory boards, committees and TPA Staff to be forwarded the Governing Board. The Westgate Avenue Complete Streets project was ranked #1 of 6 entries to receive Local Initiatives Program funding. This project has been moved up the timeline due to the inability of other funded projects to proceed. Design can start in July 2019 for FY 2019/20. Construction funding will be approved after the design is completed.

Streetlights for Belvedere Homes (ONGOING)

The Engineering Department is partnering with Office and Community Revitalization to install streetlight in Belvedere Homes. An initial meeting has been held. Citizens are currently gathering signatures and easement authorization from residents and property owners.

Private Redevelopment Projects

Below is list of private development projects that are in the entitlements or the permitting process:

Projects	Address	Status
Tallahassee MF	1302 Tallahassee Dr.	<ul style="list-style-type: none"> ▪ WCRA recommendation 8/12/24 ▪ 7-unit multifamily project ▪ WCRAO DBP units
2944-2952 Westgate mixed use	2944-2952 Westgate Ave.	<ul style="list-style-type: none"> ▪ In Zoning review ▪ 2,300 sf prof. office w/ 5 units, Work-Live unit – DBP units
PBKC – new relocated facility	1111 N. Congress Ave.	<ul style="list-style-type: none"> ▪ WCRA recommendation 3/11/24 ▪ 60,286 sf facility + 4 level parking structure ▪ Rezoning, Class B Cond use (indoor entertainment), DRO for Type 2 restaurant, variances, waivers
NorWest Pointe	Westgate at Tallahassee	<ul style="list-style-type: none"> ▪ WCRA recommendation 8/12/24 ▪ DRO approval for additional density for a 9-unit MF rental project, Type 1 Waiver ▪ Rezoning approved. WCRA recommendation 11/13/23
Al Packer Fleet Services	1668 N Military Trail	<ul style="list-style-type: none"> ▪ Approved -- 5/8/23 CRA recommendation ▪ Rezoning to CG, BCC approval for heavy vehicle repair & maintenance
PBC Fire Station #24	Westgate at Seminole	<ul style="list-style-type: none"> ▪ In Zoning – 3/13/23 CRA Board meeting, BCC in August ▪ Rezoning to PO approved, in site design phase
Aero Village	1699-1705 N. Congress Ave	<ul style="list-style-type: none"> ▪ Approved – 1/9/23 CRA Board meeting ▪ 4-stories, 38-unit market rate MF rental development
Westgate Terrace (Danza Group)	2636 Westgate Ave.	<ul style="list-style-type: none"> ▪ Project has zoning approvals! – Danza Group to request closing on CRA owned properties ▪ 4 stories, 44 units – professional office/medical office CRA-owned parcels, developed with NMTC fed grant in partnership with CRA/PBD DHED
The Hangar & Airfield Business Park	1050 N. Congress Ave. (former PBKC property)	<ul style="list-style-type: none"> ▪ Under construction – 2/14/22 CRA Board meeting ▪ 60,000+ sf of privately owned warehouse units with collocated additional warehouse, vehicle sales/repair, community and assembly membership non-profit space
EZ Express Carwash (Walmart MUPD)	1098 N. Military Trail	<ul style="list-style-type: none"> ▪ In permitting ▪ DRO approval in April for a 2,700-sf. automatic carwash
Extra Space Storage (Cherry Road Plaza MUPD)	Cherry Rd	<ul style="list-style-type: none"> ▪ In permitting ▪ Approval for ABN, DOA, Variances, DRO approval for a 161,000 sf (phased) self-service storage facility
Murphy Express Gas Station/C-store (Walmart MUPD)	1010 Military Trail	<ul style="list-style-type: none"> ▪ In permitting ▪ Demolished vacant Walgreens, relocate/ expand existing Murphy Express/add c-store
Palm Key Apartments	Cherokee Ave.	<ul style="list-style-type: none"> ▪ DRO approval in March 2023 ▪ 7 townhome-style multifamily units on .46 ac – utilizing CRA density bonus units
Autumn Ridge LITC	Congress Ave.	<ul style="list-style-type: none"> ▪ Under construction ▪ DRO approval – LIHTC funded ▪ 106 units by Landmark Construction, 90% of units at or below 60% of AMI – 77 DBP units, TCEA, rezoning from RM to CG
Fern House	1958 Church St.	<ul style="list-style-type: none"> ▪ Under construction ▪ Addition/accessory structure & renovation

**WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY
1280 N. CONGRESS AVE., SUITE 215, WEST PALM BEACH, FL. 33409
MINUTES OF THE MONTHLY MEETING**

June 10, 2024

I. CALL TO ORDER (IN PERSON MEETING BROADCASTED ON ZOOM PLATFORM)

Mr. Daniels, the Board Chair, called the meeting to order at 5:02 p.m. The roll was called by Ms. Bui.

Present: Ronald L. Daniels
Joanne Rufty
Teliska Wolliston
Ruth Haggerty

Absent: Enol Gilles
Joseph Kirby

Staff Present: Elizée Michel, Executive Director
Denise Pennell, Senior Planner
Carmen Geraine, Bookkeeper
Mai Bui, Redevelopment Specialist/Administrative Assistant
Thomas J. Baird, Esq., General Counsel

Absent:

Others Present:

Zoom Attendees:

II. AGENDA APPROVAL

1. Additions, Deletions, Substitutions to Agenda

- No Deletions, Substitutions to Agenda

2. Adoption of Agenda

- It was moved by Ms. Rufty and seconded by Ms. Haggerty to adopt the agenda as amended. Motion carried (4-0)

III. ADOPTION OF W/BH CRA MINUTES

- It was moved by Ms. Haggerty and seconded by Ms. Wolliston to adopt the May 13, 2024 minutes. Motion carried (4-0)

IV. PUBLIC COMMENT

- Ms. Virginia Savietto has been elected to the District 2 school board. Ms. Savietto appeared before the Board to introduce herself and provide an overview of her experience and qualifications.

V. DISCLOSURES

- No Disclosures

VI. CONSENT AGENDA

- No Consent Agenda

VII. REGULAR AGENDA

1. Consideration of FY 2024-2025 Budget

Mr. Michel introduced the item to the Board.

This is the first reading of the Budget. The Budget includes five parts, the Redevelopment Trust Fund, the Capital Improvement Project, the Transportation Enhancement grants, the Debt Service Fund, and the Reserve Fund. The Redevelopment Trust Fund presents in a line-by-line format all the items funded by the tax increment revenues and rental income. The total amount projected for the Tax Increment Financing (TIF) Trust fund is \$4,505,484. This part details the administrative and the programmatic expenses. The preliminary tax roll value shows that the TIF might increase by 12.8% this year (an increase of \$510,929 to last year's TIF); The final tax is computed at the end of the year. The projected amount will change if the Board of County Commissioners were to reduce the millage rate.

The Capital Improvement Project portion provides funding from the trust fund and grants to complete infrastructure improvement projects and acquire properties for redevelopment. Grants

and loans are included in this portion of the Budget. The Total amount projected for Capital Improvement is \$3,920,000.

The Transportation Enhancement part shows the grants received from the Transportation Planning Agency and the Department of Transportation. These grants are being managed by the Palm Beach County Engineering Department on behalf of the Westgate CRA. This funding is provided on a reimbursement basis. Two projects are under construction. There is one more left to start. The County is in the process of selecting a contractor for Cherry Road.

The Debt Service Fund shows how funds will be used to pay off debt.

This is the first reading of the budget. Staff are only seeking input. A final budget will be presented at next month's meeting. It will include considerations and input from the July Board meeting and updated TIF projection based on the millage rate set by the BCC.

No Actions Required

2. Approval of Ward & Company, P.A., Engagement Letter for FY 2024 Audit Services.

Mr. Michel introduced the item to the Board.

The CRA is seeking the service of Ward & Company to audit the financial records of the CRA for fiscal year 2024. The auditors will be responsible to test the accounting records of the Westgate CRA and perform other procedures considered necessary to prepare a comprehensive report in accordance with the standards for financial audits contained in Government Auditing Standards, issued by the Comptroller General of the United States. It is estimated that a single audit will not be needed this year. Ward and Company has submitted a proposal for the work. The company proposes to complete the audit for an amount not to exceed \$27,000.

Staff are asking the Board to authorize staff to engage Ward and Company, P.A. to provide auditing services for the fiscal year ending in September of 2024.

Board Members Discussion:

Ms. Haggerty – Is \$27,000 included with out-of-pocket cost?

Mr. Michel – We can add out of pocket cost, but usually the extra cost would be printing cost.

Ms. Haggerty – Is housing economic the same as capital improvement?

Mr. Michel – It is the same, it comes from capital improvement, adding funds from the trust fund.

It was moved by Ms. Rufty and seconded by Ms. Haggerty to authorize staff to engage Ward and Company, P.A. to provide auditing services for fiscal year ending in September of 2024. The motion passed unanimously (4-0)

VIII. STAFF REPORTS

Mr. Michel and Ms. Pennell updated the Board zoning amendments. Meeting with commissioners on Friday about density pool for upcoming projects.

Safety plan for community prevention.

Backpacking at the Park is on August 9, 2024.

IX ATTORNEY'S REPORTS

Mr. Baird reported on the Danza Group. Before closing can be initiated, staff need to provide the legal team with option agreement documents.

X. BOARD MEMBER COMMENTS

XI. AJOURNMENT

It was moved by Ms. Rufty and seconded by Ms. Wolliston to adjourn the meeting. The meeting was adjourned at 5:48p.m.

_____ Administrative Assistant, Westgate CRA
Mai Bui

Via E-Mail

July 10, 2024

Westgate/Belvedere Homes Community Redevelopment Agency
1280 North Congress Avenue, Suite 215
West Palm Beach, FL 33409

Attn: Elizee Michel

Re: Westgate/Belvedere Community Redevelopment Agency -
Compensating Storage Credits

Dear: Ms. Michel

We are pleased to submit the following proposal for Engineering Services regarding an Environmental Resource Permit (ERP) application to establish compensating storage credits for the Westgate/Belvedere Homes Community Redevelopment Agency (CRA). Higgins Engineering, Inc., hereinafter referred to as the Engineer, proposes to furnish professional services to Westgate/Belvedere Homes CRA., hereinafter referred to as the Client, of the scope outlined below for the fees stipulated herein.

Scope of Services

The Engineer will perform the following:

1. Attend a pre-application meeting with the South Florida Water Management District (SFWMD) staff to review the requirements for an ERP application.
2. Locate the 100-year flood elevations for the SFWMD C-51 Basin prior to the 2005 C-51 re-study.
3. Use the original C-51 100-year study flood elevations to determine how much compensating storage is available for each parcel (permit) previously identified by us for the Client (See the attached table). Note this proposal will exclude Parcel 11, 31, and 35. Only Palm Beach County parcel's will be included.

4. Assemble the ERP application and supporting material for submittal to the SFWMD.
5. Provide additional information to the SFWMD Requests for Additional Information (RAI) letters if agreed to by the Client.
6. Attend two meetings with the SFWMD staff to assist with their review of the application.
7. Additional services mutually agreed upon in writing by both parties.

Items to be Furnished by Client
At No Expense to the Engineer

Assist Engineer by furnishing, at no cost to the Engineer, all available pertinent information, including previous reports and any other data relative to the performance of the above services for the project.

Designate, in writing, a person to act as the Client's representative with respect to the services to be performed under this Agreement. Such person shall have complete authority to transmit instructions, receive information, interpret and define the Client's policies and decisions with respect to materials, equipment, elements and systems pertinent to the Engineer's services.

Time of Performance

Items 1 through 7 of the Scope of Services will be completed as directed by the Client and mutually agreed to by the Engineer, except for delays beyond the control of the Engineer.

Fees to be Paid

For Items 1 through 7 of the Scope of Services, the Engineer shall be paid a fee based on the following Rate Schedule:

Senior Engineer	\$250 per hour
Engineer	\$180 per hour
Jr. Engineer	\$140 per hour
Draftsman	\$110 per hour
Secretary	\$ 70 per hour

Plus, applicable sales taxes and reimbursement for direct non-salary expenses, including but not limited to automobile travel at \$0.67 per mile, subsistence, printing, and reproduction.

For this proposal we estimate that a budget of fifteen thousand dollars (\$15,000.00) be established for Items 1 through 6. Actual cost will be based on time and materials as described above. The total estimated cost will not be exceeded without the prior written approval of the Client. Invoices for services rendered are prepared monthly and are due and payable within thirty (30) days from the date of invoice.

Termination

This Agreement may be terminated by either party by giving thirty (30) days advance written notice. The Engineer shall be paid for services rendered to the date of termination on the basis of a reasonable estimate of the portion of services completed prior to termination and shall be paid for all reasonable expenses resulting from such termination and for any unpaid reimbursable expenses.

Westgate/Belvedere CRA
Proposal
July 10, 2024
Page 4 of 4

Acceptance

Acceptance of this proposal may be indicated by the signature of a duly authorized official of the Client in the space provided below. One signed copy of this proposal returned to the Engineer will serve as an Agreement between the two parties and as a Notice to Proceed. Should this proposal not be accepted within sixty (60) days from the above date, it shall become null and void.

If you have any questions on the above or require additional information, please feel free to give us a call.

Very truly yours,
HIGGINS ENGINEERING, INC.



Robert W. Higgins, P.E.
President

Accepted by:
Westgate/Belvedere CRA

By: _____

Date: _____

RWH/jp
19-15

My Parcel Designation	C-51 Sub-Basin	Size Approx. Acres	Owner	100-yr Stage in C-51 Study		WMD Permit Number/APP		Comp Storage (Acre-feet)	
				Provided	Required	Excess	Provided	Required	Excess
1		13.94	New Country Motorcars						
2		0.23	Palm Beach County						
3		0.33	Palm Beach County						
4		0.28	Palm Beach County						
5		0.15	Palm Beach County						
6		0.14	Palm Beach County						
7		0.20	Palm Beach County						
8		0.41	Palm Beach County						
9		0.17	Palm Beach County						
10		0.27	Palm Beach County						
11	25 & 30	7.12	Westgate CRA			50-05060-P / App #030213-7	31.6	0.506	31.18
12		19.54	Palm Beach County			50-02692-S / App # 131015-2	3	0.69	2.31
14		6.48	Palm Beach County						
15		2.28	Palm Beach County						
13 and 16		16.50	Palm Beach County						
17		0.22	Palm Beach County						
18		0.59	Palm Beach County						
19		9.38	Palm Beach County						
20		1.71	Palm Beach County						
21		1.11	Palm Beach County						
22		0.33	Palm Beach County						
23		17.42	Palm Beach County						
24		2.33	Palm Beach County			50-03292-5 / App # 940119-14	162.9	156.7	6.2AF
25		0.26 acres	Palm Beach County						
26		2.66	Palm Beach County						
27		15.55	Palm Beach County						
28		4.44	Palm Beach County						
29									
30	29A	1.5402 acres	Palm Beach County			14.80 NGVD	27.64	26.79	0.85
31	29A	9.97	Enterprise Rent-A-Car			14.80 NGVD	27.5	25.51	1.99
32	29A	3.70	LG76 Partnership			82-00229-S / App# 140317-4	27.64	27.5	0.14
33		0.3172 acres	Palm Beach County						
34		3.70	LG76 Partnership						
35		4.06	1501 N. Florida Mango Road LLC			McArthur Dairy	2.05	0.52	1.53
						50-100796-P / App # 181116-983			



Elite Capital & Development Inc.
2465 Mercer Ave, Suite 303
West Palm Beach, FL, 33401

08/29/2024

RE: Hamilton Properties - West Palm Beach, FL 33409 – SDAP

Dear WCRA,

We are reaching out as a small developer in Palm Beach County. We have been operating in West Palm Beach since 2015 and specialize in providing housing for the Palm Beach County population. You may remember us back in February 2019 when we presented and got approval to purchase your former parcel off Genessee Ave, where we built two new single-family residences. We have since then built eight more of our Andre Model in the WCRAO and then introduced in 2021 a new and innovative product; a fee simple, zero lot line, single-family built on the original 25' lots from the Westgate Estates plat. We have built and sold 18 of those and currently working on 11 additional, for a total of 39 NEW housing in the WCRA from our team. We also did several transactions involving the purchase, demolition and lot separation, increasing the potential of many of the old houses that were built in large lot which can accommodate several homes, rather than one. We consider ourselves the *Single-Family* leader in the area, opening doors for more developer to follow our path.

This application is in regards to 4 properties of our Hiawatha site, referred to the “Hamilton Properties”, in honor to former Mr. Hamilton who had several rentals in the area. We took the old 4-plex structure down and reverted the parcel into the 4 individual platted lots that it was built on. We are applying for the \$20,000 (\$5,000 per dwelling) maximum allowance from the Site Development Assistance Program fund in order to help with the development of 7 of those properties. As of today, the total retail value of this project is \$2,700,000. Our company’s projected revenue for FY 2024 is 2.6m, FY 2025 is 2.4m and FY 2026 = 2.8m.

Project Narrative

The “Hamilton Properties” consists of a 100’ x 115’ site that used to have an old house on it, which we demolished earlier this year. We then subdivided the lot into the 4 x 25’ platted lots and filed for our building permits. As of today, the 4 properties are about 20% completed. Please note that our pricing for this phase had to go up due to a substantial increase in construction costs, land cost, as well as general market demand appreciation. The current retail price for those homes at the moment is between \$385,000 - \$399,900 – still below the County’s median sales prices of around \$500,000, making them a great value for anyone.

Our Goelet model is a 3-bedroom, 2 baths dwelling structure. It has 1,177 SF under air, and a total of 1,273 SF under roof including the covered front entry and back patio. The architecture and finishes are modern, compatible and meeting today’s buyer’s demand and taste. This model was specifically developed by us to accommodate a narrow site; it is built along the lot length, yet still offering full commodities of a “regular” home. All of our homes are CBS construction, impact rated glass, tankless water heater, modern finishes, 42” cabinets with Dallas White granite stone, pavers driveway, stainless steel appliances, and so many more standard features that are not being charged as extra. Our Carter Properties are consistent with what is allowed by the NRM Sub-Area Property Development Regulations of the Land Development and Florida Building Code.

We understand that the SDAP has some eligible and ineligible expenses, all subject to Board’s approval. As per the guidelines, the following elements are eligible; Pre-Development Expenses (site design, architecture, engineering, entitlement and permitting), Landscaping Expenses, Exterior Stucco, Installation of Parking Areas (stone pavers used in our case) and Exterior Windows upgrade (full hurricane impact windows and doors). We plan on using the grant for Pre-Development expenses; entitlement and permitting, as we had to improve the sewer and water infrastructure for our site in order to accommodate the higher density, a lengthy, tedious and costly process.

We are including with this application a breakdown of our construction budget – which has greatly increased since our first phase, visual from completed dwellings, a copy of the floor plan & elevations, building permits and warranty deed confirming our ownership. We trust that this complete application will be acceptable for the WCRA members and their Board for grand approval. We have been very involved in the Westgate area over the past 6 years, making the community better and providing much needed affordable housing to its residents.

Do not hesitate to contact us with any questions.

Best regards,

A handwritten signature in black ink, appearing to be 'Philippe O Boucher', written in a cursive style.

Philippe O Boucher, Founder and Manager.

SITE DEVELOPMENT ASSISTANCE PROGRAM APPLICATION

Applicant Name: Philippe O Boucher

Business Name: Elite Capital & Development Inc

Business Address: 2465 Mercer Ave, Suite 303, West Palm Beach, FL 33401

Mailing Address (if different than above): _____

Phone: 561-475-6700

Email: info@elitecapdev.com

Website: www.dpehomesrealty.com

Property Control Number (PCN#): 00-43-43-30-03-048-0090 + 0100 + 0110 + 0120

EIN#: 81-0771126

Applicant's business/development site is:
(attach copy of multi-year lease or warranty deed)

Owned Leased

Applicant's project includes: *(check all that apply)*

- | | | |
|-----------------------------------------------------------------------|-------------------------------------------------|------------------------------------------------------|
| <input type="checkbox"/> Exterior Lighting | <input checked="" type="checkbox"/> Landscaping | <input type="checkbox"/> Roof Repair |
| <input type="checkbox"/> Commercial Parking | <input type="checkbox"/> Exterior Signage | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Expansion/Renovation of an existing building | | |

Project Budget:

1. Interior Renovations/Improvements: \$ 475,000
2. Exterior Renovations/Improvements: \$ 475,000
3. Pre-development/Permitting: \$ 425,000
4. Total Project Budget: \$ 1,375,000

Are you applying for grant assistance under any other program offered by the CRA: Yes No

If so, what other programs are you applying for: _____

Have you been approved for funding by the CRA Board: Yes No If so, amount: \$ 100,000 ?

Please read the section below carefully. After you have read the entire application, sign the form below and submit your completed application to the CRA offices.

I, the undersigned, being a principal of the business applying for assistance under the Site Development Assistance Program, certify that the business in the Westgate/Belvedere Homes Community Redevelopment Area within the unincorporated area of Palm Beach County.

I understand that the CRA may, at its sole discretion, discontinue subsidy payments at any time if in its sole and absolute determination it feels such assistance no longer meets the program criteria or no longer furthers the Westgate CRA Community Redevelopment Plan.

I understand that this application is not a guarantee of assistance. Should my application be approved, I understand that I am committing to completing the project I have represented in this application and obtaining a Certificate of Occupancy or the necessary satisfactory inspection notices signifying that the work has been done in accordance with County ordinances and codes. I agree to obtain all necessary County or other governmental or State approvals and/or licenses prior to beginning any work. Failure to do so may jeopardize my ability to receive reimbursement under this grant program.

I understand that the project represented in this application must receive CRA Board approval before the work is completed in order to be eligible for reimbursement.

I have read this program brochure in its entirety and by signing below accept the terms of the program as represented in this brochure. I understand that if this application is submitted incomplete, it will not be processed.



Applicant's Signature

Philippe O Boucher, CEO

Printed Name

08/28/2024

Date

APPLICATION CHECKLIST

The completed application must include the following items prior to processing:

- Signed and completed application form
- Business Plan or Executive Summary, including a narrative describing the business, its operations, its business principles, impact on the community, and potential for area resident employment
- Detailed 3-year budget projections of revenues and expenses
- Historical financials for the past three years, in a sealed envelope (existing businesses only)
- Copy of multi-year lease (including expressed permission from landlord to make changes as outlined in the project) or copy of Warranty Deed showing property ownership
- Narrative description of entire project, broken down into interior and exterior improvements and/or renovations, including financing sources
- Detailed breakdown of exterior renovations and improvements for which reimbursement is being requested under the grant program.

OFFICE USE ONLY:

Pre-application meeting date: _____ Meets eligibility requirements: Yes No

CRA Board meeting date: _____ Recommend Board approval: Yes No

Application notes: _____

_____ CRA staff initials: _____



Exhibit A

PLANS AND SPECIFICATIONS ADDENDUM

Goelet Model - Standard Features

3 bedroom / 2 bathroom - 1,177 SF under air, 1,273 under roof.

ENERGY-SAVING FEATURES

- Energy efficient, full impact sliding doors and windows, insulated Low-e.
- R-30 Ceilings insulation.
- Rheem RTEX-18 tankless water heater.
- Goodman 1.5 Ton high efficiency HVAC.
- Continuously vented attic.
- Window blinds.

EXTERIOR FEATURES

- Modern design and elevations, with 63 SF covered entry porch.
- Pavers driveway to street.
- **9'x 4' covered patio with** exterior back access.
- City water & sewer hookups.
- Fully sodded lawn with fencing around back lot perimeter.
- 2 exterior hose bibs.

INTERIOR FEATURES

- 9'-0" ceilings throughout the property.
- **6'-8" interior doors with brushed nickel** hardware.
- **5 1/4" modern baseboards throughout.**
- Plank tile in all living areas.
- Ceiling fans in all bedrooms.
- Stackable Washer & Dryer.
- Double sink vanities in master bathroom.
- **Walk-in master bathroom shower with 1/2"** tempered glass.
- Walk-in master bedroom closet.

QUALITY CONSTRUCTION

- Design and construction in accordance with rigorous requirements of Florida Building Code.
- Steel-reinforced monolithic foundation with vapor barrier and 3000 psi concrete.
- Reinforced concrete-block exterior walls.
- Professionally engineered, hurricane resistant, truss system.
- Low VOC exterior & interior premium paint.
- R-4.1 Exterior wall insulation.
- All building permits, surveys, connection and impact fees included.

GOURMET KITCHEN

- **42" white shaker** upper cabinetry. Soft close & adjustable shelves in all cabinets.
- **Dallas white granite stone countertops with 4"** backsplash.
- Stainless Steel appliance package (refrigerator, ceramic-glass cooktop stove, microwave and dishwasher) with factory warranty.
- Garbage disposal.

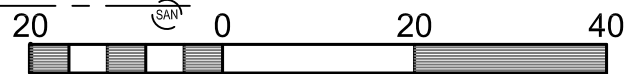
ELECTRICAL SPECIFICATIONS

- Underground electrical service.
- Decora-style switches and outlets.
- LED hi-hats throughout the property.
- Prewire RG-6 TV cable outlets in all bedrooms & great room.
- GFI Outlets in Bathrooms and Kitchen, Smoke Detectors as per Building Code.

*** 1-year Limited Warranty from date of Certificate of Occupancy. ***

All information provided deemed to be accurate but subject to construction feasibility and materials availability.

REVISIONS:	
01/08/24	add san. hand hole
01/09/24	add "clean out"
01/10/24	add utility poles



Scale 1" = 20'



CERTIFIED TO: ELITE CAPITAL & DEVELOPMENT INC
PROPERTY ADDRESS: 2440 HIAWATHA AVE., WEST PALM BEACH, FL 33409
FLOOD ZONE: X (FIRM MAP NO.:12099C0579F; COMMUNITY NO.: 120192; PANEL NO.: 0579; DATED 10/05/2017)
DESCRIPTION: LOTS 9, 10, 11 AND 12 IN BLOCK 48, WEST GATE ESTATES, (NORTHERN SECTION) ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, IN PLAT BOOK 8, PAGE 38.

SAID LANDS LYING AND SITUATE IN PALM BEACH COUNTY, FLORIDA AND CONTAINING 11,500 SQUARE FEET, (2,640 ACRES) MORE OR LESS.

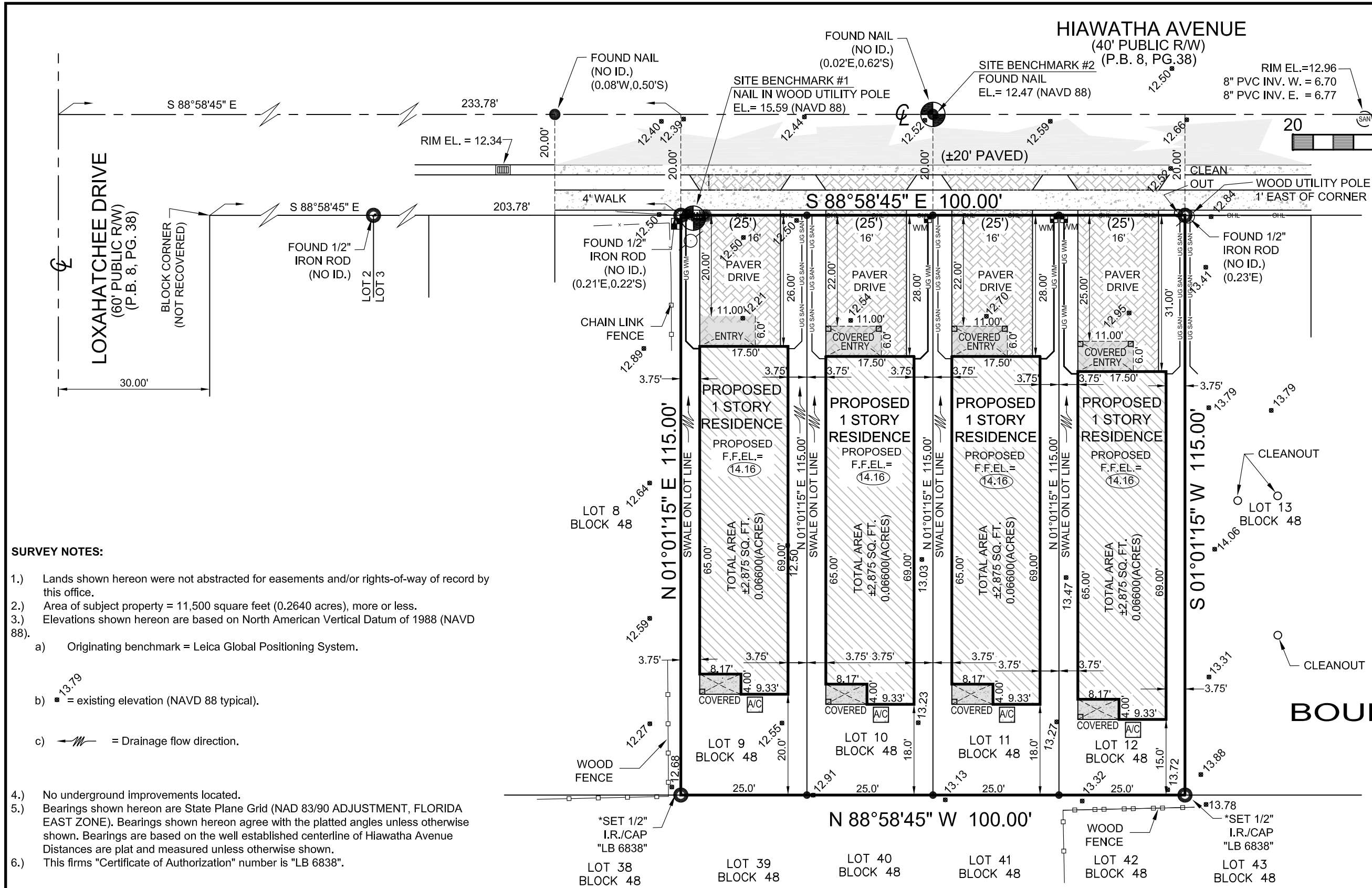
BOUNDARY SURVEY & SITE PLAN

This survey is not valid without embossed surveyor's seal and/or an authenticated electronic signature and authenticated electronic seal.

Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034

CRD. FILE Y231271

REF: I 26/11; O 67/22
 PREV. JOB NO'S. Y160458
 JOB NO. Y231271
S - 47,987-A

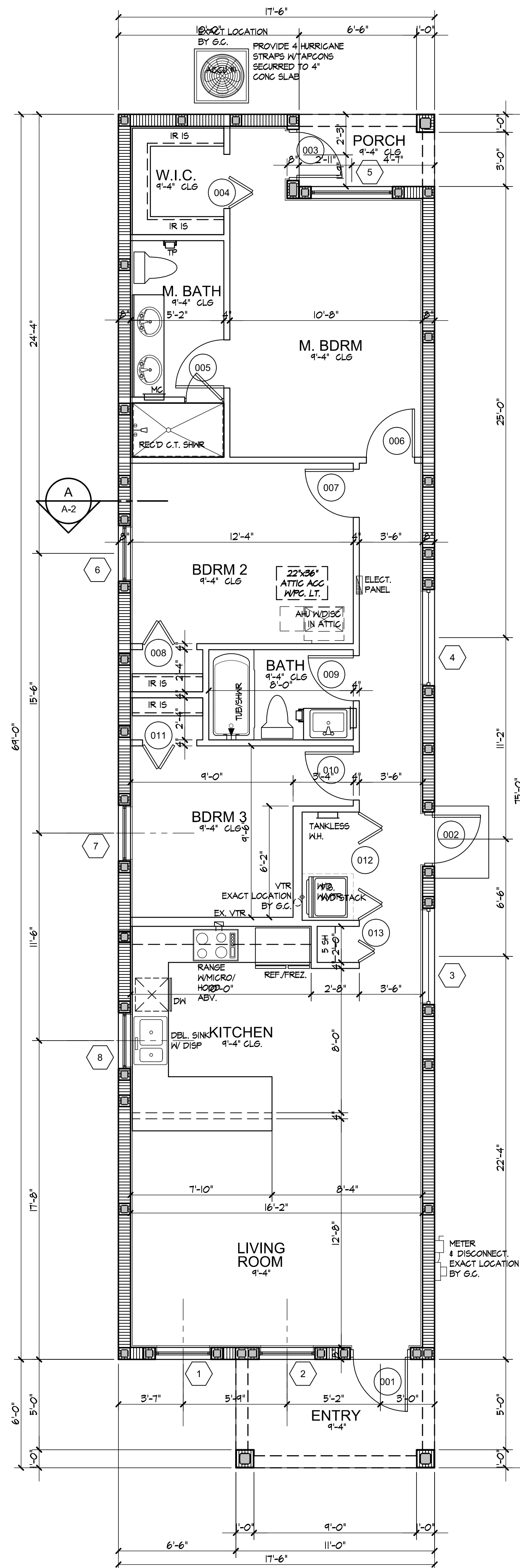


- SURVEY NOTES:**
- Lands shown hereon were not abstracted for easements and/or rights-of-way of record by this office.
 - Area of subject property = 11,500 square feet (0.2640 acres), more or less.
 - Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
 - Originating benchmark = Leica Global Positioning System.
 - = existing elevation (NAVD 88 typical).
 - ↔ = Drainage flow direction.
 - No underground improvements located.
 - Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Bearings shown hereon agree with the platted angles unless otherwise shown. Bearings are based on the well established centerline of Hiawatha Avenue. Distances are plat and measured unless otherwise shown.
 - This firms "Certificate of Authorization" number is "LB 6838".

LEGEND:			
CALC.	= CALCULATED	(P)	= PLAT
C.B.S.	= CONCRETE BLOCK STRUCTURE	R	= RADIUS
CONC. MON.	= CONCRETE MONUMENT	Δ	= CENTRAL "DELTA" ANGLE
CONC.	= CONCRETE	L	= ARC LENGTH
D.E.	= DRAINAGE EASEMENT	CH.B.	= CHORD BEARING
U.E.	= UTILITY EASEMENT	N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM
P.E.	= POOL EQUIPMENT	O.R.B.	= OFFICIAL RECORD BOOK
F.F.EL.	= FINISHED FLOOR ELEVATION	P.B.	= PLAT BOOK
EL.	= ELEVATION	P.C.	= POINT OF CURVATURE
(B.R.)	= BEARING REFERENCE	P.T.	= POINT OF TANGENCY
(D)	= DEED	INV.	= INVERT
(M)	= MEASURED	UNK.	= UNKNOWN
P.I.	= POINT OF INTERSECTION	ASPH.	= ASPHALT PAVEMENT
P.O.C.	= POINT OF COMMENCEMENT	CONC. FLAT.	= CONCRETE FLATWORK
P.O.B.	= POINT OF BEGINNING	PAVER BRICK FLAT.	= PAVER BRICK FLATWORK
R/W	= RIGHT OF WAY	WOOD P.W. POLE	= WOOD POWER POLE
— x — x —	= CHAIN LINK FENCE	WATER METER	= WATER METER
— o — o —	= WOOD FENCE	FIRE HYDRANT	= FIRE HYDRANT
— — — —	= METAL FENCE	CATCH BASIN	= CATCH BASIN
— — — —	= CENTERLINE	SANITARY MANHOLE	= SANITARY MANHOLE
— — — —	= EASEMENT		
— — — —	= COVERED		
— — — —	= OVERHEAD LINES		
— — — —	= LOT TIE		

SCALE: 1" = 20'
 DRAWN BY: PICARD
 FIELD WK: J.W. / B.M.
 DATE: 12/31/2023

MILLER LAND SURVEYING
 1121 LAKE AVENUE
 LAKE WORTH BEACH, FLORIDA 33460
 PHONE: (561) 586-2669 - FAX: (561) 582-0151
 www.millersurveying.com
 e-mail: orders@millersurveying.com



WINDOW SCHEDULE							
MARK	TYPE	STYLE	SIZE		D.P.		NOTES
			W	H	+	-	
001	SH24	SINGLE HUNG	3'-1"	4'-3"	33.52	44.89	
002	SH24	SINGLE HUNG	3'-1"	4'-3"	33.52	36.36	
003	T.G.	TRANSOM	5'-4"	1'-4"	33.52	36.36	
004	T.G.	TRANSOM	5'-4"	1'-4"	33.52	36.36	
005	SH34	SINGLE HUNG	4'-6"	4'-3"	32.64	35.48	
006	SH24 EH	SINGLE HUNG	3'-1"	4'-11 1/2"	33.52	36.36	Egress
007	SH24 EH	SINGLE HUNG	3'-1"	4'-11 1/2"	33.52	36.36	Egress
008	SH23	SINGLE HUNG	3'-1"	3'-3"	33.52	36.36	

NOTE: ALL WINDOWS & DOOR GLAZING TO BE IMPACT RESISTANT & LOW-E INSULATED.

NOTE TO G.C. G.C. SHALL ASSUME RESPONSIBILITY FOR ALL MASONRY/ROUGH OPENING SIZES AND SHALL VERIFY WITH PRODUCT SPEC'S BEFORE CONSTRUCTION.

DOOR SCHEDULE						
MARK	STYLE	DOOR		D.P.		NOTES
		WD	HGT	+	-	
001	SINGLE EXTERIOR	3'-0"	6'-8"	32.01	41.87	MAIN EGRESS DO NOT SHUTTER
002	SINGLE EXTERIOR	2'-8"	6'-8"	32.01	34.85	S.C.
003	SINGLE EXTERIOR	2'-6"	6'-8"	32.64	35.48	S.C.
004	BIFOLD	3'-0"	6'-8"			
005	SINGLE	2'-8"	6'-8"			
006	SINGLE	2'-8"	6'-8"			
007	SINGLE	2'-8"	6'-8"			
008	BIFOLD	3'-0"	6'-8"			
009	SINGLE	2'-6"	6'-8"			
010	SINGLE	2'-8"	6'-8"			
011	BIFOLD	3'-0"	6'-8"			
012	BIFOLD DOUBLE	6'-0"	6'-8"			
013	BIFOLD	2'-0"	6'-8"			

CALCULATIONS	
AIR CONDITIONED AREAS	
MAIN HOUSE AC	1177 SF
	1177 SF
NON CONDITIONED AREAS	
FRONT PORCH	66 SF
REAR PORCH	30 SF
	96 SF
GROSS AREA	
GROSS AREA	1273 SF











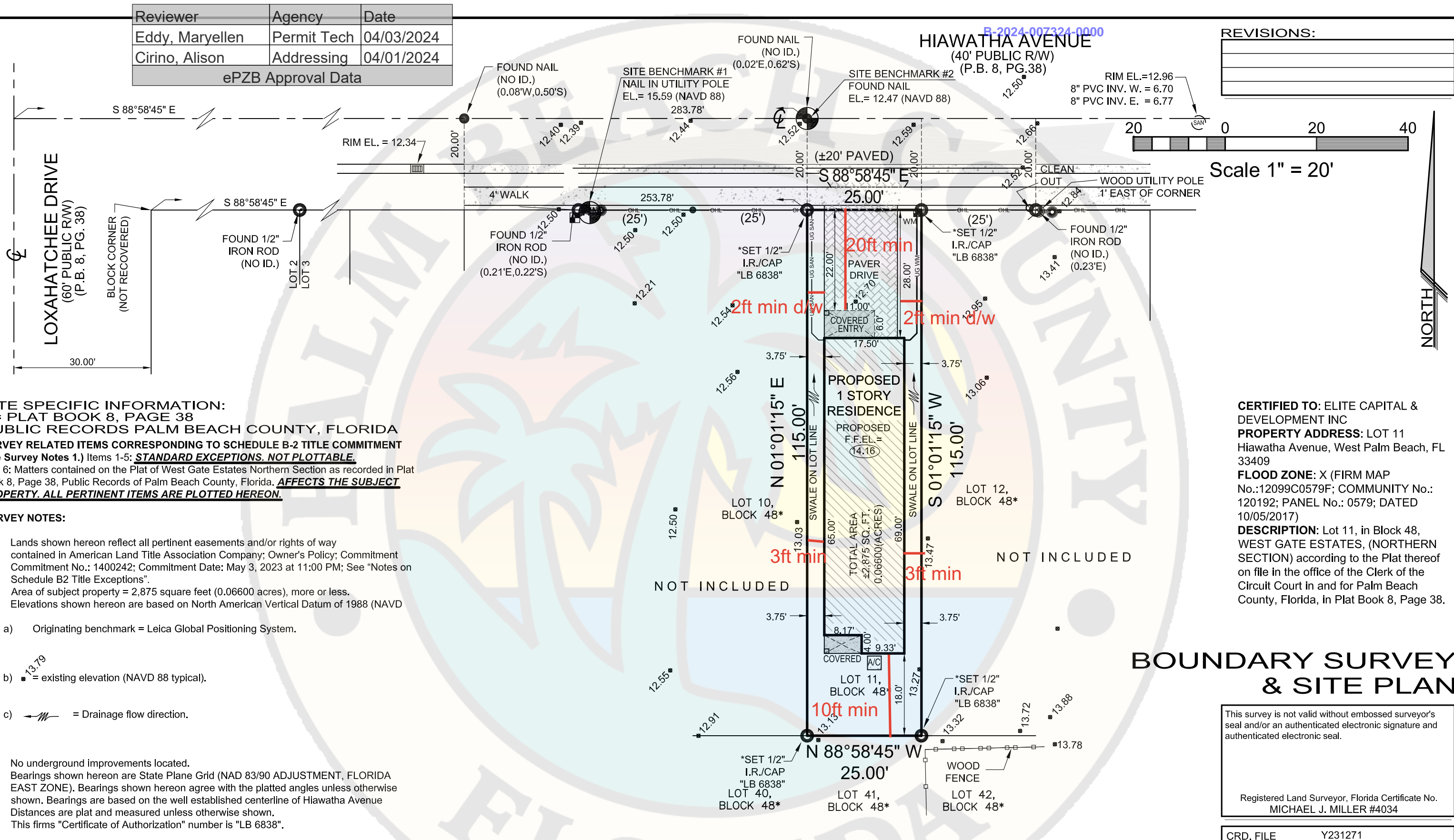


Reviewer	Agency	Date
Eddy, Maryellen	Permit Tech	04/03/2024
Cirino, Alison	Addressing	04/01/2024

ePZB Approval Data

B-2024-007324-0000

REVISIONS:



SITE SPECIFIC INFORMATION:
 * = PLAT BOOK 8, PAGE 38
 PUBLIC RECORDS PALM BEACH COUNTY, FLORIDA
 SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B-2 TITLE COMMITMENT (see Survey Notes 1.) Items 1-5: **STANDARD EXCEPTIONS. NOT PLOTTABLE.**
 Item 6: Matters contained on the Plat of West Gate Estates Northern Section as recorded in Plat Book 8, Page 38, Public Records of Palm Beach County, Florida. **AFFECTS THE SUBJECT PROPERTY. ALL PERTINENT ITEMS ARE PLOTTED HEREON.**

- SURVEY NOTES:**
- Lands shown hereon reflect all pertinent easements and/or rights of way contained in American Land Title Association Company; Owner's Policy; Commitment No.: 1400242; Commitment Date: May 3, 2023 at 11:00 PM; See "Notes on Schedule B2 Title Exceptions".
 - Area of subject property = 2,875 square feet (0.06600 acres), more or less.
 - Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
 - Originating benchmark = Leica Global Positioning System.
 - = existing elevation (NAVD 88 typical).
 - ↘ = Drainage flow direction.
 - No underground improvements located.
 - Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Bearings shown hereon agree with the platted angles unless otherwise shown. Bearings are based on the well established centerline of Hiawatha Avenue. Distances are plat and measured unless otherwise shown.
 - This firm's "Certificate of Authorization" number is "LB 6838".

CERTIFIED TO: ELITE CAPITAL & DEVELOPMENT INC
PROPERTY ADDRESS: LOT 11 Hiawatha Avenue, West Palm Beach, FL 33409
FLOOD ZONE: X (FIRM MAP No.: 12099C0579F; COMMUNITY No.: 120192; PANEL No.: 0579; DATED 10/05/2017)
DESCRIPTION: Lot 11, in Block 48, WEST GATE ESTATES, (NORTHERN SECTION) according to the Plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 8, Page 38.

BOUNDARY SURVEY & SITE PLAN

This survey is not valid without embossed surveyor's seal and/or an authenticated electronic signature and authenticated electronic seal.

Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034

CRD. FILE Y231271

LEGEND:

<p>CALC. = CALCULATED</p> <p>C.B.S. = CONCRETE BLOCK STRUCTURE</p> <p>CONC. MON. = CONCRETE MONUMENT</p> <p>CONC. = CONCRETE</p> <p>D.E. = DRAINAGE EASEMENT</p> <p>U.E. = UTILITY EASEMENT</p> <p>P.E. = POOL EQUIPMENT</p> <p>F.F.EL. = FINISHED FLOOR ELEVATION</p> <p>EL. = ELEVATION</p> <p>(B.R.) = BEARING REFERENCE</p> <p>(D) = DEED</p> <p>(M) = MEASURED</p>	<p>(P) = PLAT</p> <p>R = RADIUS</p> <p>Δ = CENTRAL "DELTA" ANGLE</p> <p>L = ARC LENGTH</p> <p>CH.B. = CHORD BEARING</p> <p>N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM</p> <p>O.R.B. = OFFICIAL RECORD BOOK</p> <p>P.B. = PLAT BOOK</p> <p>P.C. = POINT OF CURVATURE</p> <p>P.T. = POINT OF TANGENCY</p> <p>INV. = INVERT</p> <p>UNK. = UNKNOWN</p>	<p>P.I. = POINT OF INTERSECTION</p> <p>P.O.C. = POINT OF COMMENCEMENT</p> <p>P.O.B. = POINT OF BEGINNING</p> <p>R/W = RIGHT OF WAY</p> <p>— x — x — = CHAIN LINK FENCE</p> <p>— o — o — = WOOD FENCE</p> <p>— — — — = METAL FENCE</p> <p>— — — — = CENTERLINE</p> <p>— — — — = EASEMENT</p> <p>— — — — = COVERED</p> <p>— — — — = OVERHEAD LINES</p> <p>— — — — = LOT TIE</p>	<p>[Pattern] = ASPHALT PAVEMENT</p> <p>[Pattern] = CONCRETE FLATWORK</p> <p>[Pattern] = PAVER BRICK FLATWORK</p> <p>[Symbol] = WOOD POWER POLE</p> <p>[Symbol] = WATER METER</p> <p>[Symbol] = FIRE HYDRANT</p> <p>[Symbol] = CATCH BASIN</p> <p>[Symbol] = SANITARY MANHOLE</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SCALE:	1" = 20'
DRAWN BY:	S.R.L.
FIELD WK:	J.W. / B.M.
DATE:	03/25/2024

MILLER LAND SURVEYING
 1121 LAKE AVENUE
 LAKE WORTH BEACH, FLORIDA 33460
 PHONE: (561) 586-2669 - FAX: (561) 582-0151
 www.millersurveying.com
 e-mail: orders@millersurveying.com

REF:	I 26/11; O 67/22
PREV.:	Y160458 Y231271 JOB NO'S. Y240029
JOB NO.:	Y240308
S - 47,987-A-11	

INSPECTIONS
 (561) 355-2222 Automated Schedule
 (888) 236-3807 Toll Free
 (561) 233-5170 During Business Hours
 OPEN MONDAY THRU FRIDAY 8:00 AM TO 4:30 PM



PALM BEACH COUNTY
PLANNING, ZONING & BUILDING DEPARTMENT
BUILDING DIVISION

Visit us at www.pbcgov.com/PZB/Building to view Application Tracking, Inspection History and Contractor Information.

BUILDING/SITE REVIEW PERMIT

PERMIT	VIOLATION	STATE SURCHARGES	FIRE REVIEW	ROADS	PARKS			
2221.04	0	55.53	0.00	0.00	0.00			
LIBRARIES	SCHOOLS	FIRE	PUBLIC BLDGS	LAW ENFORCEMENT	ERM			
0.00	0.00	0.00	0.00	0.00	0.00			
HEALTH	OUTSIDE AGENCY	MISC. FEES	ZONING DEV ORDER #	UNITS	PROJECT#	CONTROL #	COMM. DIST	G.P.S.
0.00	134.00			1	01000-668	0-0	7 7	#####, #####
PRIMARY PERMIT	APPL DATE	FLOOD ZONE	FIN. FLR.	CONT CERTIFICATION #	PERMIT DESCRIPTION			
B-2024-007323-0000	02/22/2024	AE,X		CBC-1261168	Single-Family Dwelling Detached			
SUB PERMIT NO	MASTER NO.	PROPERTY CONTROL NUMBER		INSP AREA	New 1-story single family dwelling			
		00-43-43-30-03-048-0090		004				
PRINTED DATE	SITE PLAN SQUARE FOOTAGE	GROSS SQUARE FOOTAGE		VALUE				
04/03/2024	1273	1273		137104.00				

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. (F. S. 713.135)
NO REFUNDS ON PERMIT FEES \$100.00 OR LESS OR AFTER FIRST INSPECTION IS MADE. NO REFUNDS AFTER 180 DAYS.

Construction lien information and notarization is required of Owner/Agent and Contractor signature is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is over \$5,000 or over \$15,000 on mechanical work.

IN ACCORDANCE WITH 553.79, F.S. THIS IS TO ADVISE YOU OF YOUR RESPONSIBILITY TO COMPLY WITH ALL ASBESTOS REGULATIONS INCLUDING NOTIFICATION REQUIREMENTS WHICH CAN BE FOUND IN CHAPTER 469 FLORIDA STATUTES. CONTACT PALM BEACH COUNTY HEALTH DEPARTMENT, ASBESTOS PROGRAM COORDINATOR AT (561) 837-5900 FOR FURTHER INFORMATION.

*** Track progress, and get essential details on permits and inspections when you visit us at www.pbcgov.com/pzb/building .***

In accordance with Part IV, 373 F.S. and Chapter 62-330, F.A.C., any work in wetlands or other surface waters may require authorization from the Florida Department of Environmental Protection (FDEP) or South Florida Water Management District (SFWMD). Please call FDEP's Southeast District at 561-681-6600 or the SFWMD at 561-686-8800 with questions regarding wetlands.

CALL BEFORE YOU DIG

CALL 811 OR VISIT [HTTP://WWW.SUNSHINE.COM](http://www.sunshine.com) BEFORE YOU DIG PURSUANT TO CHAPTER 556 FLORIDA STATUTES IN ORDER TO COMPLY WITH THE FLORIDA UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT

NO DEVIATIONS FROM THIS PERMIT MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION.

B-2024-007323-0000

OWNER: Elite Capital & Development Inc

CONTRACTOR/COMPANY NAME: Meticulous Services Llc

CONTRACTORS' PHONE NUMBER: 561-201-2430

PROPERTY ADDRESS: 3180 Hiawatha Ave, West Palm Beach, 33409

SUBDIVISION NAME: West Gate Estates Northern Section

BAY/SUITE#:

Drewski, Kerry

Doug Wise

ISSUING CLERK

BUILDING OFFICIAL

NOTICE: This permit and any permitted plans must be available to the Inspector at the time of inspection to receive a passed inspection



PALM BEACH COUNTY BUILDING DIVISION
Planning, Zoning & Building Department

BUILDING/SITE REVIEW PERMIT

Stamp Permit Number:

B-2024-007323-0000

BUILDING								
FOOTING	LAB	BEAM / COL.	ROOF FRAMING SHEATHING		ROOF METAL	FRAME	INSULATION	
Date	Date	Date	Date	Date	Date	Date	Date	
DRYWALL	LATH	D/W-S/W	POOL STEEL	POOL DECK	WALL SHEATHING	WALL ANCHORS	FINAL	
Date	Date	Date	Date	Date	Date	Date	Date	
Date	Date	Date	Date	Date	Date	Date	Date	
ELECTRICAL		PLUMBING			MECHANICAL		FIRE	SITE
TEMP POLE	UNDERGROUND	UNDERGROUND	ROUGH	UNDERGROUND	ROUGH	FRAME	LANDSCAPE	
Date	Date	Date	Date	Date	Date	Date	Date	
ROUGH	FINAL	SEWER	FINAL	FINAL		FINAL	PARKING	
Date	Date	Date	Date	Date	Date	Date	Date	
							SPECIAL COND.	
Date	Date	Date	Date	Date	Date	Date	Date	

CONDITIONS OF PERMIT

As evidenced by the permittee's signature on the Permit Application, and in consideration for granting this permit, it is agreed that in all respects the work will be performed in accordance with the permitted plans and the applicable codes for Palm Beach County, Florida. This permit may be Revoked at any time upon the violation of any of the provisions of said Laws, Ordinances, Rules, Regulations, Policies and Procedures. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state or federal permits must be obtained before any development is commenced.

TIME LIMITATION

This Permit becomes inactive if the work authorized is not inspected within 6 months from the date it was issued, or if at any time there is more than a 6-month lapse between Inspections. No work may occur without an active Permit. Inactive permits may be renewed upon application and payment of required fees (including any increases in fees that have occurred since original issuance), and may be required to meet updated codes.

RESTRICTIONS

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county such as the requirement for Home or Property Owners Association approval, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

INSPECTIONS

(561) 355-2222 AUTOMATED

(888) 236-3807 TOLLFREE

(561) 233-5170 DURING BUSINESS HOURS

NEXT BUSINESS DAY SERVICE

WWW.PBCGOV.COM/PZB/BUILDING

SEE FRONT OF FORM FOR PERMIT INFORMATION

INSPECTIONS
 (561) 355-2222 Automated Schedule
 (888) 236-3807 Toll Free
 (561) 233-5170 During Business Hours
 OPEN MONDAY THRU FRIDAY 8:00 AM TO 4:30 PM



**PALM BEACH COUNTY
 PLANNING, ZONING & BUILDING DEPARTMENT**

BUILDING DIVISION

Visit us at www.pbcgov.com/PZB/Building to view Application Tracking, Inspection History and Contractor Information.

BUILDING/SITE REVIEW PERMIT

PERMIT	VIOLATION	STATE SURCHARGES	FIRE REVIEW	ROADS	PARKS			
2221.04	0	55.53	0.00	5597.40	890.32			
LIBRARIES	SCHOOLS	FIRE	PUBLIC BLDGS	LAW ENFORCEMENT	ERM			
206.87	5141.40	328.70	201.91	152.14	0.00			
HEALTH	OUTSIDE AGENCY	MISC. FEES	ZONING DEV ORDER #	UNITS	PROJECT#	CONTROL #	COMM. DIST	G.P.S.
0.00	134.00			1	01000-668	0-0	7 7	#####, #####
PRIMARY PERMIT	APPL DATE	FLOOD ZONE	FIN. FLR.	CONT CERTIFICATION #	PERMIT DESCRIPTION			
B-2024-007325-0000	02/22/2024	X		CBC-1261168	Single-Family Dwelling Detached			
SUB PERMIT NO	MASTER NO.	PROPERTY CONTROL NUMBER		INSP AREA	New 1-story single family dwelling			
		00-43-43-30-03-048-0100		004				
PRINTED DATE	SITE PLAN SQUARE FOOTAGE	GROSS SQUARE FOOTAGE		VALUE				
05/06/2024	1273	1273		137104.00				

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. (F. S. 713.135)
NO REFUNDS ON PERMIT FEES \$100.00 OR LESS OR AFTER FIRST INSPECTION IS MADE. NO REFUNDS AFTER 180 DAYS.

Construction lien information and notarization is required of Owner/Agent and Contractor signature is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is over \$5,000 or over \$15,000 on mechanical work.

IN ACCORDANCE WITH 553.79, F.S. THIS IS TO ADVISE YOU OF YOUR RESPONSIBILITY TO COMPLY WITH ALL ASBESTOS REGULATIONS INCLUDING NOTIFICATION REQUIREMENTS WHICH CAN BE FOUND IN CHAPTER 469 FLORIDA STATUTES. CONTACT PALM BEACH COUNTY HEALTH DEPARTMENT, ASBESTOS PROGRAM COORDINATOR AT (561) 837-5900 FOR FURTHER INFORMATION.

*** Track progress, and get essential details on permits and inspections when you visit us at www.pbcgov.com/pzb/building .***

In accordance with Part IV, 373 F.S. and Chapter 62-330, F.A.C., any work in wetlands or other surface waters may require authorization from the Florida Department of Environmental Protection (FDEP) or South Florida Water Management District (SFWMD). Please call FDEP's Southeast District at 561-681-6600 or the SFWMD at 561-686-8800 with questions regarding wetlands.

CALL BEFORE YOU DIG

CALL 811 OR VISIT [HTTP://WWW.SUNSHINE.COM](http://www.sunshine.com) BEFORE YOU DIG PURSUANT TO CHAPTER 556 FLORIDA STATUTES IN ORDER TO COMPLY WITH THE FLORIDA UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT

NO DEVIATIONS FROM THIS PERMIT MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION.

B-2024-007325-0000

OWNER: Elite Capital & Development Inc

CONTRACTOR/COMPANY NAME: Meticulous Services Llc

CONTRACTORS' PHONE NUMBER: 561-201-2430

PROPERTY ADDRESS: 3172 Hiawatha Ave, West Palm Beach, 33409

SUBDIVISION NAME: West Gate Estates Northern Section

BAY/SUITE#:

Drewski, Kerry

Doug Wise

ISSUING CLERK

BUILDING OFFICIAL

NOTICE: This permit and any permitted plans must be available to the Inspector at the time of inspection to receive a passed inspection



PALM BEACH COUNTY BUILDING DIVISION
Planning, Zoning & Building Department

BUILDING/SITE REVIEW PERMIT

Stamp Permit Number:

B-2024-007325-0000

BUILDING							
FOOTING	LAB	BEAM / COL.	ROOF FRAMING SHEATHING		ROOF METAL	FRAME	INSULATION
Date	Date	Date	Date	Date	Date	Date	Date
DRYWALL	LATH	D/W-S/W	POOL STEEL	POOL DECK	WALL SHEATHING	WALL ANCHORS	FINAL
Date	Date	Date	Date	Date	Date	Date	Date
Date	Date	Date	Date	Date	Date	Date	Date
ELECTRICAL		PLUMBING		MECHANICAL		FIRE	SITE
TEMP POLE	UNDERGROUND	UNDERGROUND	ROUGH	UNDERGROUND	ROUGH	FRAME	LANDSCAPE
Date	Date	Date	Date	Date	Date	Date	Date
ROUGH	FINAL	SEWER	FINAL	FINAL		FINAL	PARKING
Date	Date	Date	Date	Date	Date	Date	Date
							SPECIAL COND.
Date	Date	Date	Date	Date	Date	Date	Date

CONDITIONS OF PERMIT

As evidenced by the permittee's signature on the Permit Application, and in consideration for granting this permit, it is agreed that in all respects the work will be performed in accordance with the permitted plans and the applicable codes for Palm Beach County, Florida. This permit may be Revoked at any time upon the violation of any of the provisions of said Laws, Ordinances, Rules, Regulations, Policies and Procedures. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state or federal permits must be obtained before any development is commenced.

TIME LIMITATION

This Permit becomes inactive if the work authorized is not inspected within 6 months from the date it was issued, or if at any time there is more than a 6-month lapse between Inspections. No work may occur without an active Permit. Inactive permits may be renewed upon application and payment of required fees (including any increases in fees that have occurred since original issuance), and may be required to meet updated codes.

RESTRICTIONS

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county such as the requirement for Home or Property Owners Association approval, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

INSPECTIONS	
(561) 355-2222 AUTOMATED	
(888) 236-3807 TOLLFREE	
(561) 233-5170 DURING BUSINESS HOURS	WWW.PBCGOV.COM/PZB/BUILDING
NEXT BUSINESS DAY SERVICE	

SEE FRONT OF FORM FOR PERMIT INFORMATION

INSPECTIONS
 (561) 355-2222 Automated Schedule
 (888) 236-3807 Toll Free
 (561) 233-5170 During Business Hours
 OPEN MONDAY THRU FRIDAY 8:00 AM TO 4:30 PM



**PALM BEACH COUNTY
 PLANNING, ZONING & BUILDING DEPARTMENT**

BUILDING DIVISION

Visit us at www.pbcgov.com/PZB/Building to view Application Tracking, Inspection History and Contractor Information.

BUILDING/SITE REVIEW PERMIT

PERMIT	VIOLATION	STATE SURCHARGES	FIRE REVIEW	ROADS	PARKS			
2221.04	0	55.53	0.00	5597.40	890.32			
LIBRARIES	SCHOOLS	FIRE	PUBLIC BLDGS	LAW ENFORCEMENT	ERM			
206.87	5141.40	328.70	201.91	152.14	0.00			
HEALTH	OUTSIDE AGENCY	MISC. FEES	ZONING DEV ORDER #	UNITS	PROJECT#	CONTROL #	COMM. DIST	G.P.S.
0.00	134.00			1	01000-668	0-0	7 7	#####, #####
PRIMARY PERMIT	APPL DATE	FLOOD ZONE	FIN. FLR.	CONT CERTIFICATION #	PERMIT DESCRIPTION			
B-2024-007324-0000	02/22/2024	X		CBC-1261168	Single-Family Dwelling Detached			
SUB PERMIT NO	MASTER NO.	PROPERTY CONTROL NUMBER		INSP AREA	New 1-story single family dwelling			
		00-43-43-30-03-048-0110		004				
PRINTED DATE	SITE PLAN SQUARE FOOTAGE	GROSS SQUARE FOOTAGE		VALUE				
05/06/2024	1273	1273		137104.00				

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. (F. S. 713.135)
NO REFUNDS ON PERMIT FEES \$100.00 OR LESS OR AFTER FIRST INSPECTION IS MADE. NO REFUNDS AFTER 180 DAYS.

Construction lien information and notarization is required of Owner/Agent and Contractor signature is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is over \$5,000 or over \$15,000 on mechanical work.

IN ACCORDANCE WITH 553.79, F.S. THIS IS TO ADVISE YOU OF YOUR RESPONSIBILITY TO COMPLY WITH ALL ASBESTOS REGULATIONS INCLUDING NOTIFICATION REQUIREMENTS WHICH CAN BE FOUND IN CHAPTER 469 FLORIDA STATUTES. CONTACT PALM BEACH COUNTY HEALTH DEPARTMENT, ASBESTOS PROGRAM COORDINATOR AT (561) 837-5900 FOR FURTHER INFORMATION.

*** Track progress, and get essential details on permits and inspections when you visit us at www.pbcgov.com/pzb/building .***

In accordance with Part IV, 373 F.S. and Chapter 62-330, F.A.C., any work in wetlands or other surface waters may require authorization from the Florida Department of Environmental Protection (FDEP) or South Florida Water Management District (SFWMD). Please call FDEP's Southeast District at 561-681-6600 or the SFWMD at 561-686-8800 with questions regarding wetlands.

CALL BEFORE YOU DIG

CALL 811 OR VISIT [HTTP://WWW.SUNSHINE.COM](http://www.sunshine.com) BEFORE YOU DIG PURSUANT TO CHAPTER 556 FLORIDA STATUTES IN ORDER TO COMPLY WITH THE FLORIDA UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT

NO DEVIATIONS FROM THIS PERMIT MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION.

B-2024-007324-0000

OWNER: Elite Capital & Development Inc

CONTRACTOR/COMPANY NAME: Meticulous Services Llc

CONTRACTORS' PHONE NUMBER: 561-201-2430

PROPERTY ADDRESS: 3164 Hiawatha Ave, West Palm Beach, 33409

SUBDIVISION NAME: West Gate Estates Northern Section

BAY/SUITE#:

Drewski, Kerry

Doug Wise

ISSUING CLERK

BUILDING OFFICIAL

NOTICE: This permit and any permitted plans must be available to the Inspector at the time of inspection to receive a passed inspection



PALM BEACH COUNTY BUILDING DIVISION
Planning, Zoning & Building Department

BUILDING/SITE REVIEW PERMIT

Stamp Permit Number:

B-2024-007324-0000

BUILDING								
FOOTING	LAB	BEAM / COL.	ROOF FRAMING SHEATHING		ROOF METAL	FRAME	INSULATION	
Date	Date	Date	Date	Date	Date	Date	Date	
DRYWALL	LATH	D/W-S/W	POOL STEEL	POOL DECK	WALL SHEATHING	WALL ANCHORS	FINAL	
Date	Date	Date	Date	Date	Date	Date	Date	
Date	Date	Date	Date	Date	Date	Date	Date	
ELECTRICAL		PLUMBING			MECHANICAL		FIRE	SITE
TEMP POLE	UNDERGROUND	UNDERGROUND	ROUGH	UNDERGROUND	ROUGH	FRAME	LANDSCAPE	
Date	Date	Date	Date	Date	Date	Date	Date	
ROUGH	FINAL	SEWER	FINAL	FINAL		FINAL	PARKING	
Date	Date	Date	Date	Date	Date	Date	Date	
							SPECIAL COND.	
Date	Date	Date	Date	Date	Date	Date	Date	

CONDITIONS OF PERMIT

As evidenced by the permittee's signature on the Permit Application, and in consideration for granting this permit, it is agreed that in all respects the work will be performed in accordance with the permitted plans and the applicable codes for Palm Beach County, Florida. This permit may be Revoked at any time upon the violation of any of the provisions of said Laws, Ordinances, Rules, Regulations, Policies and Procedures. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state or federal permits must be obtained before any development is commenced.

TIME LIMITATION

This Permit becomes inactive if the work authorized is not inspected within 6 months from the date it was issued, or if at any time there is more than a 6-month lapse between Inspections. No work may occur without an active Permit. Inactive permits may be renewed upon application and payment of required fees (including any increases in fees that have occurred since original issuance), and may be required to meet updated codes.

RESTRICTIONS

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county such as the requirement for Home or Property Owners Association approval, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

INSPECTIONS

(561) 355-2222 AUTOMATED

(888) 236-3807 TOLLFREE

(561) 233-5170 DURING BUSINESS HOURS

NEXT BUSINESS DAY SERVICE

WWW.PBCGOV.COM/PZB/BUILDING

SEE FRONT OF FORM FOR PERMIT INFORMATION

INSPECTIONS
 (561) 355-2222 Automated Schedule
 (888) 236-3807 Toll Free
 (561) 233-5170 During Business Hours
 OPEN MONDAY THRU FRIDAY 8:00 AM TO 4:30 PM



PALM BEACH COUNTY
PLANNING, ZONING & BUILDING DEPARTMENT
BUILDING DIVISION

Visit us at www.pbcgov.com/PZB/Building to view Application Tracking, Inspection History and Contractor Information.

BUILDING/SITE REVIEW PERMIT

PERMIT	VIOLATION	STATE SURCHARGES	FIRE REVIEW	ROADS	PARKS			
2221.04	0	55.53	0.00	5597.40	890.32			
LIBRARIES	SCHOOLS	FIRE	PUBLIC BLDGS	LAW ENFORCEMENT	ERM			
206.87	5141.40	328.70	201.91	152.14	0.00			
HEALTH	OUTSIDE AGENCY	MISC. FEES	ZONING DEV ORDER #	UNITS	PROJECT#	CONTROL #	COMM. DIST	G.P.S.
0.00	134.00			1	01000-668	0-0	7 7	#####, #####
PRIMARY PERMIT	APPL DATE	FLOOD ZONE	FIN. FLR.	CONT CERTIFICATION #	PERMIT DESCRIPTION			
B-2024-007322-0000	02/22/2024	X		CBC-1261168	Single-Family Dwelling Detached			
SUB PERMIT NO	MASTER NO.	PROPERTY CONTROL NUMBER		INSP AREA	New 1-story single family dwelling			
		00-43-43-30-03-048-0120		004				
PRINTED DATE	SITE PLAN SQUARE FOOTAGE	GROSS SQUARE FOOTAGE		VALUE				
05/06/2024	1273	1273		137104.00				

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. (F. S. 713.135)
NO REFUNDS ON PERMIT FEES \$100.00 OR LESS OR AFTER FIRST INSPECTION IS MADE. NO REFUNDS AFTER 180 DAYS.

Construction lien information and notarization is required of Owner/Agent and Contractor signature is required when the aggregate value (total cost of all improvements and not just work authorized by the individual permit) is over \$5,000 or over \$15,000 on mechanical work.

IN ACCORDANCE WITH 553.79, F.S. THIS IS TO ADVISE YOU OF YOUR RESPONSIBILITY TO COMPLY WITH ALL ASBESTOS REGULATIONS INCLUDING NOTIFICATION REQUIREMENTS WHICH CAN BE FOUND IN CHAPTER 469 FLORIDA STATUTES. CONTACT PALM BEACH COUNTY HEALTH DEPARTMENT, ASBESTOS PROGRAM COORDINATOR AT (561) 837-5900 FOR FURTHER INFORMATION.

*** Track progress, and get essential details on permits and inspections when you visit us at www.pbcgov.com/pzb/building .***

In accordance with Part IV, 373 F.S. and Chapter 62-330, F.A.C., any work in wetlands or other surface waters may require authorization from the Florida Department of Environmental Protection (FDEP) or South Florida Water Management District (SFWMD). Please call FDEP's Southeast District at 561-681-6600 or the SFWMD at 561-686-8800 with questions regarding wetlands.

CALL BEFORE YOU DIG

CALL 811 OR VISIT [HTTP://WWW.SUNSHINE.COM](http://www.sunshine.com) BEFORE YOU DIG PURSUANT TO CHAPTER 556 FLORIDA STATUTES IN ORDER TO COMPLY WITH THE FLORIDA UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT

NO DEVIATIONS FROM THIS PERMIT MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION.

B-2024-007322-0000

OWNER: Elite Capital & Development Inc

CONTRACTOR/COMPANY NAME: Meticulous Services Llc

CONTRACTORS' PHONE NUMBER: 561-201-2430

PROPERTY ADDRESS: 3156 Hiawatha Ave, West Palm Beach, 33409

SUBDIVISION NAME: West Gate Estates Northern Section

BAY/SUITE#:

Drewski, Kerry

Doug Wise

ISSUING CLERK

BUILDING OFFICIAL

NOTICE: This permit and any permitted plans must be available to the Inspector at the time of inspection to receive a passed inspection



PALM BEACH COUNTY BUILDING DIVISION
Planning, Zoning & Building Department

BUILDING/SITE REVIEW PERMIT

Stamp Permit Number:

B-2024-007322-0000

BUILDING								
FOOTING	LAB	BEAM / COL.	ROOF FRAMING SHEATHING		ROOF METAL	FRAME	INSULATION	
Date	Date	Date	Date	Date	Date	Date	Date	
DRYWALL	LATH	D/W-S/W	POOL STEEL	POOL DECK	WALL SHEATHING	WALL ANCHORS	FINAL	
Date	Date	Date	Date	Date	Date	Date	Date	
Date	Date	Date	Date	Date	Date	Date	Date	
ELECTRICAL		PLUMBING			MECHANICAL		FIRE	SITE
TEMP POLE	UNDERGROUND	UNDERGROUND	ROUGH	UNDERGROUND	ROUGH	FRAME	LANDSCAPE	
Date	Date	Date	Date	Date	Date	Date	Date	
ROUGH	FINAL	SEWER	FINAL	FINAL		FINAL	PARKING	
Date	Date	Date	Date	Date	Date	Date	Date	
							SPECIAL COND.	
Date	Date	Date	Date	Date	Date	Date	Date	

CONDITIONS OF PERMIT

As evidenced by the permittee's signature on the Permit Application, and in consideration for granting this permit, it is agreed that in all respects the work will be performed in accordance with the permitted plans and the applicable codes for Palm Beach County, Florida. This permit may be Revoked at any time upon the violation of any of the provisions of said Laws, Ordinances, Rules, Regulations, Policies and Procedures. Issuance of this permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law. All applicable state or federal permits must be obtained before any development is commenced.

TIME LIMITATION

This Permit becomes inactive if the work authorized is not inspected within 6 months from the date it was issued, or if at any time there is more than a 6-month lapse between Inspections. No work may occur without an active Permit. Inactive permits may be renewed upon application and payment of required fees (including any increases in fees that have occurred since original issuance), and may be required to meet updated codes.

RESTRICTIONS

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county such as the requirement for Home or Property Owners Association approval, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

INSPECTIONS

(561) 355-2222 AUTOMATED

(888) 236-3807 TOLLFREE

(561) 233-5170 DURING BUSINESS HOURS

NEXT BUSINESS DAY SERVICE

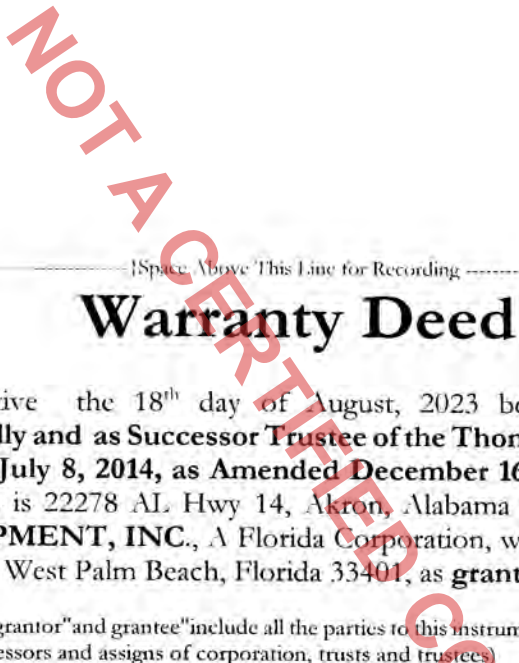
WWW.PBCGOV.COM/PZB/BUILDING

SEE FRONT OF FORM FOR PERMIT INFORMATION

CFN 20230290276
OR BK 34512 PG 1113
RECORDED 8/22/2023 4:28 PM
AMT: \$395,000.00
DEED DOC \$2,765.00
Palm Beach County, Florida
Joseph Abruzzo, Clerk
Pgs: 1113 - 1114; (2pgs)

Prepared by and return to
Dean L. Willbur, Jr.
DEAN L. WILLBUR, JR., P.A.
11380 Prosperity Farms Road, Suite 110A
Palm Beach Gardens, Florida 33410
(561) 775-7577

File Number: 23043D
Consideration: \$395,000.00



Space Above This Line for Recording

Warranty Deed

This Indenture, effective the 18th day of August, 2023 between **ELIZABETH SHAW HAMILTON**, individually and as **Successor Trustee of the Thomas Ervin Hamilton Revocable Trust Agreement dated July 8, 2014, as Amended December 16, 2014 and November 7, 2018**, whose post office address is 22278 AL Hwy 14, Akron, Alabama 35441, as **grantors**, to **ELITE CAPITAL & DEVELOPMENT, INC.**, A Florida Corporation, whose post office address is, 2465 Mercer Avenue, Suite 303, West Palm Beach, Florida 33401, as **grantees**:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals and the successors and assigns of corporation, trusts and trustees)

Witnesseth, that the GRANTORS, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said GRANTORS in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, have granted, bargained, and sold to the GRANTEES and GRANTEES'S heirs, successors and assigns forever, the following described land, situate, lying and being in Palm Beach County, Florida to-wit:

Parcel 1:

Lots 41 and 42, Block 42, West Gate Estates (Northern Section), according to the plat thereof as recorded in Plat Book 8, Page 38, Public Records of Palm Beach County, Florida.
2439 Hiawatha Avenue, West Palm Beach, Florida 33409
Tax ID #00-43-43-30-03-042-0410
Consideration: \$85,000.00

Parcel 2:

Lots 5, 6, 7 and 8, Block 48, West Gate Estates (Northern Section), according to the plat thereof as recorded in Plat Book 8, Page 38, Public Records of Palm Beach County, Florida.
2444 Hiawatha Avenue, West Palm Beach, Florida 33409
Tax ID #00-43-43-30-03-048-0050
Consideration: \$85,000.00

Witness / Signature and Notary on Second Page.

WARRANTY DEED
2439 Hiawatha Avenue, West Palm Beach, Florida 33409
2444 Hiawatha Avenue, West Palm Beach, Florida 33409
2440 Hiawatha Avenue, West Palm Beach, Florida 33409
Page Two

Parcel 3:
Lots 9, 10, 11 and 12, Block 48, West Gate Estates (Northern Section), according to the plat thereof as recorded in Plat Book 8, Page 38, Public Records of Palm Beach County, Florida.
2440 Hiawatha Avenue, West Palm Beach, Florida 33409
Tax ID #00-43-43-30-03-048-0090
Consideration: \$225,000.00

****Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the State of Florida, nor is it contiguous to or part of homestead property of the grantor, its spouse or dependents.**

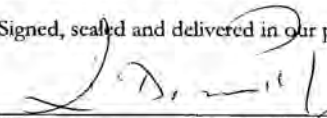
Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

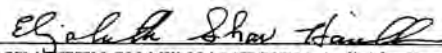
To Have and to Hold, the same in fee simple forever.

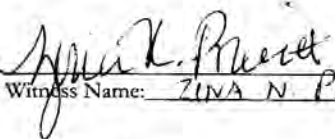
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes for the year of closing and subsequent years, restrictions, reservations, covenants and easements of record, if any.

In Witness Whereof, grantors have hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



Witness Name: David D. Pruitt Sr.

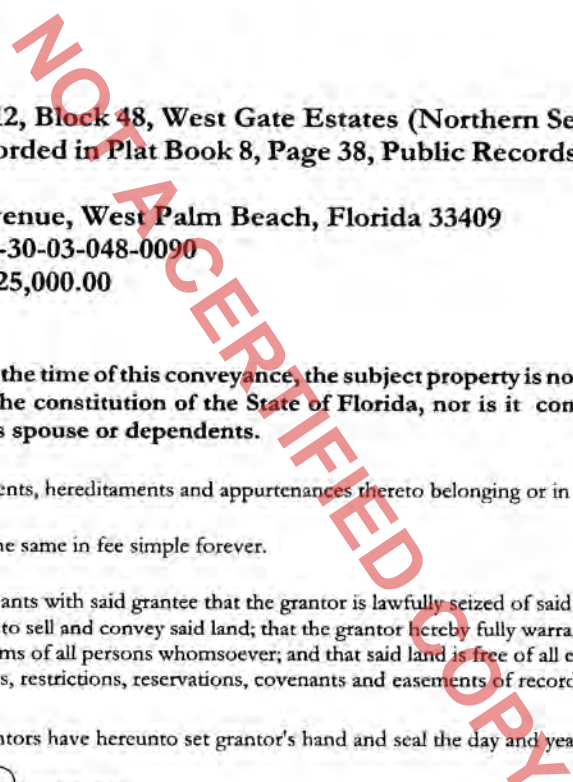

ELIZABETH SHAW HAMILTON, individually and as Successor Trustee of the Thomas Ervin Hamilton Revocable Trust Agreement dated July 8, 2014 as Amended December 16, 2014 and November 7, 2018


Witness Name: ZINA N. PRUITT

State of Alabama
County of Hale

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 14 day of August, 2023, by ELIZABETH SHAW HAMILTON, individually and as Successor Trustee, of the Thomas Ervin Hamilton Revocable Trust Agreement dated July 8, 2014, as Amended December 16, 2014 and November 7, 2018, who is personally known to me or who has produced _____ identification.


Notary Public: STATE OF ALA
My Commission Expires: 3-13-24





NEW CONSTRUCTION BUDGET

Goelet Model

Goelet Properties, West Palm Beach, FL 33409

DEVELOPMENT COSTS

Architecture	\$	5,500
Land & Preparation	\$	90,000
Infrastructure	\$	14,285
Surveying	\$	2,200

Sub-Total	\$	111,985
------------------	-----------	----------------

SOFT COSTS

Water & Sewer	\$	11,800
Impact Fees	\$	11,200

Sub-Total	\$	23,000
------------------	-----------	---------------

CONSTRUCTION COSTS

Footing and Slab	\$	20,000
Labor	\$	7,500
Materials	\$	12,500
Beams and Columns	\$	20,000
Labor	\$	9,000
Materials	\$	11,000
Rough Carpentry	\$	23,500
Labor	\$	8,500
Materials	\$	15,000
Roof	\$	15,000
Plumbing	\$	13,750
Electrical	\$	16,250
HVAC	\$	14,200
Windows and Doors	\$	16,000

Labor	\$	7,000
Materials	\$	9,000
Framing, Drywall and Insulation	\$	17,000
Labor	\$	9,500
Materials	\$	9,500
Lath and Stucco	\$	10,000
Labor	\$	5,500
Materials	\$	4,500
Flooring	\$	11,500
Labor	\$	6,000
Materials	\$	5,500
Kitchen	\$	13,000
Labor	\$	5,500
Materials	\$	7,500
Bathrooms	\$	9,000
Labor	\$	4,500
Materials	\$	4,500
Appliances	\$	3,800
Landscape & Pavers	\$	8,500
Painting	\$	7,500
Fixtures	\$	5,700
Sub-Total	\$	224,700
TOTAL COSTS	\$	359,685

Estimate #07102064 sent

July 31, 2024

Customer

Oswego Oaks Park

c/o Mai Bui

Mbui@pbcgov.org

561-640-8184

2730 Oswego Avenue

West Palm Beach , FL 33409

Message

We look forward to working with you.

2025 Holiday Lighting & Decor Services

- Option 1, \$15,680.00

This is a Non-Contractual Agreement option

Oswego Oaks Park - 11/8/2025 Dennis P.

Koehler Preserve - 11/9/2025

Date of service: November 8, 2025

2025 Holiday Lighting & Decor Services

- Option 2, \$13,000.00

3 Year Contractual Agreement Oswego Oaks

Park - 11/8/2025 Dennis P. Koehler Preserve -

11/9/2025

Date of service: November 8, 2025

2025 Holiday Lighting & Decor Services

- Option 3, \$12,000.00

5 Year Contractual Agreement Oswego Oaks

Park - 11/8/2025 Dennis P. Koehler Preserve -

11/9/2025

Date of service: November 8, 2025

Best Holiday Lighting,LLC

P O Box 481

Hampton, GA 30228 United States

bestholidaylighting@hotmail.com

888-986-0363

Please contact Best Holiday Lighting,LLC about its privacy practices.

You received a new estimate! (#07102064)

Best Holiday Lighting,LLC <messenger@messaging.squareup.com>

Wed 7/31/2024 3:45 PM

To: Mai Bui <MBui@pbc.gov>;

This Message Is From an External Sender

This message came from outside your organization.



Best Holiday Lighting,LLC

New Estimate

2025 Holiday Lighting & Decor Services

Estimate expires on August 14, 2024

Westgate CRA Board Meeting
August 12, 2024

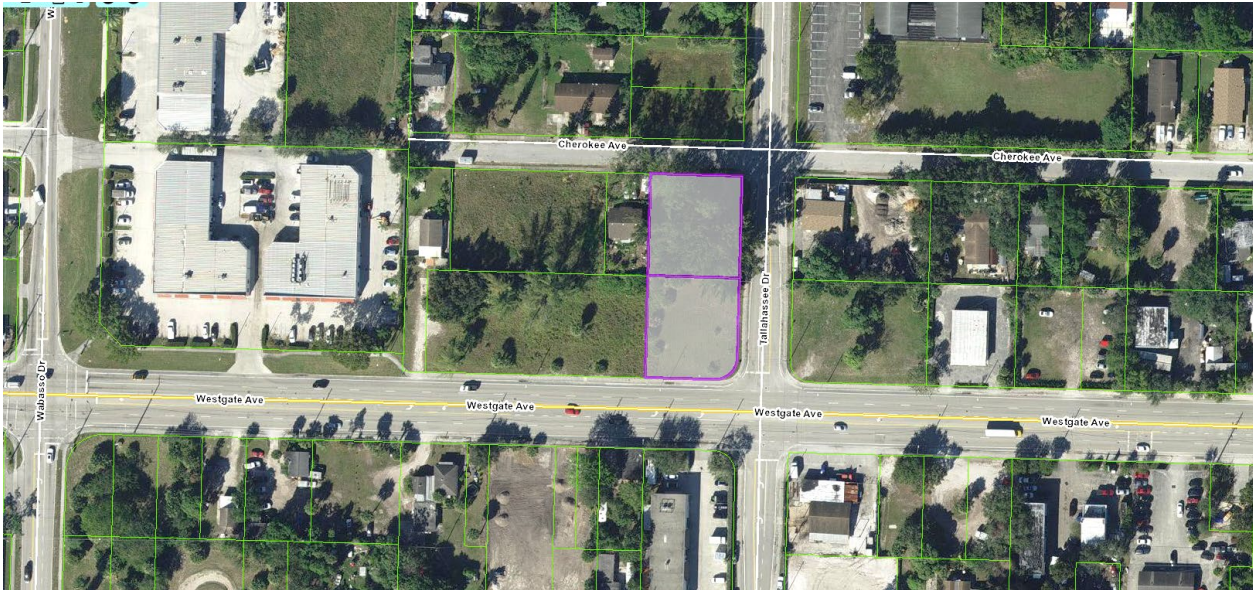
AGENDA ITEM SUMMARY

NorWest Pointe (previously Catayu Apartments)

Westgate at Tallahassee

DRO Approval of WCRAO Bonus Density
Type 1 Waiver for Landscaping

Control No. 2023-00047



Location Map

Site Background

The subject +/- 0.54-acre site is located on the northwest corner of Westgate Avenue at Tallahassee Drive, extending the full block depth north to Cherokee Avenue. The property is comprised of two lots, and is vacant, with overgrown vegetation on the northernmost parcel. Zoning records indicate no prior uses or resolutions.

The site is in the NC (Neighborhood Commercial) Sub-area of the WCRAO. The County's Managed Growth Tier System classifies the WCRAO as within the U/S (Urban/Suburban) Tier, the RRO

(Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area) Study area, and in the Westgate CCRT area.

The site has a Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre). To facilitate the entitlements process, and to allow the site to develop as multifamily, the applicant was required by the Zoning Division to rezone the site for zoning map consistency as a standalone application, in advance of the DRO approval process for bonus density. The site previously supported a split zoning designation, with the lot at the southwest corner of Cherokee Avenue at Tallahassee Drive within the RH (Multifamily Residential) zoning district and the lot fronting Westgate Avenue at Tallahassee Drive within the CN (Neighborhood Commercial) zoning district. The CRA Board provided recommendation of approval at their November 2023 meeting, and in July 2024, the site was approved for an Official Zoning Map amendment. The site is now fully within the RM (Multifamily Residential) zoning district.

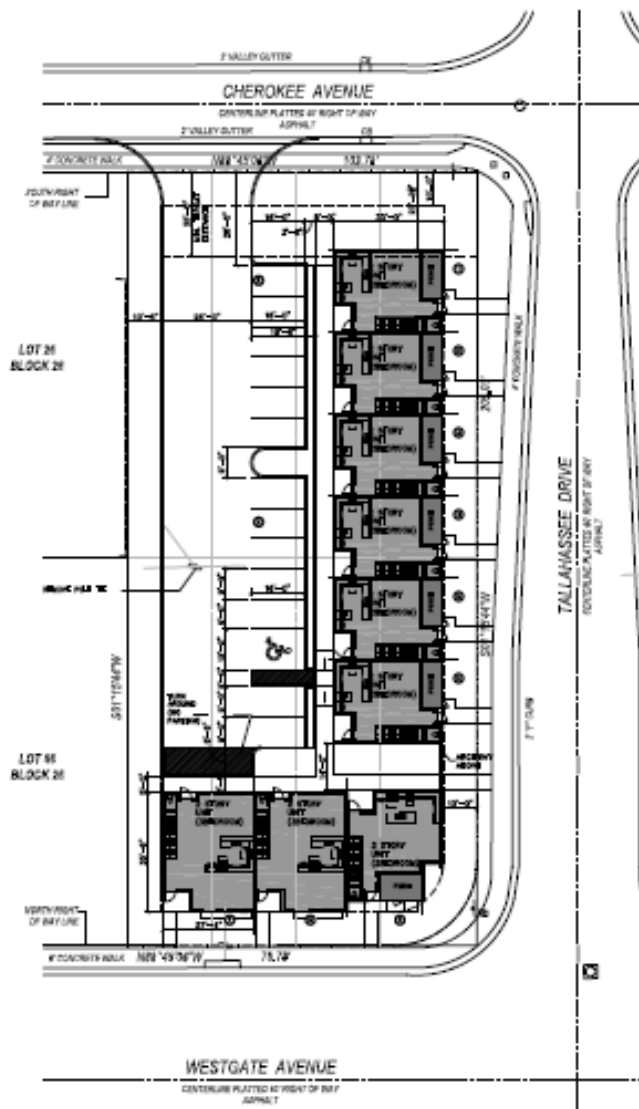
The project is compatible with existing development. To the east of the subject site is a vacant lot which fronts Westgate Avenue, and a single-family residential use along Cherokee Ave., both zoned CG. A CG-zoned vacant residential lot is to the north of the site. To the west is an existing single-family use; zoned CG. Across Westgate Avenue to the south of the site are commercially zoned properties operated by KCL Plumbing, a plumbing contractor. All adjacent properties have a CH/8 FLU.



Existing Conditions

Proposed Development - NorWest Pointe

The parcels that comprise the site were purchased by the current owner in 2017. The applicant proposes to develop a two-story 9-unit multifamily townhouse-style rental project consisting of six (6) 2-bedroom units and three (3) 1-bedroom units; each at 1,377 sf. The future land use allows the site to develop 4 units by right. Since the project proposes 9 units, an additional 5 units are requested from the WCRAO Density Bonus Pool (DBP), subject to DRO review and approval. The increase in density offered by the DBP pool will provide for an overall site density of just over 16 dwelling units per acre. The applicant is also submitting an administrative Type 1 Waivers for landscape buffer reductions. The project buildout is anticipated to be 2028.



Preliminary Site Plan

Summary of Petition

The applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Development Review Officer (DRO) approval of five (5) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the ROW landscape buffers along both Westgate Avenue and Tallahassee Drive; and,
3. Any additional variances or waivers necessary to obtain entitlements.

Staff Analysis & Review

Consistency with the Westgate CRA Community Redevelopment Plan

The CRA's review considers appropriateness of use and consistency with the intent, goals, and visions of the CRA Redevelopment Plan. Staff must also contemplate projects in the redevelopment district in a way that facilitates economic development, and investor interest, with a critical eye that considers how a project will impact the community over the long term.

NorWest Pointe will enhance the character of the NC Sub-area and Westgate Avenue corridor through new construction on vacant land, and will establish a new path for infill redevelopment from Westgate Avenue north along the Tallahassee Drive corridor toward the transitional NG Sub-area. WCRAO property development regulations were established to encourage a pedestrian friendly environment, street presence, and development that reinforces the smart growth principles of the CRA Redevelopment Plan and the County's Comprehensive Plan. The NC sub-area is intended to be the "key focal point of the redevelopment area, with provisions to encourage and incentivize mixed use development." While mixed use is preferred and encouraged in the NC sub-area, it is no longer required with standalone residential and non-residential development now permitted. Standards for the NC Sub-area reinforce the vision for the corridor outlined in the CRA's Redevelopment Plan: a main street inspired, medium density, mixed use corridor that supports a variety of neighborhood uses. Each project is significant in terms of use, scale, and design, as it contributes to the success of the whole.

To facilitate future larger-scale redevelopment, well-designed "missing middle" developments can offer the NC Sub-area a lower density alternative along the secondary Sub-area corridors Nokomis Avenue to the south and Cherokee Avenue to the north. Missing middle building types, such as two and three-story townhouses, fourplexes, courtyard buildings, or live/work provide a diversity of housing options and support locally-serving retail and public transportation options. With the

Westgate Avenue streetscape project currently underway, the CRA anticipates more commercial redevelopment and rehabilitation will follow. “Missing Middle Housing helps solve the mismatch between the available U.S. housing stock and shifting demographics combined with the growing demand for walkability”. (<https://missingmiddlehousing.com/>) Opticos Design describes this type of housing as missing because it is typically not seen in either urban areas, where higher density multifamily is prevalent, or sub-urban neighborhoods, where single-family dominates. The form and scale of “missing middle” housing differs in number of units and affordability, both in construction and end-user rents.

The NorWest Pointe project is proposed at a time when the CRA district is seeing unprecedented interest in residential development amidst a national clarion call for more affordable workforce housing. The WCRAO Density Bonus Pool allows for missing middle housing to occur on smaller infill sites that otherwise would be restricted by site size and the underlying future land use. A project that has fewer than 10 units is not bound by the County’s inclusionary housing policy, and can offer much needed units for moderate to middle income households, in an area that has an oversaturation of low-income households. An increase of moderate to middle income households could have a very powerful economic impact on the district and could lead to a shift in how development or redevelopment is perceived and initiated in the CRA.

Compliance with WCRAO Density Bonus Program Criteria

The Future Land Use Element of the Comprehensive Plan sets aside 1,300 bonus density units for the Westgate CRA area. In the NC Sub-area, a maximum of 50 density bonus units per acre are available to individual projects. To date, 369 density bonus units have been allocated to multifamily and mixed-use projects throughout the district. To qualify for WCRAO density bonus units, and receive a positive recommendation from the CRA, a number of criteria must be met:

1. The project facilitates the development of diverse, quality housing stock, that addresses a mix of income levels pursuant to the CRA’s Community Redevelopment Plan;
2. Meets WCRAO Sub-area use regulations and WCRAO PDRs for the use type; and,
3. Provides a minimum of 5% of the project residential square footage as outdoor space for resident use.

The owner/developer has indicated that monthly rent for each unit will be at or below market rate.

NC Sub-area PDRs and supplementary standards for multifamily projects with more than 5 units have generally been met through site plan layout and design. The WCRAO DBP residential open space requirement has been achieved with individual unit balconies and porches comprising over 7% of the residential square footage for resident use.

Consistency with WCRAO PDRs & Supplementary Standards

The PDRs of the NC Sub-area require sites for all uses to be designed with the principal structure placed 10 ft. from the front property line, with 80% building frontage, and a two-story minimum to create massing and presence along Westgate Avenue. PDR's and supplementary standards further require access from and parking at the rear where available. NC Sub-area form-based standards encourage and often necessitate larger assemblages that front Westgate Avenue and occupy the full 230 ft. depth of the block. The NorWest Pointe project is proposed for a corner site with the opportunity for multiple frontages. A minimum lot depth of 100 ft. is required in the for multifamily developments with more than 5 units. The site is 230 ft. wide along Tallahassee Drive and 78.7 ft. wide along Westgate Ave.; a minimum of 100 ft. is required. The applicant will address both Westgate Ave. and Tallahassee Drive by utilizing a provision allowing for double frontage. The buildings are 33-35.6 ft. in depth, and the lot has a lot coverage of 26% where 40% is allowed. The maximum building height in the NC Sub-area is 72 ft. or 6 stories, and a minimum of 2 stories is required; the building complies at 2 stories in height.

Buildable land and site layout is constrained due to the size of the site, the number of units proposed, and other site requirements. The building frontage provides good massing and street presence. The NC Sub-area has an 80% building frontage requirement and the frontage must be on the build to line of 10 ft. The buildings are aligned along the property boundaries of both Westgate Avenue and Tallahassee Drive – site plan data indicates that a building frontage of 80% is provided along Westgate Ave., and a building frontage of 82% is provided along Tallahassee, assisted by the addition of a breezeway that connects both buildings. WCRAO Residential PDRs require a build to line of 10 ft. for multifamily development with more than 5 units, and this setback has been provided along both frontages. Side setbacks for the Westgate Ave. facing building are 10.6 ft. on the west and 10 ft on east; a 10 ft. south street side setback is provided for the Tallahassee Drive facing building, and a 23.2 ft. side street setback is provided to the north. Rear setbacks have not been dimensioned on the site plan, however, staff calculates 61.5 ft. has been provided for the Tallahassee Dr. facing building; the rear setback for the Westgate Ave. facing building well within the 25 ft. minimum rear setback required by code, since the parking lot is located at the rear of the structures.

Landscape Provisions – Type 1 Waiver

A preliminary landscape plan has not been provided. WCRAO landscape deviations for the NC Sub-area allow for a reduced ROW and incompatibility buffers for commercial and mixed-use projects, but that reduction is not currently applicable to a standalone residential use. However, WCRAO section 3.B.14.H.C.1A, Incentives for Density Bonus Pool Projects, allows an applicant to request to modify or reduce the landscape requirements in Art. 7 subject to a Type 1 Waiver process. This relief

mechanism allows a project to move forward in the absence of supporting code and in lieu of a variance. ROW buffer of 15 ft. in width is required when the abutting ROW width is over 40 ft.; only 10 ft. is provided along both the Westgate Ave. and Tallahassee Drive frontages, overlapping the 10 ft. front setback – this represents Type 1 Waiver request #1 and #2. On the west side of the site, abutting the single-family residential property, a 10 ft. Type I incompatibility buffer is provided within the setback. A 10 ft. ROW buffer, commensurate with buffer requirements for ROWs with a width of less than 40 ft., has been provided along the Cherokee Avenue property line within the setback. Foundation plantings, as required, may also be reduced for projects where a build to line is required pursuant to approval by the DRO.

The applicant utilized an Art. 5 option to cash out from the recreational open space required by the Parks and Recreation Department, so no dedicated open or recreation space is provided on site.

Architecture

The applicant has provided architectural elevations and floor plans for the building design. Each unit is approx. 24 ft. wide, with slightly different 1 and 2 bdrm. floor plan sets. The structure is designed in a two-story townhouse-style with private patios and balconies. The architecture has a modern, if not minimalist, aesthetic. The design incorporates a flat roof design, recessed porches and balconies, and a breezeway feature connecting the Tallahassee Drive facing building with the building facing Westgate Ave. Clean lines emphasize simplicity, straight lines, and geometric shapes.

Building colors are proposed in white, with pops of mustard yellow on the facades, and within recessed areas, and black around doorways and awnings, in keeping with a modern color palette. Balconies on each unit are required for all multifamily projects with 5 units or more; 1 per unit is provided. The ceiling heights of each building are low, with the overall building height at 25 ft. to the roof parapet. AC units are proposed for the roof, with no screening indicated. The units have a compact interior layout; fenestration is addressed through vertical panel windows, balcony, and patio doors. Each unit has a main entry facing the frontage street, as required by WCRAO supplementary standards, and a rear entry and recessed patio that is oriented to parking at the rear of the building.



East elevation - facing Tallahassee Drive



South elevation - facing Westgate Ave.

Traffic, Access & Parking

Building placement is shifted to the site's double frontages and required parking is located to the rear of the building. Access is from the side street Cherokee Avenue. WCRAO ratios for multifamily requires 1 parking space per unit for 1 bdrm. Units, and 1.5 parking spaces per unit for 2 bdrm. units, plus 1 space per 4 units for guests; 13 parking spaces and one ADA complaint space, for a total of 14 spaces, have been provided. A traffic statement has been submitted for review. Traffic impacts are minimal for a 9-unit multifamily project, with only 61 net new daily trips; 4 am peak hour, and 5 pm peak hour. Since the project has less than 21 pm peak trips, there is no impact to the TCEA trip pool.

Drainage Considerations

The applicant is utilizing all available land to allow the site to function with the number of units necessary to meet their pro forma. A drainage statement has been provided with the application and indicates that legal positive outfall is available by way of the Cherokee Avenue drainage system. The statement further provides that the surface stormwater management system 'will be accomplished with a combination of dry detention area, interconnected culvert pipes, drainage inlets and subsurface stormwater management system that provide the water quality runoff and onsite stormwater storage.'

Staff Recommendation

The proposed use and site plan is consistent with the goals and objectives of the Westgate CRA Community Redevelopment Plan, and generally complies with the provisions and standards of the WCRAO zoning overlay. The project represents an investment in the community and will enhance the character of the intersection of Westgate Avenue at Tallahassee Drive corridor in the NC Sub-area through the redevelopment of vacant land for much needed missing middle housing.

Staff supports a CRA Board recommendation of **approval** for the following application request:

1. Development Review Officer (DRO) approval of five (5) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 5 ft. in the ROW landscape buffers along both Westgate Avenue and Tallahassee Drive; and,
3. Approval of any additional variances or waivers necessary to obtain entitlements.



Palm Beach County Zoning Division
2300 N. Jog Road
West Palm Beach, Florida 33411
Phone: (561) 233-5200
Fax: (561) 233-5165

GENERAL APPLICATION
PUBLIC HEARING AND DRO ADMINISTRATIVE PROCESSES

1. REQUEST(S)

Check Type(s) of Application Request(s) and complete as applicable:

PUBLIC HEARING REQUESTS:

- Official Zoning Map Amendment from ... Zoning District to ... Zoning District
With a Concurrent Land Use Amendment from ... Land Use to ... Land Use
Class A Conditional Use (CA) for ...
Class B Conditional Use (CB) for: ...
Development Order Abandonment (ABN) of Resolution No: ... which allowed ...
Expedited Application Consideration (EAC) for: ...
Development Order Amendment (DOA) to a previously approved:
COZ PDD/TDD Class A Class B Other: ...
Type 2 Variance: (Submit Form #43 Variance Supplemental) Concurrent Standalone
Subdivision Variance: (Submit Form #43 Variance Supplemental) Concurrent Standalone
PO Deviations: (Submit Form #92 PO Deviation) from Article(s) ...
Pre-Application Conference (PAC) IRO or PRA: With Questions? Yes No
Type 2 Waiver: (Submit Form #19 Waiver Supplemental) Concurrent Standalone
Unique Structure:
Other:

DRO ADMINISTRATIVE REQUESTS:

- Expedited Development Review Officer approval (DROE) (within 2 months of BCC/ZC approval)
Use subject to Development Review Officer (DRO) approval for ...
Pre-Application Conference (PAC) - Concurrent Review: With Questions? Yes No
Type 2 Concurrent Review: with Building Permit # or with Plat, Name/No.
Type 3 Concurrent Review (Zoning, Land Development and Building)
Administrative Modification to a Plan approved by the ZC / BCC / DRO for ...
Administrative Abandonment (ABN) of a DRO Approval ...
Subdivision ...
Transfer of Development Rights (TDR) (Submit Form #16 TDR Supplemental)
Type 1 Waiver (Submit Form #19 Waiver Supplemental) from Article for
Other

2. APPLICANT INFORMATION

Current Property Owner(s) Name: _____
Address: _____ **City:** _____
State: _____ **Zip:** _____
Phone: _____ **Cell Phone:** _____
Email Address: _____

Applicant's name (if other than property owner(s): _____
Address: _____ **City:** _____
State: _____ **Zip:** _____
Phone: _____ **Cell Phone:** _____
Email Address: _____

Check (✓) here if Applicant is a contract purchaser. Consent is required from the contract purchaser if a contract is pending to purchase the subject property. Home Owners Association (HOA) or Property Owners Association (POA) consent will be required if subject property is under common ownership or request is to modify any aspect of the project which applies to the entire development (i.e. condition of approval, internal roadway, etc.)

Agent:* _____ **Name of Firm:** _____
Address: _____ **City:** _____ **State:** _____ **Zip:** _____
Phone: _____ **Cell Phone #:** _____
Email Address: _____

Agent:* _____ **Name of Firm:** _____
Address: _____ **City:** _____ **State:** _____ **Zip:** _____
Phone: _____ **Cell Phone #:** _____
Email Address: _____

* All correspondence will be sent to the Agent(s) unless otherwise specified.

3. PROPERTY INFORMATION (* Required Fields)

A. *Property Control Number (PCN): <i>(List additional PCN(s) on separate sheet)</i>	
B. *Control Number:	
C. *Control Name :	
D. Application Number:	
E. *Application Name:	
F. Project Number:	
G. *Gross Acreage:	
H. Gross Acreage of affected area:	
I. *Location of subject property: <i>(proximity to closest major intersection/ road)</i>	
J. *Address:	
K. *BCC District:	
L. Overlay (Special Study Area):	
M. Tier	<input type="checkbox"/> U/S <input type="checkbox"/> R/EX <input type="checkbox"/> AGR <input type="checkbox"/> GLADES

4. LAND USE AND ZONING INFORMATION

Current Future Land Use designation:		Proposed Future Land Use designation:	
Current Zoning District:		Proposed Zoning District:	
Existing Use(s):		Proposed Use(s):	
Existing Square Footage:		Proposed Square Footage:	
Existing Number of Units:		Proposed Number of Units:	

5. ARCHITECTURAL REVIEW

This application is subject to the requirements of Article 5.C, Design Standards and request review of the proposed elevations concurrent with:

- Type 1 Projects Requiring BCC Approval
- Type 2 Projects Requiring ZC Approval
- Type 3 Projects Requiring DRO or Site Plan Approval
- Type 4 Projects Requiring Building Permit Approval

This application also includes request(s) for Elevation review and consideration, as indicated below:

- Revise previously approved Elevations;
- Non-conforming structures that are subject to Article 5.C, Percentage of Renovations;
- Approval for Green Architecture (*Type 1 Waiver*, Art.5.C.1.E.3)
- Approval for Unique Structure (Art.5.C.1.E.2)

Note: All application documents shall be consistent with the current Technical Manual, refer to the Zoning Web Page.

6. ADJACENT PROPERTIES

Complete the chart below to identify the Use and Zoning information for the surrounding properties to the project.

Adjacent Property	FLU	Zoning District	Existing Use (Res, Comm, Ind, etc.)	Approved Use (Res, Comm, Ind, etc.)	Existing Sq. ft. or DU/AC	Approved Sq. ft. or DU/AC	Control # (FKA Petition #)	Resolution # R _
EAST								
NORTH								
SOUTH								
WEST								

7. COMPLIANCE

YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the property in compliance with all previous Conditions of Approval and applicable Code Requirements? <i>If no, please explain in the Justification Statement.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the property currently the subject of Code Enforcement action? <i>If yes, provide Code Enforcement Case Number: _____</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Will the request require modification(s) to a recorded plat or plat with Technical Compliance? <i>If yes, explain in the Justification Statement.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the subject property an existing legal lot of record? <i>If no, submit Legal Lot Review Application to the Land Development Division.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Does the proposed improvements exceed the allowable improvement value of the existing structure as identified in ULDC, Article 1? <i>If yes, comply with Article 1.F – Nonconformities.</i>

8. PROPOSED USE DETAILS

Building Name	Use(s) (as per ULDC)	Square Footage	Number of Units	Phase Name	Outparcel

9. CONCURRENCY

Concurrency Reservation Concurrency Equivalency Concurrency Exemption

A. Water Provider:			
B. Waste Water Provider:			
C. Drainage District:			
D. Traffic Provider:		Traffic Trips Existing:	
E. Mass Transit Provider:		Traffic Trips Proposed:	
F. Traffic Capacity:	Number of Gross Peak Hour Trips = <i>(If greater than 30; a traffic study will be required)</i>		
G. Public School:			
H. Public Health Provider:		Well /Septic tank :	
I. Parks			
J. Fire Rescue			
K. Solid Waste:			
L. Check the proposed means of achieving access from the development site to a point of Legal Positive Outfall for storm water discharged from the site: <input type="checkbox"/> Property is contiguous to a natural waterway, or a canal owned and operated by a water control district. <input type="checkbox"/> Property owner has legally established drainage rights to convey storm water through all intervening properties between the development site and natural waterway or water control district canal. <input type="checkbox"/> Property abuts a road with a functioning drainage system, and property owner has obtained written confirmation from the entity responsible for maintaining the road that the proposed development is eligible to utilize the road drainage system, subject to meeting all permit requirements for drainage connection. <input type="checkbox"/> Other (specify): _____			

10. ENVIRONMENTAL ANALYSIS

ENVIRONMENTAL RESOURCE MANAGEMENT (ERM) – Art. 14.B.8.C

Is there Native Vegetation on Site? Yes No If yes; a **Pre-Application Appointment** with ERM is required; Enter date of PAA meeting with ERM _____;

General Vegetation Statement:

Existing and Proposed Grade/Elevation where existing Native Vegetation is to be preserved:

Is site in a Wellfield protection zone? Yes No If yes; submit **Wellfield Protection Affidavit**, available from ERM

HEALTH DEPARTMENT – Art.15

In Justification Statement, under heading “Hazardous Material”, address type(s) and amount of: **1)**all industrial, manufacturing, special or hazardous waste that may be generated; **2)** airborne pollutants that may be generated (i.e. dust or other unconfined particulates such as NOx, SOx, CO, VOC’s, heavy metals, etc.); and, **3)** any special handling of solid waste that may be required.

This application is not complete without the following documents as attachments:

1. **Justification Statement:** to address the purpose, project history, intent and design objectives of this request, refer to Art.2.A.6.A.1 for the required information.
2. **Status of Conditions of Approval (COA):**
 - a. Provide letter/document which includes the status of all current Conditions of Approval;
 - b. Include the exact language for any modification(s) to any Condition of Approval;
 - c. If the application request requires time extension for Commencement of Development or recording a Plat, then provide further explanation. (This explanation may be added to the Justification Statement.)

Note: Please refer to PZB Zoning Website for all ULDC Articles <http://www.pbcgov.com/uldc/index.htm> referenced in this document and the Technical Manual for helpful information <http://www.pbcgov.com/techmanual/index.htm>



WAIVER SUPPLEMENTAL

An Applicant may apply for a Waiver from the requirements indicated in the various sections of the Unified Land Development Code (ULDC). Applicants submitting this Waiver Supplemental Application (**Form # 19**) are required to also submit the General Application, Public Hearing & DRO Administrative Processes (**Form # 1**).

Check (X) below for the Type(s) of Waiver request:

TYPE 1 WAIVERS

- Glades Area Overlay (GAO) Industrial Pod Development Standards** (Art.3.B.4.F, Type 1 Waivers for Industrial Pods)
- Native Ecosystem Overlay (NEO)** ¹ (Art.3.B.7.D, Property Development Regulations (PDR's))
- Northlake Boulevard Overlay Zone (NBOZ) Design Guidelines** ¹ (Art.3.B.8.E, Type 1 Waivers for NBOZ Design Guidelines)
- Infill Redevelopment Overlay (IRO)** ¹ (Art.3.B.15.G, Type 1 Waivers)
- Urban Redevelopment Area Overlay (URAO)** ¹ (Art.3.B.16.G, Type 1 and 2 URAO Waivers)
- Structural Setbacks – Reduction not to exceed 5% less than the minimum requirement** (Art.3.D.1.A)
- RVPD Type 3 Incompatibility Buffer** (Art. 3.E.7.F.2, Perimeter Buffer)
- Parking Proximity for a Type 1 Restaurant with Drive through** (Art.4.B.2.C.33.f.3.a.2, Location Criteria – Exceptions, Design Criteria)
- Commercial Greenhouse Loading Zones** (Art.4.B.6.C.17.c.4.b)
- Solid Waste Transfer Station Landscaping** (Art.4.B.7.C.10.d, Buffer)
- Green Architecture** (Art.5.C.1.E.3, Type 1 Waiver – Green Architecture)
- Parking for Community Vegetable Gardens** (Table 6.B.1.B, Minimum Parking and Loading Requirements, Note 10)
- Loading Space for a Type 3 CLF, or Nursing Home or Convalescent Facility with More than 20 Beds.** (Table 6.B.1.B, Minimum Parking and Loading Requirements, Note 12)
- Reduction in Number of Required Parking Spaces** (Art.6.C.1.A, Type 1 Waiver)
- Reduction in Number of Minimum Required Loading Spaces (uses < 10,000sqft)** (Art.6.E.2.B.3, Type 1 Waiver – Reduction of Minimum Number of Required Loading Spaces)
- Reduction of Loading Space Width or Length (for uses that require limited loading)** (Art.6.E.4.A.1.d, Type 1 Waiver – Reduction of Loading Space Width or Length)
- Landscaping** ¹ (Table 7.B.4.A, Type 1 Waivers for Landscaping)
- PUD Informational Signs** (Art.8.G.3.B.5.b)
- Billboard Location - Replacement Criteria** (Art.8.H.2.D.4)

TYPE 2 WAIVERS

- WCRAO Addition of Parking to a Non-Conforming Structure** ¹ (Art.3.B.14.B.1.a, Expansion of Existing Non-Conforming Parking)
- WCRAO Density Bonus Program** ¹ (Art.3.B.14.H.2, Other Density Bonus Programs)
- IRO – Minimum Residential Setbacks from Outdoor Use** (Art.3.B.15.F.6.a.4.a, Residential Setbacks)
- Urban Redevelopment Area Overlay (URAO)** ¹ (Table 3.B.16.G, Type 1 and 2 URAO Waivers)
- PDD Minimum Frontage** (Art.3.E.1.C.2.a.1.a, Type 2 Waiver – Infill Development)
- PDD Cul-de- Sac Maximum Percentage for Local Streets** (Art.3.E.1.C.2.a.5.b)
- MUPD Type 3 Incompatibility Buffer** (Art. 3.E.3.B.2.c, Landscape Buffers)
- AGR Tier - Parking Structure** (Art.3.F.2.A.2.d.1.a, Type 2 Waiver)
- TMD Maximum Building Height in the U/S Tier** (Art. 3.F.4.C.3.a.1, U/S Tier)
- AGR TMD - Block Structure** (Art.3.F.4.D.9.a, Type 2 Waiver)
- Congregate Living Facility** (Art. 4.B.1.C.1.e, Location)
- Family Community Residence** (Art. 4.B.1.C.3.d, Licensing, Certification, or Charter, e, Occupancy, or, f, Location)
- Recovery Community** (Art. 4.B.1.C.6.e, Location)
- Transitional Community Residence** (Art. 4.B.1.C.9.c.2, Use, Location, Licensing and Occupancy)
- Medical Marijuana Dispensing Facility Minimum Distance from an Elementary or Secondary School** (Art. 4.B.2.C.35.i.2, Location)
- Commercial Communication Tower Dimensional Criteria** (Art.4.B.9.H.5, Type 2 Waiver from Required Dimensional Criteria)
- Non-Emergency Government-Owned Tower Dimensional Criteria** (Table 5.B.1.A, New, Modified, or Relocated Government Towers Not Subject to an Emergency)
- Review Process for a Unique Structure** (Art.5.C.1.E.2, Unique Structure)
- Hours of Operations** (Art.5.E.5.E, Type 2 Waiver)
- Large Scale Commercial Development Parking** (Art.6.B.2.A.1.b.1.d, Type 2 Waiver)
- Type 3 Incompatibility Buffer Landscape Barrier Wall** (Table 7.C.2.C.3, Incompatibility Buffer Landscape Requirements)
- Electronic Message Sign** (Table 8.G.3.B, Type 2 Waivers for Electronic Message Signs)
- Minimum Legal Access for Collocated Landscape Services in AR/RSA and AR/USA** ¹ (Table 11.E.2.A-2, Chart of Minor Streets)

¹ Required to have a Pre-Application Appointment (PAA) prior to submission of an application.

1. WAIVER INFORMATION

Complete the chart below with the information requested for each Waiver. If more than five (5) Waivers are requested, provide the information on a separate sheet of paper and attach to this form. Address the three (3) applicable Standards pursuant to Article 2.C.5.F or Article 2.B.7.D, in the Justification Statement for each Waiver requested.

ULDC SECTION	REQUIRED	PROPOSED	WAIVER

2. WAIVER JUSTIFICATION STANDARDS

The Palm Beach County Unified Land Development Code (ULDC), Article 2.C.5.F, Type 1 Waivers and Article 2.B.7.D, Type 2 Waivers, requires a statement of special reason or basis for the waiver required. When considering whether to approve, approve with conditions, or deny a Waiver request, the Development Review Officer (Type 1 Waiver) or the Board of County Commissioners (Type 2 Waiver) shall consider the following standards below.

NOTE: The Applicant is required to provide a Justification Statement which outlines how each Waiver standard is being addressed, as applicable to the Waiver request(s).

All Type 1 and Type 2 Waivers must meet the general standards below as indicated in ULDC Article 2.C.5.F and Article 2.B.7.D:

1. The Waiver does not create additional conflicts with the specified Section(s) of the ULDC, and is consistent with the stated purpose and intent and standards;
2. The Waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development; and,
3. The alternate design option recommended as part of the Waiver approval, if granted, will not adversely impact users of the project or adjacent properties.
4. Additional standards for Type 2 Waivers for Medical Marijuana Dispensing Facilities as contained in **Article 2.B.7.D.3.d**; or, Unique Structures as contained in **Article 2.B.7.D.4**, need to be addressed.

In addition to the above, the following Waiver requests require additional criteria to be addressed (refer to ULDC section listed below):

- A. Cul-de-sacs Criteria:**
 - Cul-de-Sac Waivers shall comply with the additional criteria as provided in **Article 3.E.1.C.2.a.5, Cul-de-sacs**.
- B. Block Structure Criteria:**
 - Block Structure Waivers shall comply with the additional criteria as provided in **Art. 3.F.4.d.9.a, Type 2 Waiver**.
- C. Communication Tower Criteria:**
 - Communication Tower Waivers shall comply with the additional criteria as provided in **Article 4.B.9.H.5, Type 2 Waiver from Required Dimensional Criteria**.
- D. Electronic Message Sign Criteria:**
 - Electronic Message Sign Waivers shall comply with the criteria in **Article 8, Table 8.G.3.B, Type 2 Waivers for Electronic Message Signs**.
- E. Landscaping Criteria:**
 - Landscaping Waivers Applicants shall comply with the criteria in **Table 7.B.4.A, Type 1 Waivers for Landscaping**.
- F. Access Waiver for Collocated Landscape Service in the AR Zoning District:**
 - The Access Waiver for Collocated Landscape Service in the AR Zoning District dimensional requirement pursuant to **Art. 11.E.2.A.26**.

**Application Site Plan and Density Bonus Units
NorWest Pointe - Westgate Ave.
Justification Statement**

Justification Statements Per Section 2.A.6.A.1

a. Summary of the requests.

The subject site is comprised of 23,736 square feet (or 0.545 acres) and is located on the northwest corner of Westgate Avenue and Tallahassee Drive in Palm Beach County. The project is proposed to include a total of nine (9) multifamily rental units, five (5) of which are proposed to be bonus units through the Westgate CRA.

The subject site has a Future Land Use designation of CH-8 and is located in the NC Sub-Area of the WCRAO. At 0.545 acres and 8 units per acre allowable under the CH-8 land use, the property is permitted 4.36 units or 4.0 units rounded down.

This application requests site plan approval and approval for five (5) Density Bonus Units under Section 3.B.14.H. The only Bonus Density being utilized is from the Westgate CRA Bonus Pool and none from the WHP or TDR Bonus Density programs. Per this section of the ULDC the project must first obtain a recommendation of approval from the WCRA in accordance with the provisions of 3.B.14.D. prior to seeking DRO approval.

Waiver: This application also requests a Type 1 Waiver from the 15' wide right-of-way buffer requirement in Section 7.C.2.A for rights-of-ways ranging from 41' – 99' along both Tallahassee Drive and Westgate Avenue to allow the units to be 10' from the property line consistent with the WCRAO 10' build-to line. This Type 1 Waiver is requested under the provisions of the WCRAO Section 3.B.14.H.C.1 allowing modifications or reductions to the landscape requirements pursuant to Article 7, Landscape subject to a Type 1 Waiver.

Utility Easement Reduction: This application also requests a reduction in the required utility easement along the frontage of Tallahassee Drive and Westgate Avenue from the width of 10' to allow a width of 5' and to allow that 5' wide utility easement to overlap the landscape buffer by 50% pursuant to the allowance of Article 7.

Platting: in accordance with Form #1, General Application, section 7, Compliance, this affirms that the subject site is currently comprised of eight (8) lots of record which will be combined into one lot through the appropriate process to create a single lot of record.

Hazardous Materials: in accordance with Form #1, General Application, section 10, Environmental Analysis, this affirms that there are no industrial waste, airborne pollutants, or special handling of solid waste needed for this proposed residential development.

b. Project history with prior resolutions.

A pre-application meeting was held on January 17th, 2024 and approval of the rezoning from CN and RH to RM is pending approval by the BCC on July 17, 2024.

c. Analyses of the applicable Standards pursuant to 2.B.

Section 2.B.2. states that when considering a DO application for Rezoning to a PDD or a TDD, or Conditional Use, excluding Conditional Use request for Density Bonus pursuant to Art 5.G.1. the BCC or ZC shall utilize the Standards a through h indicated below.

a. Consistency with the Plan. The proposed use or amendment is consistent with the purposes, goals, objectives and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use.

This application is consistent with Future Land Use Element policy 2.4-g which states that “in order to encourage eastward development and a tapering off of density towards the western edge of the Urban/Suburban Tier and support development within the Urban/Suburban Tier in the Glades, or to protect rural residential areas by concentrating needed housing units where urban residential future land use designations already exist, bonus densities may be applied for as follows: 3. In the Revitalization and Redevelopment Overlay, up to 4 du/acre additional.”

This application for density bonus and site plan approval is consistent with FLUE policy 2.4-g inasmuch as it is located in the Westgate CRA Overlay.

b. Consistency with the Code. The proposed use or amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of the code.

The subject site is zoned RM in the NC Subarea. The RM zoning district and the NC subarea both allow multifamily residential development and the project has been designed to comply with all of the NC Subarea Property Development Regulations as specified in Table 3.B.14.F – WCRAO Residential Sub-area PDRs. This project is also consistent with the WCRAO Density Bonus Pool approval thresholds specified on Table 3B.14.H – WCRAO Density Bonus Pool Approval, and the receiving area procedure in Section 5.G.3.K. as described below.

This application is also consistent with the intent of the WCRAO NC subarea intent to be the key focal point of the redevelopment area, with provisions to encourage and incentivize mixed use development by providing higher density residential development in blocks fronting on Westgate Avenue to assist in supporting future commercial and mixed-use development. This project also implements other standards of the WCRAO including the build-to and frontage requirements, and intends to create the intensity of development befitting the NC Sub-Area of the overlay while

balanced with the waiver to allow reduced ROW buffer and allow the utility easement width to also be reduced, while not impacting functionality of either.

c. Compatibility with Surrounding Uses. The proposed use or amendment is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the land proposed for development.

The NC Subarea of the WCRAO is intended to be the key focal point of the redevelopment area with high density and intensity residential, commercial and mixed use development. The current development pattern includes low-rise and lower density / intensity development including low density residential to the west, north and east, and commercial development to the south. The proposed project is more dense than the existing development while remaining at a scale and mass consistent with the existing development and helping to support future higher density and intensity redevelopment.

D. Design Minimizes Adverse Impacts. The design of the proposed use minimizes adverse effects, including visual impact and intensity of the proposed use on adjacent lands.

The project is designed in accordance with the WCRAO PDRs including locating the parking behind the building; residential units oriented toward Westgate Avenue and Tallahassee Drive to create a presence on that street as well as putting “eyes-on-the-street” as a means of reducing potential area crime; two-story residences to remain in scale with existing development; and complying with county landscape requirements to ensure adequate buffers and area beautification.

f. Development Patterns. The proposed use or amendment will result in a logical, orderly and timely development pattern.

The NC subarea is intended to be the key focal point of the WCRAO and the subject site is located in a block fronting on Westgate Avenue where development is needed and encouraged. Residential development in this area will bring added residents which will support existing and future commercial and mixed use development and enhance the overall redevelopment program.

g. Adequate facilities. The extent to which the proposed use complies with Art 2.F Concurrency.

Article 2.F Concurrency addresses the adequacy of public facility standards for services including water, sewer, solid waste, parks and recreation, fire-rescue, drainage, traffic, and mass transit. The subject site is located on a public street with water, sewer and storm drainage facilities available, and the project is of a size that the impact on public facilities will be de minimus.

h. Changed Conditions or Circumstance. There are demonstrated changed site conditions or circumstances, provided by the Applicant's Justification Statement that necessitate a modification.

As previously noted, the site is located in the WCRAO NC subarea which is the key focal point of the redevelopment effort in this area. Consequently, additional density is necessary and appropriate to encourage private investment in the area and development to occur in a cost effective manner.

Section 3.B.14.H. Density Bonus Program

1. Facilitates the development of diverse, quality housing stock that addresses a mix of income levels pursuant to WCRA Community Redevelopment Plan Housing Policy Goal 3.1 and Objective 3.2.

This project proposes a total of nine units, three (3) of which are one bedroom and six (6) are two bedroom units in a two-story townhome-style of construction with private porches and balconies, adding to the diversity of housing stock in the Westgate area. These units are expected to attract working couples and add residents to the area encouraging a mix of commercial and residential uses along the Westgate Avenue Corridor. The only Bonus Density being utilized is from the Westgate CRA Bonus Pool and none from the WHP or TDR Bonus Density programs.

2. Meets the requirements of Table 3.B.14.E, WCRAO Sub-area use Regulations, Table 3.B.14.F, WCRAO Non-Residential and Mixed use sub-area PDRs, and Table 3.B.14.F, WCRAO Residential PDRs, as applicable.

This project proposes multifamily residential which is consistent with the WCRAO Sub-area use Regulations, and the site plan design complies with the WCRAO Residential PDR's as illustrated by the site plan.

3. Provides a minimum of five percent of the project residential square footage as outdoor space for resident use, which may include but not be limited to: individual unit porches, patios, and/or balconies; usable open space for on-site common outdoor amenities such as grilling areas and tot lots; or, neighborhood amenities such as pedestrian streetscapes with furnishings, landscaping, or hardscape elements.

As shown on the site plan the total residential square footage of each unit is 1,354. Each unit has a front entry porch, a rear patio and a second-floor balcony. These spaces total 104 square feet which is approximately 7.7% of the residential square footage which exceeds this requirement.

4. For projects with ten or more units, provides a minimum of twenty percent of the total units in the project as on-site affordable and workforce housing units.

This projects proposes a total of nine (9) units which is below the threshold of ten (10) units, and as such this is not applicable.

Section 2.C.5.G.3. Type 1 Waiver

When considering a DO application for a Type 1 Waiver, the DRO shall consider the following standards in addition to any other Standards available to the specific Waiver as contained in this Code. For a Waiver application that requires the submittal of an ALP, the Applicant shall comply with additional standards pursuant to Art 7.B.4, Type 1 Waiver for Landscaping.

1. The Waiver does not create additional conflicts with other requirements of the ULDC, and is consistent with the stated purpose and intent for the zoning district or overlay.

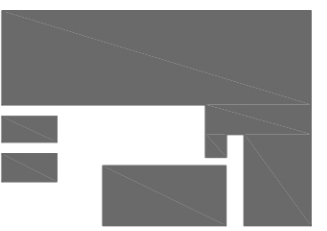
This is a request for reduction of the required 15' wide right-of-way buffer to allow a 10' wide right-of-way buffer. Approval of the waiver will enable compliance with frontage and build-to requirements of the WCRAO and allow development intensity and pattern befitting the NC Sub-Area.

2. The waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development, and;

This is a minor reduction in overall buffer width and the amount of landscape materials can be accommodated in the 10' width. The waiver will enable implementation of the overall design concept which intends to create a strong architectural presence on Tallahassee Drive and Westgate Avenue in a manner consistent with the WCRAO and that which is befitting this important intersection.

3. The alternative design option recommended as part of the Waiver approval, if granted, will not adversely impact adjacent properties.

This waiver will enable the units and the building to have a strong orientation to the adjacent roadways while ensuring adequate separation and buffers to the existing nearby land uses.



BORRERO
ARCHITECTURE
 tel: 561-271-01-64
 www.borreroarch.com
 State of Florida Registered
 Architect
 AA26002653

Email: alejandro@borreroarch.com
 Copyright Borrero Architecture, Inc. - 2024



1 SOUTH ELEVATION (WESTGATE AVENUE)

A3.0 SCALE: 1/8" = 1'-0"

PROJECT:
NORWEST POINTE
 Westgate Avenue & Tallahassee Rd
 West Palm Beach, Florida

Client:
 Catelyu Group
 3797 S Military Trail
 Lake Worth FL 33463

Alejandro Borrero, AIA

THE DRAWINGS AND ALL THE IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF BORRERO ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF BORRERO ARCHITECTURE, INC.

NO.	REVISIONS



2 EAST ELEVATION (TALLAHASSEE DRIVE)

A3.0 SCALE: 1/8" = 1'-0"

Drawing Title

Scale see plans
 Project No. 22037
 Date 06-24-24

Drafted by: LR
 Checked by: AB

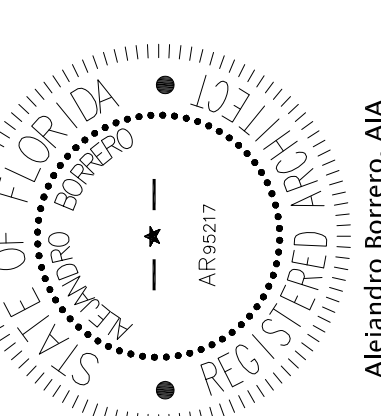
Sheet No.
A3.0



Email: alejandro@borreroarch.com
 Copyright Borrero Architecture, Inc. - 2024

PROJECT:
 NORWEST POINTE
 Westgate Avenue & Tallahassee Rd
 West Palm Beach, Florida

Client:
 Catelyu Group
 3797 S Military Trail
 Lake Worth FL 33463



THE DRAWINGS AND ALL THE IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF BORRERO ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF BORRERO ARCHITECTURE, INC.

REVISIONS

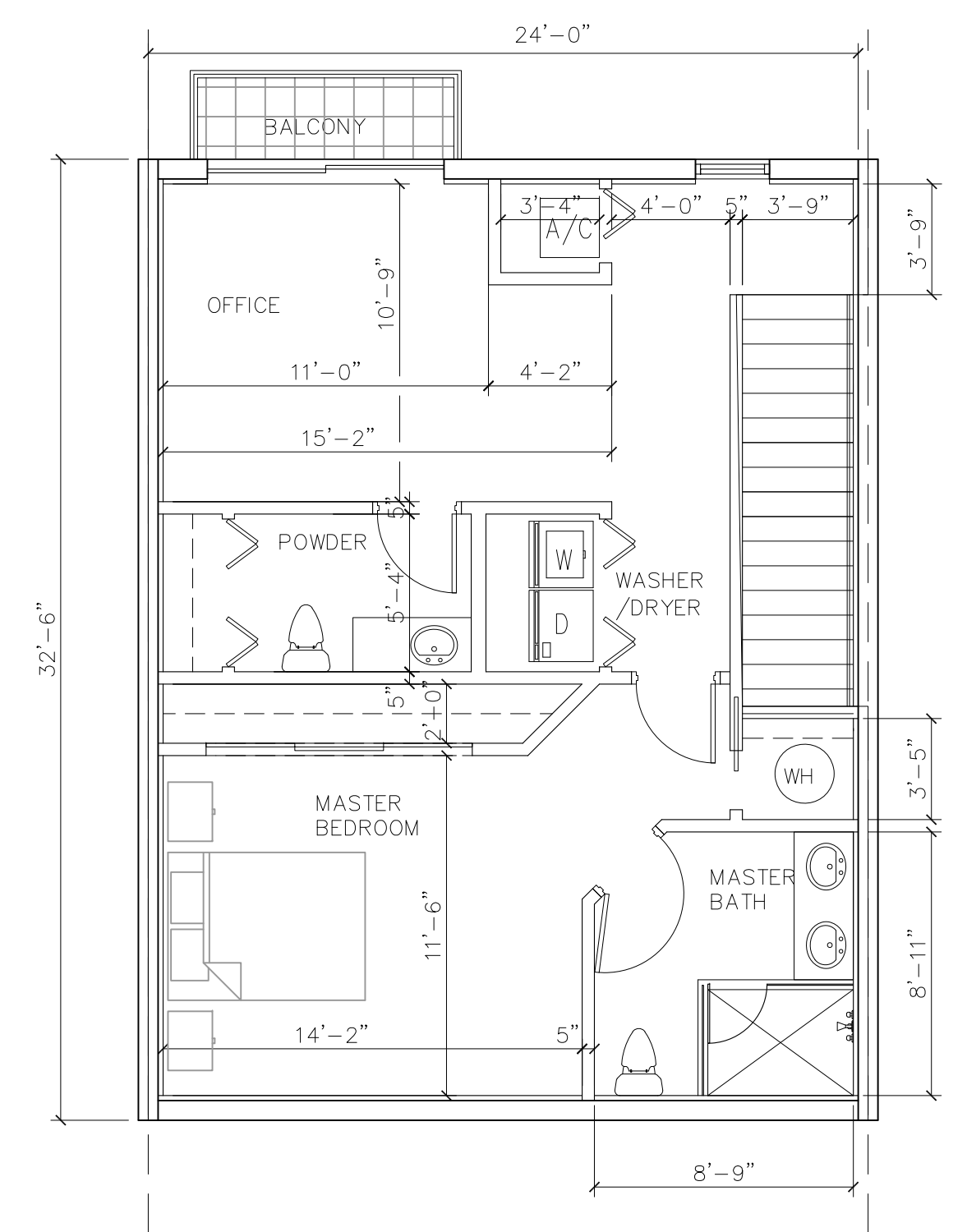
Drawing Title

Scale see plans
 Project No. 22037
 Date 06-24-24

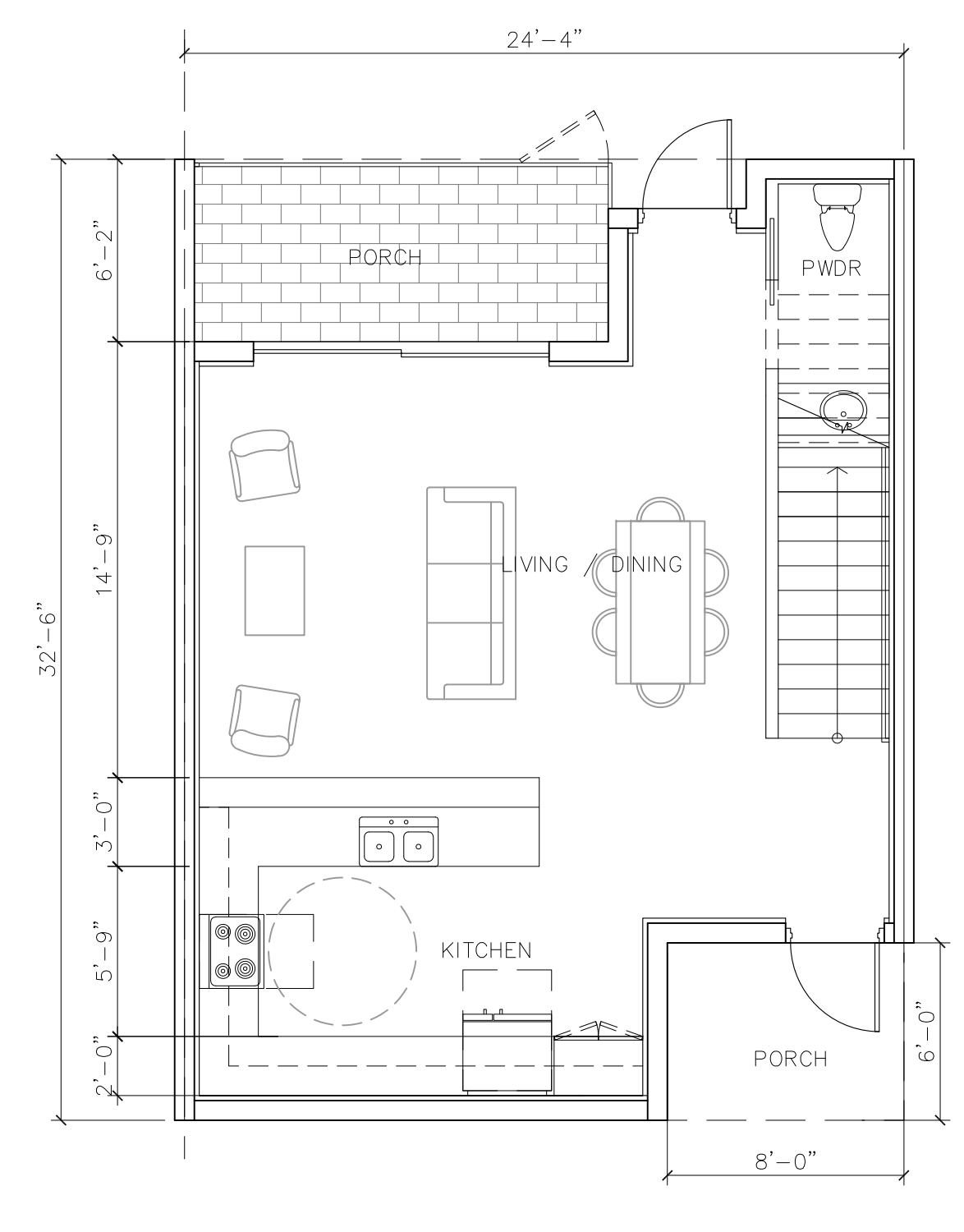
Drafted by: LR
 Checked by: AB

Sheet No.

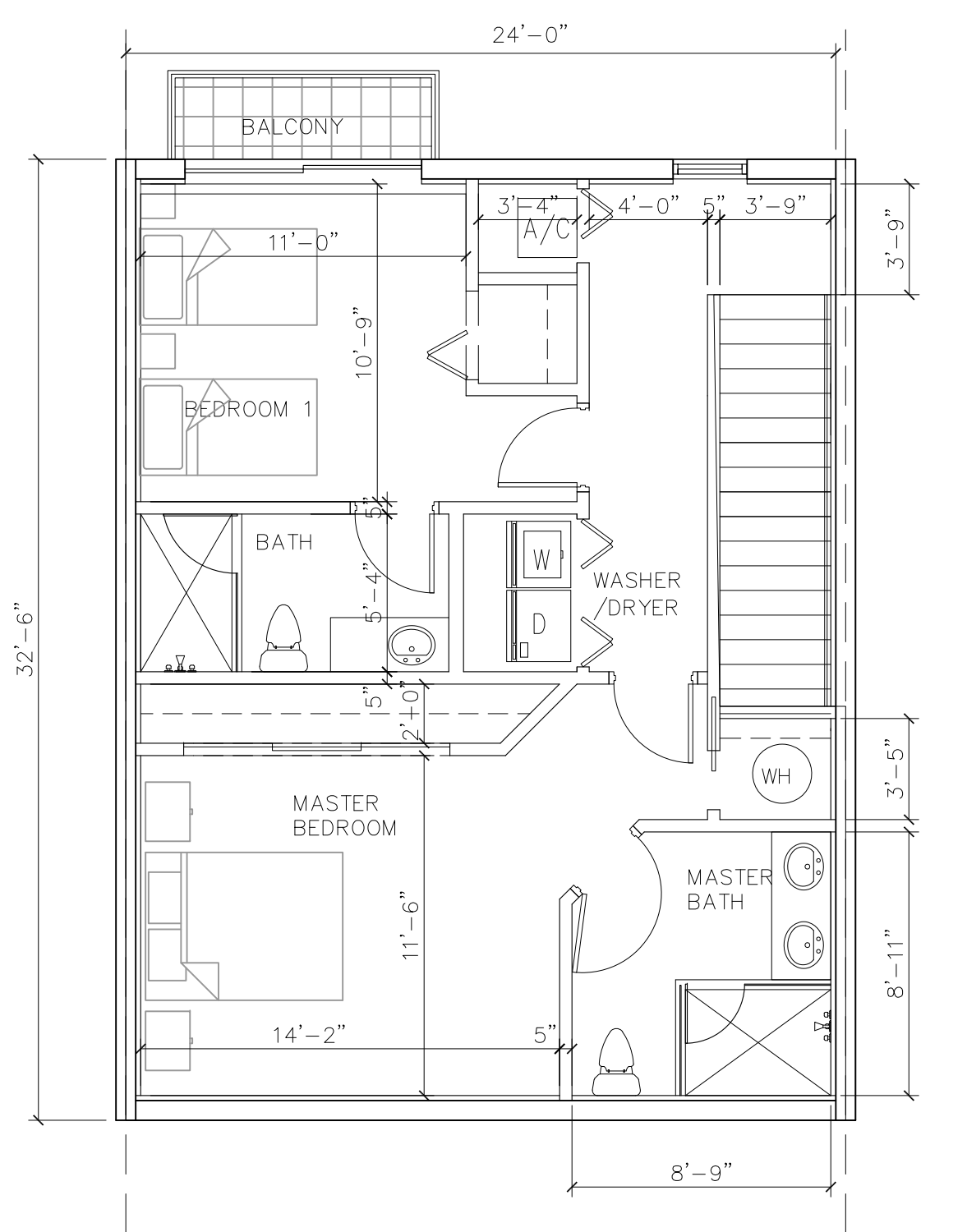
A2.0



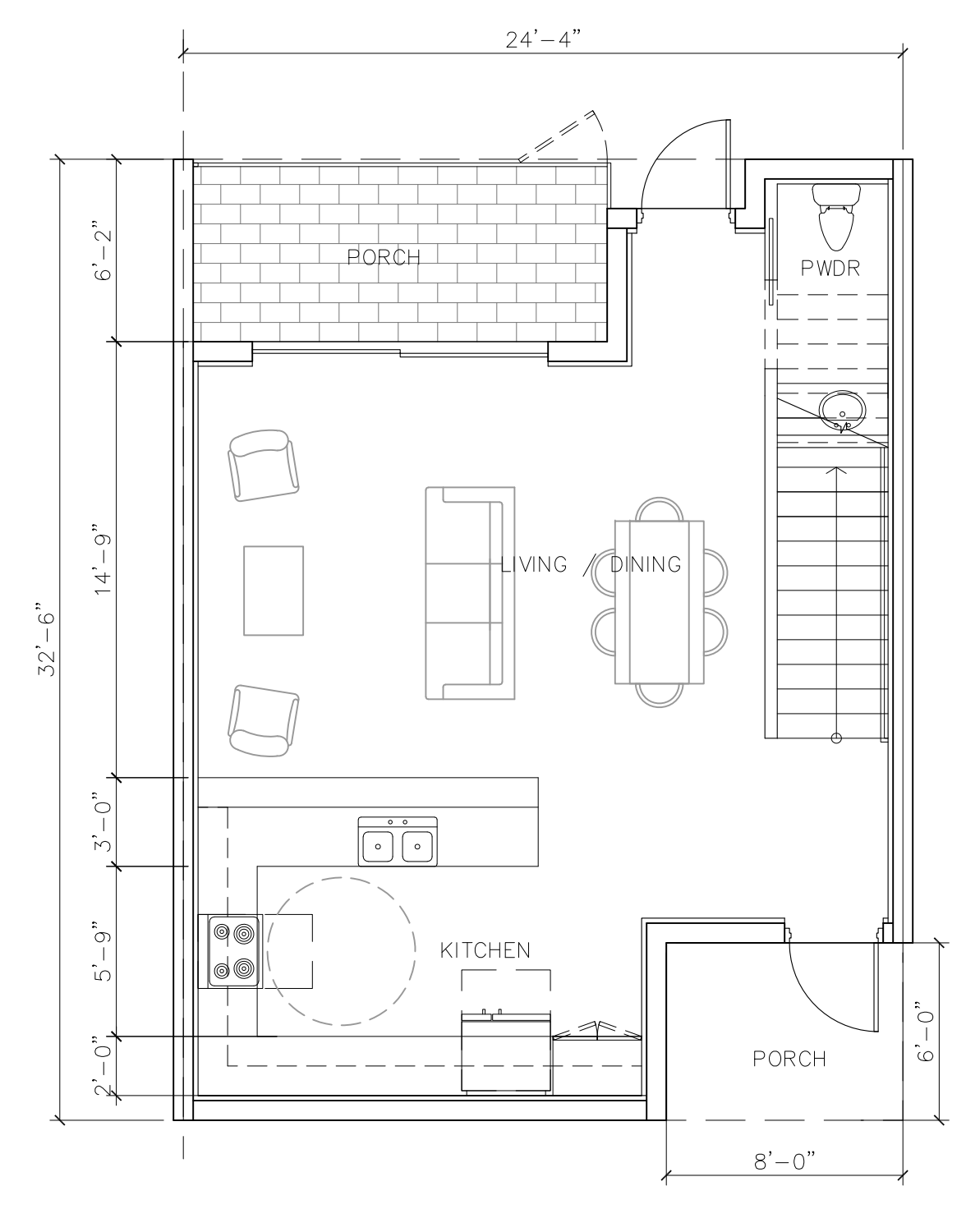
1 BEDROOM UNIT (3 UNITS)
 1ST FLOOR: 647 SF
 2ND FLOOR: 730 SF
 TOTAL: 1,377 SF



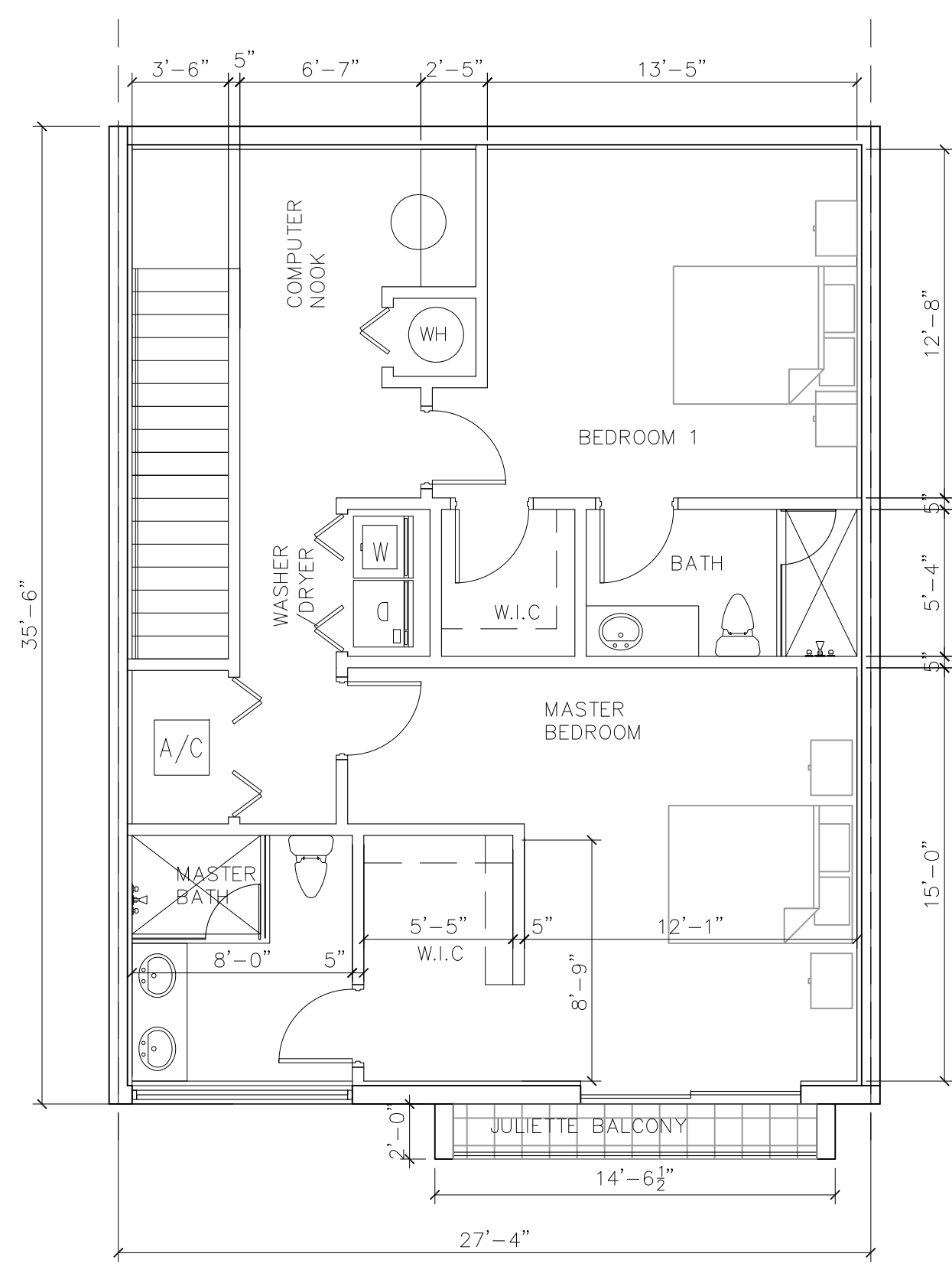
2 BEDROOM UNIT (3 UNITS)
 1ST FLOOR: 647 SF
 2ND FLOOR: 730 SF
 TOTAL: 1,377 SF



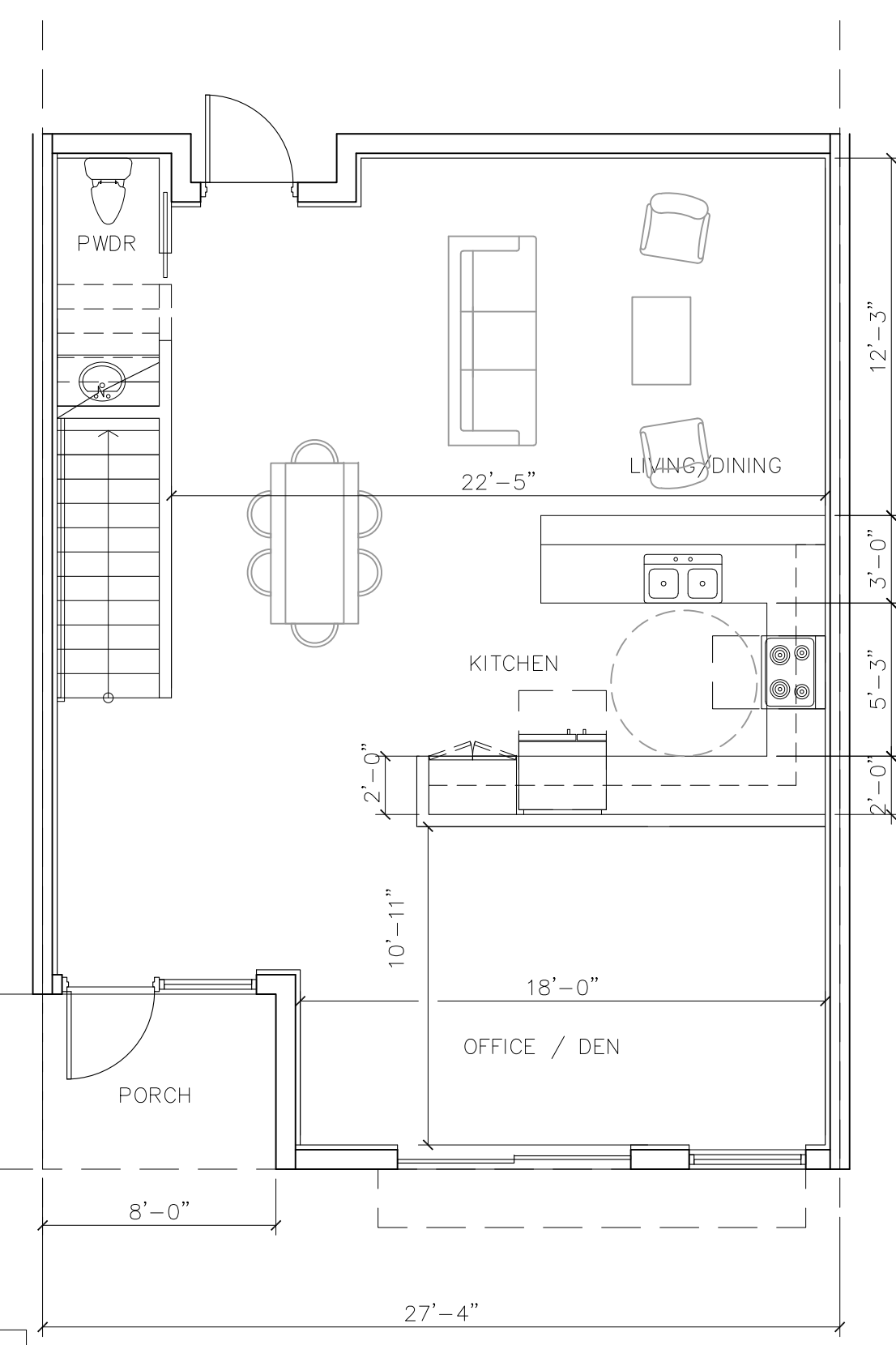
2 BEDROOM UNIT (3 UNITS)
 1ST FLOOR: 647 SF
 2ND FLOOR: 730 SF
 TOTAL: 1,377 SF



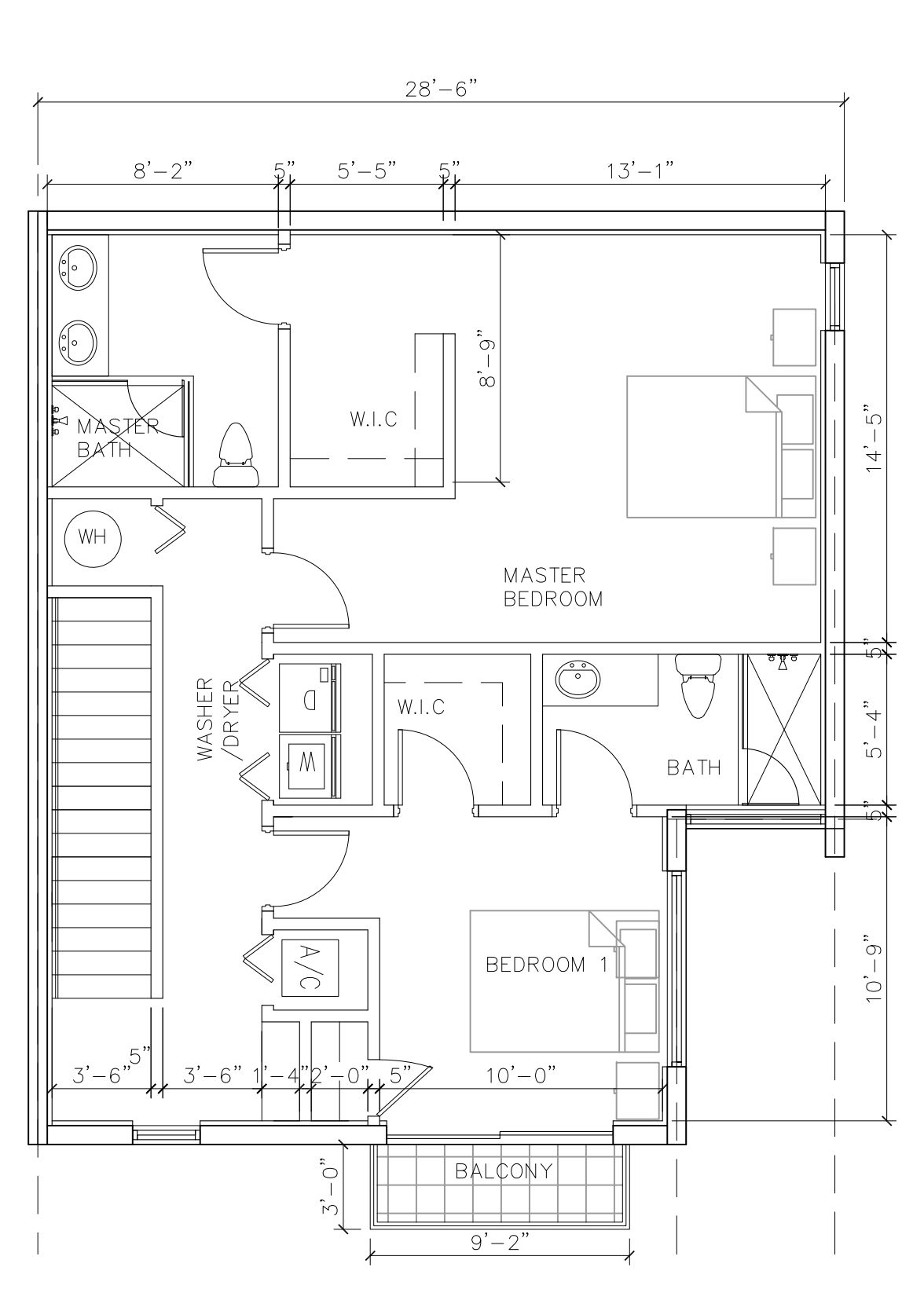
2 BEDROOM UNIT (3 UNITS)
 1ST FLOOR: 647 SF
 2ND FLOOR: 730 SF
 TOTAL: 1,377 SF



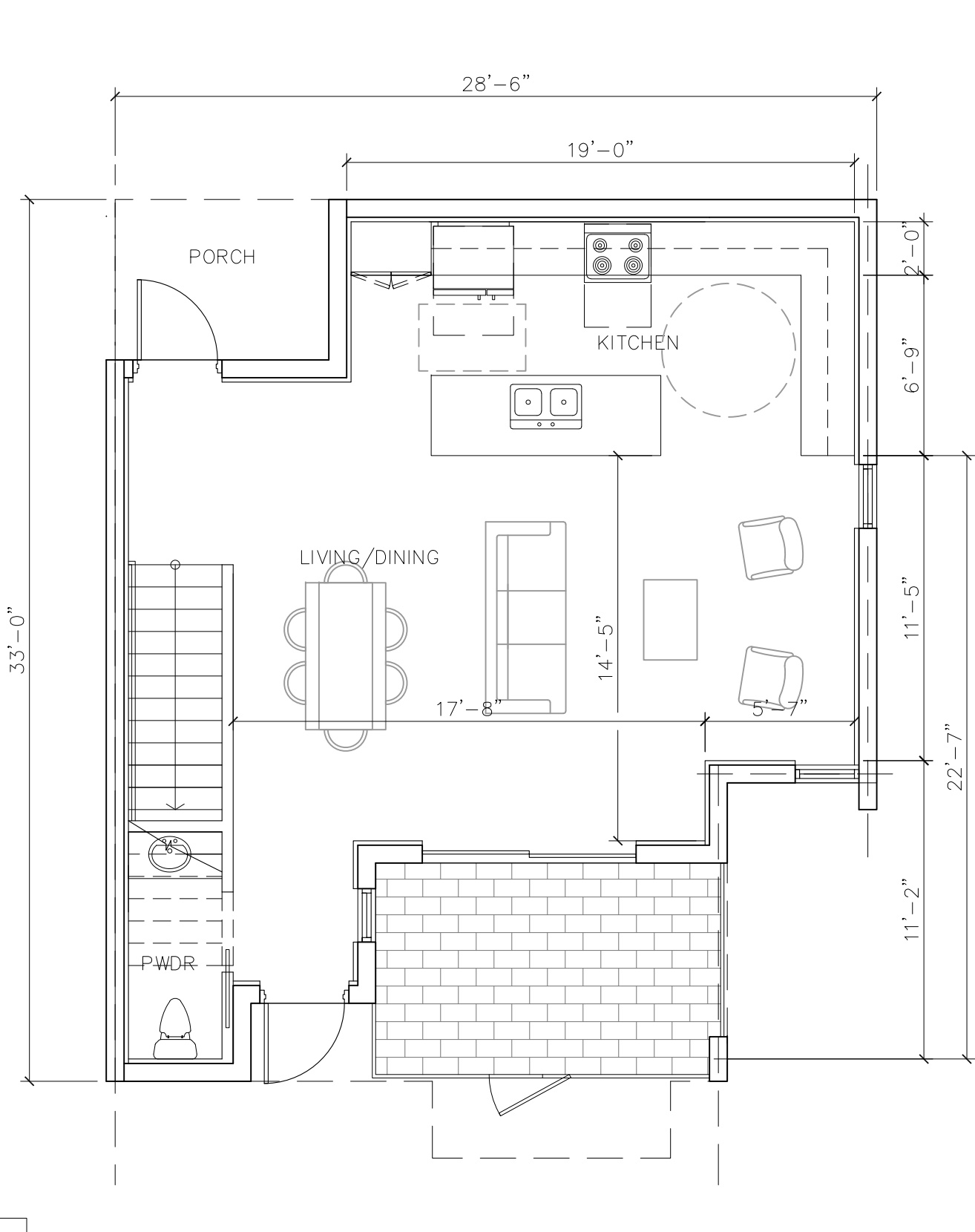
2 BEDROOM & DEN UNITS (2 UNITS)
 1ST FLOOR: 915 SF
 2ND FLOOR: 970 SF
 TOTAL: 1,885 SF



2 BEDROOM & DEN UNITS (2 UNITS)
 1ST FLOOR: 915 SF
 2ND FLOOR: 970 SF
 TOTAL: 1,885 SF



2 BEDROOM UNIT - SOUTH EAST CORNER (1 UNIT)
 1ST FLOOR: 709 SF
 2ND FLOOR: 878 SF
 TOTAL: 1,587 SF



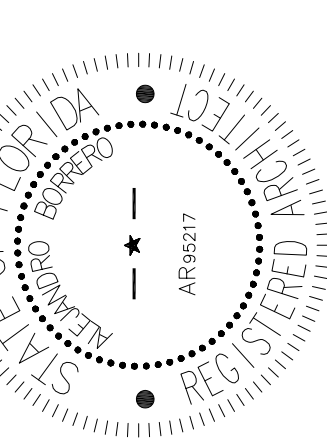
2 BEDROOM UNIT - SOUTH EAST CORNER (1 UNIT)
 1ST FLOOR: 709 SF
 2ND FLOOR: 878 SF
 TOTAL: 1,587 SF



Email: alejandro@borreroarch.com
Copyright Borrero Architecture, Inc. - 2024

PROJECT:
NORWEST POINT
Westgate Avenue & Tallahassee Rd
West Palm Beach, Florida

Client:
Catalyu Group
3797 S Military Trail
Lake Worth FL 33463



THE DRAWINGS AND ALL THE IDEAS, ARRANGEMENTS, DESIGNS AND PLANS INDICATED THEREON OR REPRESENTED THEREBY ARE OWNED BY AND REMAIN THE PROPERTY OF BORRERO ARCHITECTURE, INC. AND NO PART THEREOF SHALL BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER EXCEPT WITH THE SPECIFIC WRITTEN PERMISSION OF BORRERO ARCHITECTURE, INC.

REVISIONS

Drawing Title

Scale see plans
Project No. 22037
Date 06-24-24

Drafted by: LR
Checked by: AB

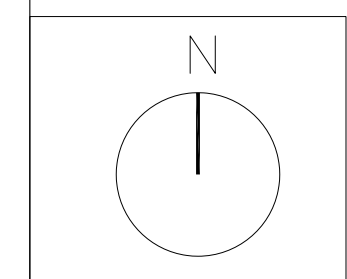
Sheet No.

PSP-1

SITE DATA TABLE	
Application Name	NorWest Pointe
Control Number	TBD
Application Number	TBD
Last ZC/BCC Approval Date	Not applicable
Tier	Urban / Suburban
Land Use Designation	CH/8
Existing Zoning District	RM
Overlay(s)	WCRAO - NC Subarea
Property Control Number(s)	00-43-43-30-03-026-0270 / 0570
Existing Uses	Vacant
Proposed Uses as contained in Art. 4	Multifamily
Gross Acreage	0.54 Acres; 23,736 square feet
Proposed Gross Site Area	0.54 Acres
Proposed Net Site Area	0.54 Acres
Total Proposed Units	9 Units (see Note 1 below)
Unit Type	Multi-family
Proposed Density (Housing types and number of units)	16.7 Units / Acre
Proposed Density Bonus program (e.g. TDR, WHP, AHP)	9.25 WCRA Bonus Units/Acre
Proposed Intensity (Gross Floor Area)	Not applicable
Proposed Parking	1/unit for 3 units + 1.5/unit for 6 units + 2 Guest = 14 Proposed
Proposed Accessible Parking	1 space provided
Proposed Loading	Not applicable
Proposed Building Height and number of stories (in feet)	2 Stories (28')
Proposed Recreation	Cash-out \$23,097.75
Proposed Civic	Not applicable
Traffic Analysis Zone	909
Note 1: Total proposed units 9 Units from HR-8 Land Use, 5 Units from WCRA Bonus Pool, Less than 10 units, WHP not required.	

Zoning District	Property Development Regulations - RM - Multifamily Residential									
	Minimum Lot Dimensions			Building Coverage	Setbacks / Separation				NC Sub Area	
	Size Based on FLU	Width/Frontage	Depth		Front*	Side (Cherokee)	Side (west)	Rear**	Min Bldg Frontage	Max Height
Required	Based on FLU	100%	100'	40%	10' Build-to	10'	10'	NA	60%	72'
Proposed	0.54	103.78'	103.78'	26%	10'	10' 4"	41' 6"	NA	80% Westgate / 82% Tallahassee	28'
* Tallahassee Drive and Westgate Avenue are frontage for the units.										
** With Tallahassee Drive and Westgate Avenue as front yards, there is no rear yard.										

AMENDMENTS	ZONING



1 FIRST FLOOR PLAN / SITE PLAN
A1.0 SCALE: 1/16" = 1'-0"

February 5, 2024

Palm Beach County
Planning, Zoning and Building Department
2300 Jog Road
West Palm Beach, FL 33417

Re: **Drainage Statement for Westgate Avenue Residential**
Project Location: Tallahassee Dr., West Palm Beach, FL 33409
PCN(s): 00-43-43-30-03-026-0270 & 00-43-43-30-03-026-0570
LDi Project Number: 22-081

This drainage statement is prepared for the Westgate Avenue Residential located on Tallahassee Drive, West Palm Beach, FL 33409. The site is located on the west side of Tallahassee Drive and north of Westgate Avenue. The site consists of approximately 0.54 acres of vacant multi-family residential and neighborhood commercial use.

The proposed site will include 7,549 s.f. of 2-story Townhomes and 8,669 s.f. of proposed asphalt / impervious area. Onsite stormwater management for this project is accomplished with a combination of dry detention area, interconnected culvert pipes, drainage inlets and subsurface stormwater management system that provide the water quality runoff and onsite stormwater storage. The site is bounded to the north by Cherokee Avenue, to the south by Westgate Avenue, to the east by Tallahassee Avenue, and to the west by an existing single-family residence and vacant land. Visual inspection of the site indicates there are no off-site inflows to the site.

The site is situated in the SFWMD C-51 Basin, Sub-Basin 25B. Legal Positive Outfall will be accomplished through a proposed discharge control structure outfall to the Cherokee Avenue drainage system. The following design storms are used to establish the minimum level of protection for the corresponding secondary and tertiary drainage system components:

Residential Parking Lot:	3-Year, 24-hour storm
Perimeter Grading:	25-year, 3-day storm (70 CSM)
Finished Floor (highest of):	100-year, 3-day (no discharge) 2017 FIRM Map Zone X (No Base Flood Elevation)

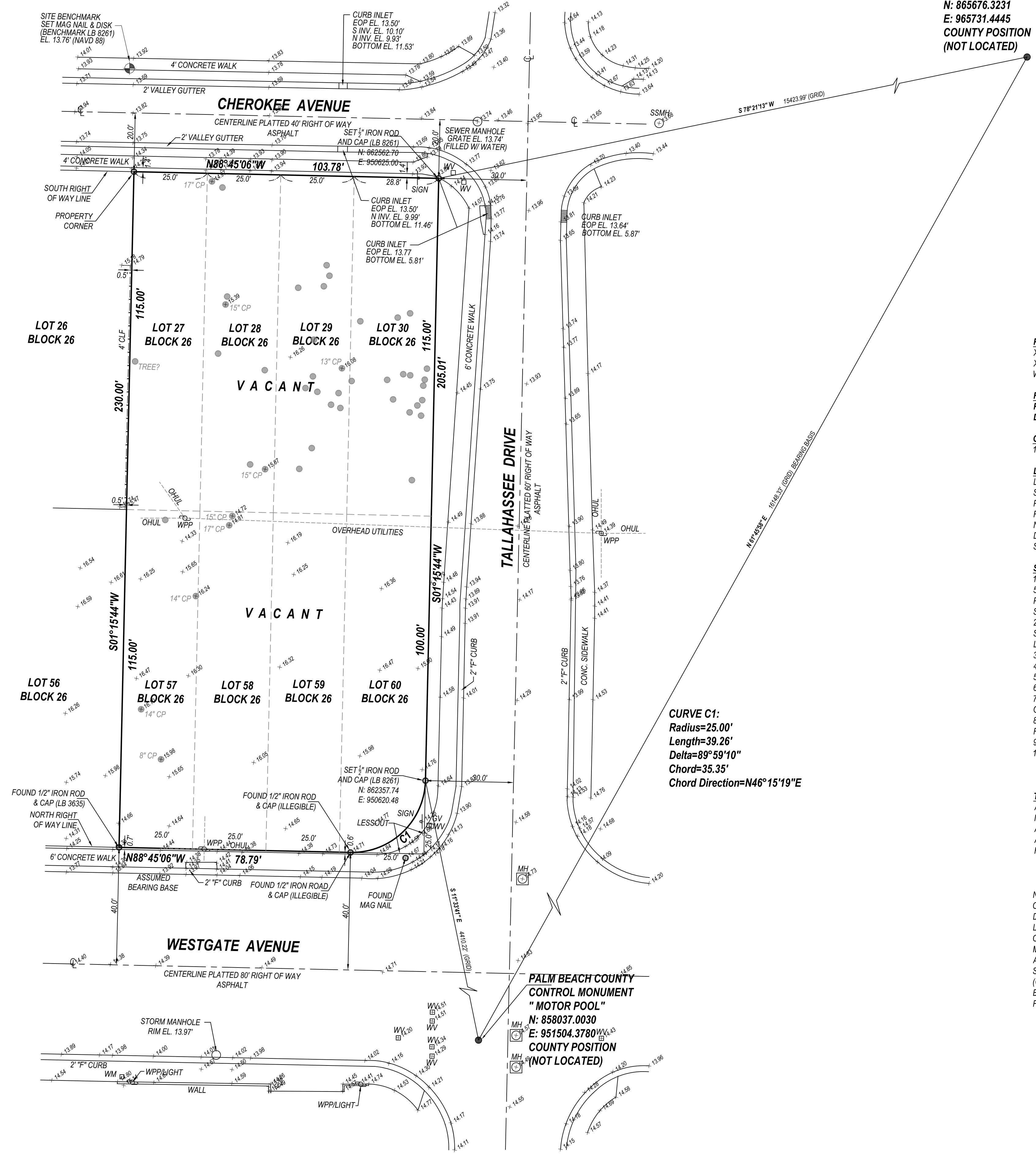
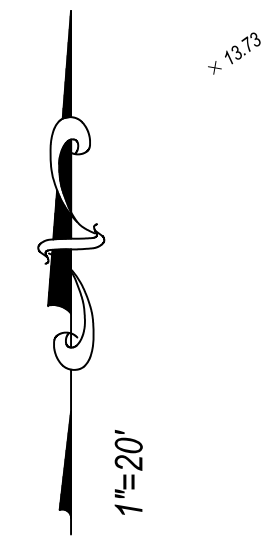
The property owner recognizes that any additional development of the existing property must be in accordance with applicable regulatory requirements in place at the time of submission including, but not limited to, Palm Beach County, South Florida Water Management District, and DEP.

Last Devenport, Inc. (C.A. No. 9889)

Scott M. Gintert, PE
Florida Registration No. 84228

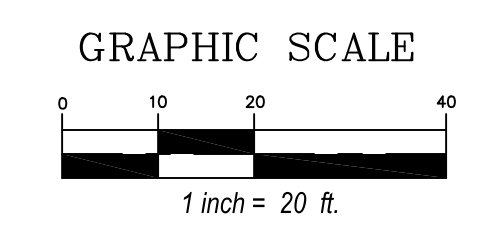
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SCOTT M. GINTERT, P.E. ON 02/05/2024.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SECTION 30, TOWNSHIP 43 SOUTH,
RANGE 43 EAST,
PALM BEACH COUNTY, FLORIDA

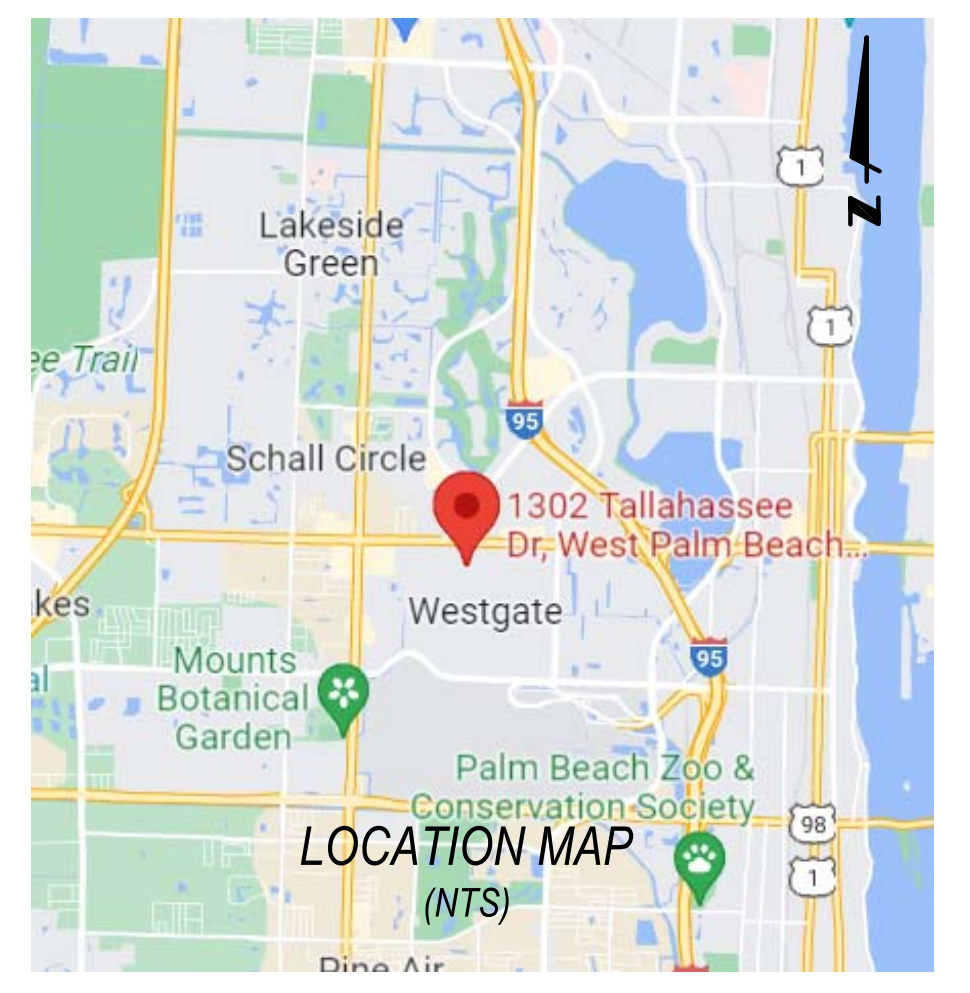


TOTAL AREA = 23735 sq ft - 0.54 ACRES

- LEGEND:
- SDMH SANITARY DRAINAGE MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - OHUL OVERHEAD UTILITY LINE
 - WV WATER VALVE
 - MH MANHOLE
 - CB CATCH BASIN
 - WPP WOOD POWER POLE
 - GV GAS VALVE
 - TREE (UNKNOWN SPECIES)
 - CABBAGE PALM
 - CP ● DIAMETER AT BREAST HEIGHT (TREE)



PALM BEACH COUNTY
CONTROL MONUMENT
"HARVEY"
N: 865676.3231
E: 965731.4445
COUNTY POSITION
(NOT LOCATED)



PROPERTY ADDRESS:
XXX TALLAHASSEE DRIVE
XXX WESTGATE AVENUE
WEST PALM BEACH, FL 33409

FLOOD ZONE: "X"
PANEL NO: 12099C 0578F
DATE: OCTOBER 5, 2017

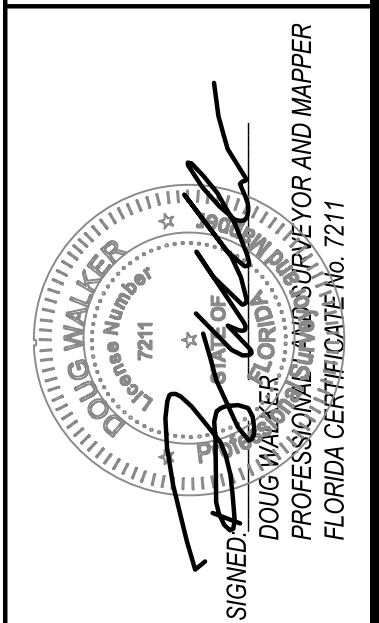
CERTIFIED TO:
1. CH76 INVESTMENT LLC

LEGAL DESCRIPTION:
LOTS 27, 28, 29, AND 30, AND 57, 58, 59 AND 60, BLOCK 26, WEST GATE ESTATES (NORTHERN SECTION), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 38, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA. LESS A PORTION OF LOT 60 DESCRIBED AS FOLLOWS: ALL THAT AREA LYING EXTERNAL TO THE ARC OF A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 25.00 FEET; A DELTA OF 89 DEGREES 59' 10" AND AN ARC DISTANCE OF 39.26 FEET, SAID CURVE BEING TANGENT TO THE EAST AND SOUTH BOUNDARY OF SAID LOT 60.

- SURVEYORS' NOTES:
1. I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.050-.052, OF THE FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES.
 2. THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR VERIFIED ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 3. UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
 4. DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
 5. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 6. THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LB 8261.
 7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 8. SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD. (see title review).
 9. LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND AND IS ONLY APPROXIMATE.
 10. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

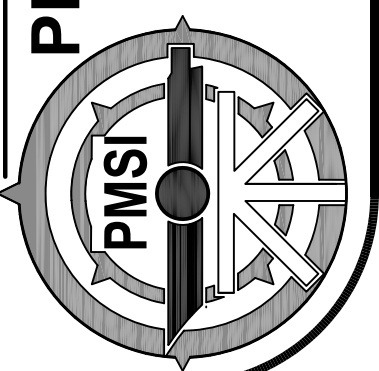
TITLE REVIEW:
A REVIEW OF THE PROPERTY INFORMATION REPORT FOR TITLE INSURANCE BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER 11463880, DATED 10-27-2023, @ 8:00 AM, WAS REVIEWED BY THIS OFFICE.
ALL PLOTTABLE EXCEPTIONS AFFECTING THE SUBJECT PROPERTIES (IF ANY) ARE DEPICTED HEREON.

NOTE ON COORDINATES, BEARINGS AND DISTANCES:
COORDINATES SHOWN ARE GRID.
DATUM IS NAD 83, 1990 ADJUSTMENT. ZONE IS FLORIDA EAST.
LINEAR FOOT IS US SURVEY FOOT.
COORDINATE SYSTEM IS 1983 STATE PLANE TRANSVERSE MERCATOR PROJECTION.
ALL DISTANCES ARE GRID UNLESS NOTED OTHERWISE.
SCALE FACTOR IS 1.000041183
(GRID DISTANCE DIVIDED BY SCALE FACTOR IS GROUND DISTANCE.)
BEARINGS SHOWN ARE GRID DATUM, NAD 83, 1990 ADJUSTMENT, FLORIDA EAST ZONE.



BOUNDARY AND
TOPOGRAPHIC
SURVEY

PRINCIPAL MERIDIAN
SURVEYING, Inc.
LICENSED BUSINESS No. 8261
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764



July 19, 2024

Mr. Quazi Bari, P.E.
Palm Beach County Traffic Division
2300 North Jog Road, 3rd Floor
West Palm Beach, FL 33411-3745

**Re: Westgate Avenue Residential - #PTC24-073
Concurrency Traffic Statement**

Dear Mr. Bari:

The purpose of this letter is to provide a traffic statement for the above referenced project to determine if the proposed development meets the requirements of the Palm Beach County Traffic Performance Standards. It is proposed to develop 9 low-rise multi-family units in Westgate. The site is within the Westgate Transportation Concurrency Exception Area (TCEA) and is located in the northwest quadrant of the Westgate Avenue and Tallahassee Drive intersection, as shown on **Attachment 1**. The Parcel Control Numbers (PCNs) are: 00-43-43-30-03-026-0270/0570. Access to the site is via one driveway to Cherokee Avenue. The buildout of this project is projected to be 2028.

Attachment 2 provides the daily, AM and PM peak hour trip generation for the proposed project. Driveway volumes are shown on **Attachment 3**. Because the site is located within the Westgate TCEA, the development is allowed an exception from the traffic concurrency standards. Furthermore, this project generates fewer than 21 peak hour trips, and a traffic study is not required. Therefore, the proposed project is in compliance with the Countywide Traffic Performance Standards.

Please contact me by phone or at atroutman@pindertroutman.com if you need any additional information or have any questions.

Sincerely,

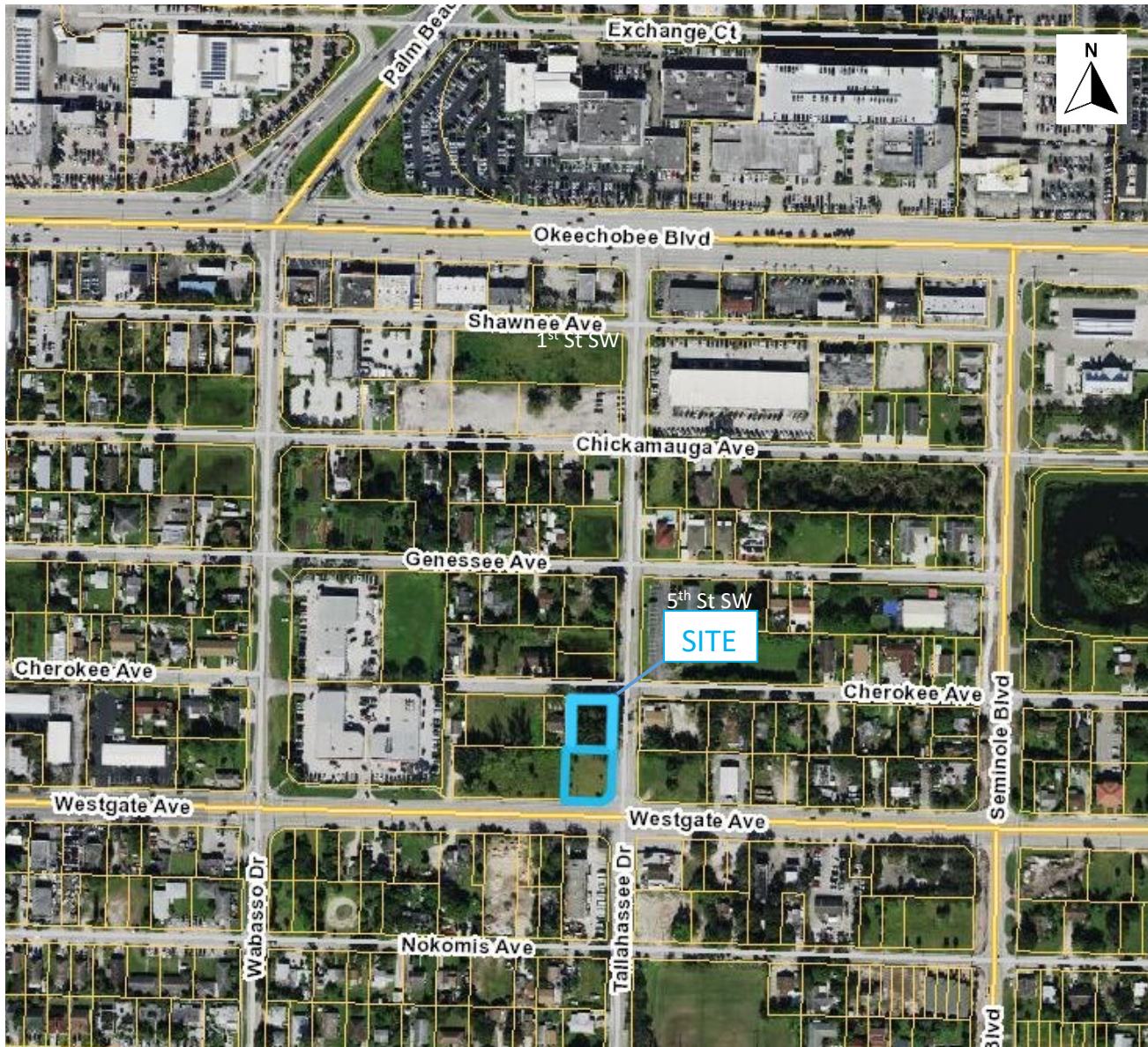
Andrea M. Troutman, P.E.
President

Attachments

Andrea M. Troutman, State of Florida, Professional Engineer, License No. 45409

This item has been electronically signed and sealed by Andrea M. Troutman, P.E. on 7/19/24 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Attachment 1 Project Location Westgate Avenue Residential



Attachment 2 Westgate Avenue Residential Trip Generation - Proposed Uses

DAILY

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips
Resid. Multi Family LR	220	9 DUs	6.74 / DU	50%	61
TOTAL					61

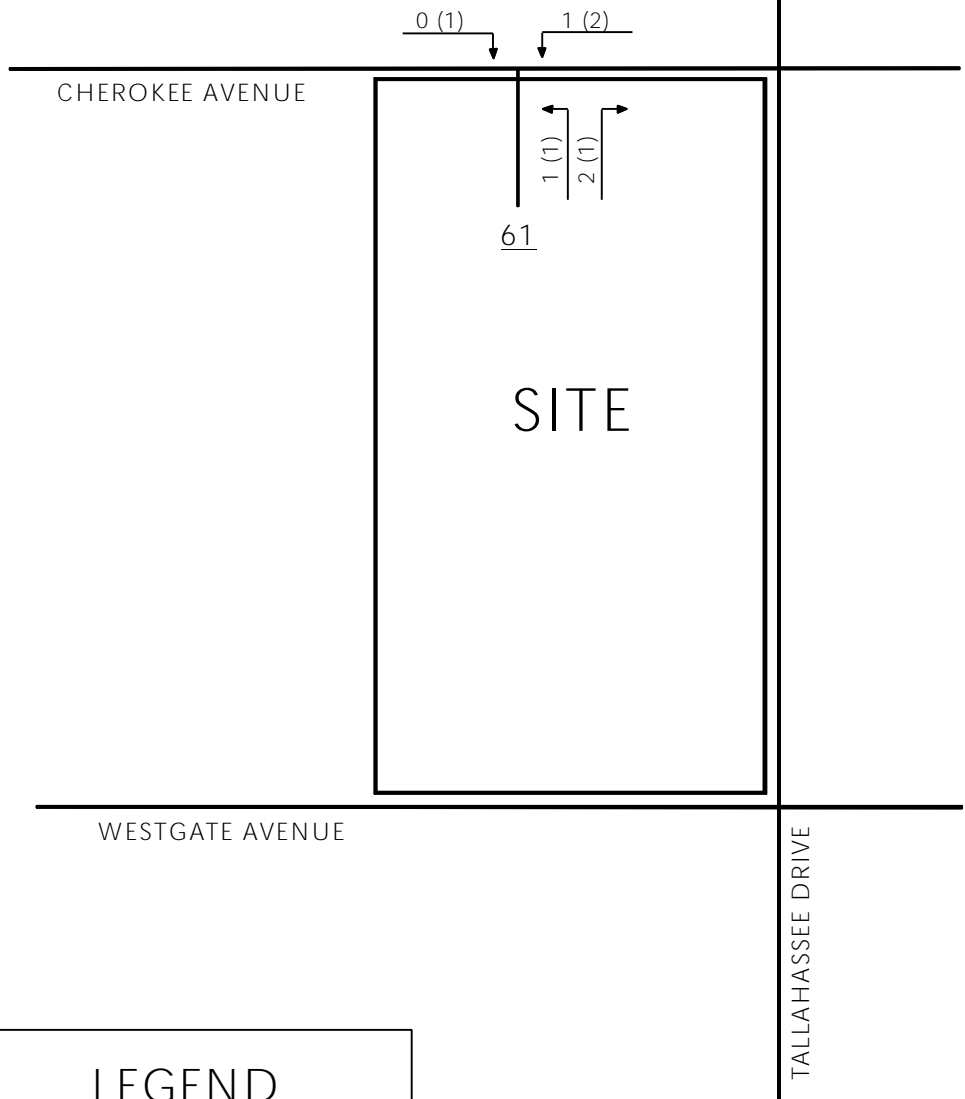
AM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		
					In	Out	Trips
Resid. Multi Family LR	220	9 DUs	0.40 / DU	24%	1	3	4
TOTAL					1	3	4

PM PEAK HOUR

Land Use	ITE Code	Intensity	Trip Generation Rate (1)	% In	Total Trips		
					In	Out	Trips
Resid. Multi Family LR	220	9 DUs	0.51 / DU	63%	3	2	5
TOTAL					3	2	5

(1) Source: Palm Beach County Traffic Division and ITE Trip Generation, 11th Edition.



LEGEND

XX - AM PEAK HOUR
 (XX) - PM PEAK HOUR
 XXX - ADT

7/18/24
 24-073

WESTGATE AVENUE
 RESIDENTIAL

ATTACHMENT 3
 PROJECT DRIVEWAY VOLUMES

PTC

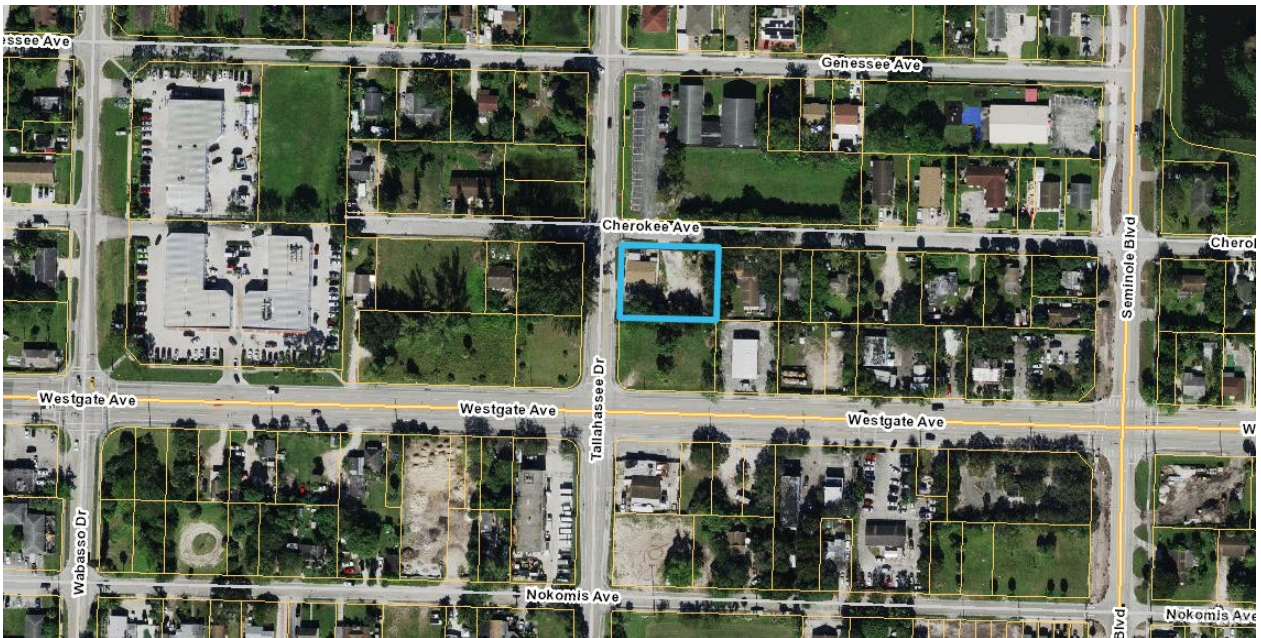
Westgate CRA Board Meeting
August 12, 2024

AGENDA ITEM SUMMARY

Tallahassee Drive Multifamily
1302 Tallahassee Drive at Cherokee Avenue

DRO Approval of WCRAO Bonus Density
Type 1 Waivers for Landscaping

Control No. 2024-42



Location Map

Site Background

The subject +/- 0.41-acre site is located on the southeast corner of Cherokee Avenue at Tallahassee Drive. The property is comprised of a single parcel, and is currently supports a duplex residential use.

The site is in the NC (Neighborhood Commercial) Sub-area of the WCRAO. The County's Managed Growth Tier System classifies the WCRAO as within the U/S (Urban/Suburban) Tier, the RRO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area) Study area, and in the Westgate CCRT area.

The site has a zoning classification of CG (Commercial General), and Future Land Use designation (FLU) of CH/8 (commercial high with an underlying residential land use of 8 du's/acre).

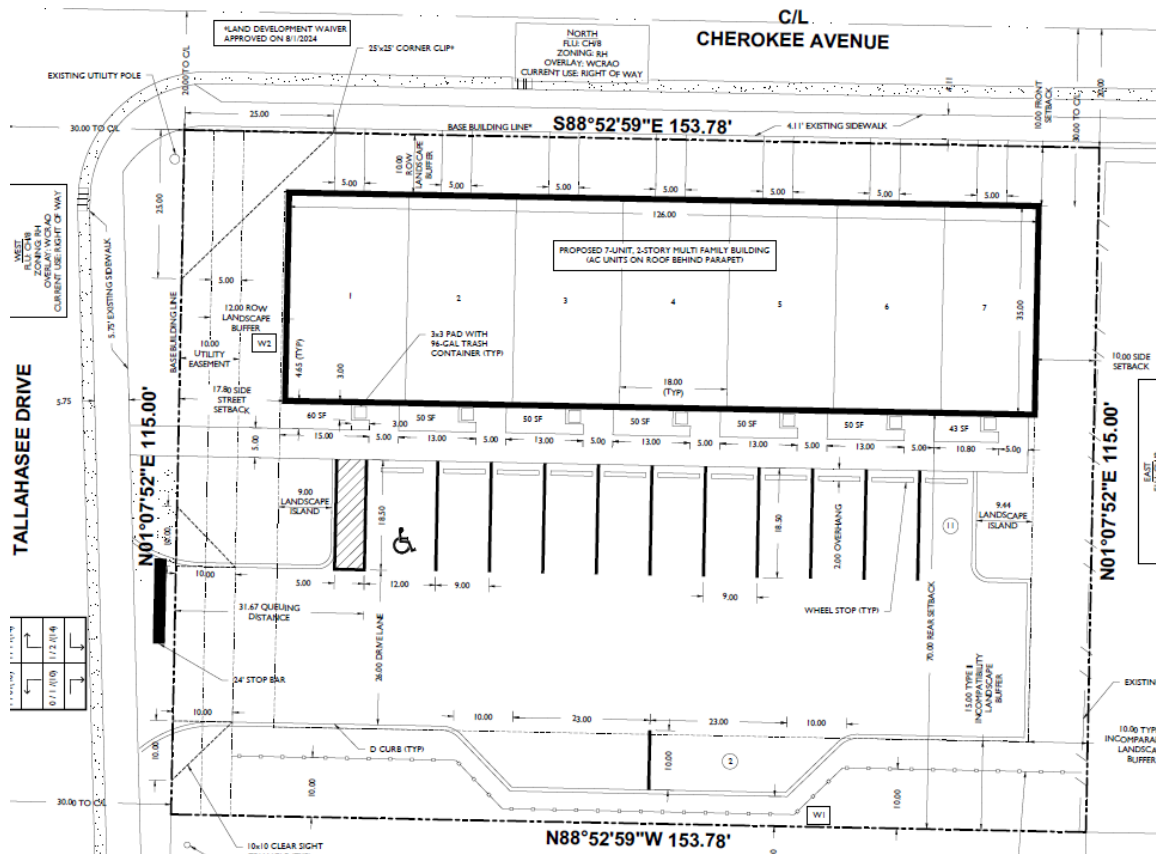
The project is compatible with existing development. To the east of the subject site is a single-family residence fronting Cherokee Avenue zoned RH, or Multifamily Residential. Westgate New Testament Church, an RH-zoned place of worship is to the north of the site. To the west is the proposed NorWest Pointe multifamily project; the site is vacant with RM zoning. To the south is a vacant parcel, zoned CG. All adjacent properties have a CH/8 FLU.



Existing Conditions

Proposed Development

The applicant proposes to develop a two-story 7-unit multifamily townhouse-style rental project consisting of seven (7) 2-bedroom units on 0.41 acres. Each unit is proposed to be a total of 1,300 sf.. The existing duplex will be demolished to accommodate new construction. The site has a future land use classification of CH/8. A total of 3.28, or 3 units, are permitted by right through the base density. To achieve 7 units, the project may request additional density through the WCRAO Density Bonus Program. Additional bonus density of 4.01 – 22 bonus units per acre requires DRO approval. Since only 2 bonus units are allowed by right through the Program, the additional density needed to realize 7 units must be approved by the DRO. The increase in density offered by the DBP pool will provide for an overall site density of just over 17 dwelling units per acre. The applicant is submitting concurrent applications for Zoning entitlements and Building permits, along with administrative Type 1 Waivers for landscape buffer reductions. The buildout of the project is anticipated to be 2026.



Preliminary Site Plan

Summary of Petition

The applicant requests a recommendation of approval from the Westgate CRA for the following:

1. Development Review Officer (DRO) approval of four (4) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 3 ft. in the west ROW landscape buffer, and a reduction of 10 ft. in the south incompatibility landscape buffer to allow for parallel parking; and,
3. Approval of any additional variances or waivers necessary to obtain entitlements.

Staff Analysis & Review

Consistency with the Westgate CRA Community Redevelopment Plan

The CRA's review considers appropriateness of use and consistency with the intent, goals, and vision of the CRA Redevelopment Plan. Staff must also contemplate projects in the redevelopment district in a way that facilitates economic development, and investor interest, with a critical eye that considers how a project will impact the community over the long term.

The multifamily project proposed for 1302 Tallahassee Drive will enhance the character of the NC Sub-area through new construction on underutilized land, bolstering density from 2 units to 7 units on a site less than 1 acre. The project will complement the NorWest Pointe infill project proposed on the west side of Tallahassee Drive. WCRAO property development regulations were established to encourage a pedestrian friendly environment, street presence, and development that reinforces the smart growth principles of the CRA Redevelopment Plan and the County's Comprehensive Plan. The NC sub-area is intended to be the "key focal point of the redevelopment area, with provisions to encourage and incentivize mixed use development." While mixed use is preferred and encouraged in the NC sub-area, it is no longer required with standalone residential and non-residential development now permitted. Standards for the NC Sub-area reinforce the vision for the corridor outlined in the CRA's Redevelopment Plan: a main street inspired, medium density, mixed use corridor that supports a variety of neighborhood uses. Each project is significant in terms of use, scale, and design, as it contributes to the success of the whole.

To facilitate future larger-scale redevelopment, well-designed "missing middle" developments can offer the NC Sub-area a lower density alternative along the secondary Sub-area corridors Nokomis Avenue to the south and Cherokee Avenue to the north. Missing middle building types, such as two and three-story townhouses, fourplexes, courtyard buildings, or live/work provide a diversity of housing options and support locally-serving retail and public transportation options. With the Westgate Avenue streetscape project currently underway, the CRA anticipates more commercial redevelopment and rehabilitation will follow. "Missing Middle Housing helps solve the mismatch between the available U.S. housing stock and shifting demographics combined with the growing demand for walkability". (<https://missingmiddlehousing.com/>) Opticos Design describes this type of housing as missing because it is typically not seen in either urban areas, where higher density multifamily is prevalent, or sub-urban neighborhoods, where single-family dominates. The form and scale of "missing middle" housing differs in number of units and affordability, both in construction and end-user rents.

The WCRAO Density Bonus Pool allows for missing middle housing to occur on smaller infill sites that otherwise would be restricted by site size and the underlying future land use. A project that has fewer than 10 units is not bound by the County's inclusionary housing policy, and can offer much needed units for moderate to middle income households, in an area that has an oversaturation of very-low and low-income households. An increase of moderate to middle income households could have a very powerful economic impact on the district and could lead to a shift in how development or redevelopment is perceived and initiated in the CRA.

Compliance with WCRAO Density Bonus Program Criteria

The Future Land Use Element of the Comprehensive Plan sets aside 1,300 bonus density units for the Westgate CRA area. In the NC Sub-area, a maximum of 50 density bonus units per acre are available to individual projects. To date, 374 density bonus units have been allocated to multifamily and mixed-use projects throughout the district. To qualify for WCRAO density bonus units, and receive a positive recommendation from the CRA, a number of criteria must be met:

1. The project facilitates the development of diverse, quality housing stock, that addresses a mix of income levels pursuant to the CRA's Community Redevelopment Plan;
2. Meets WCRAO Sub-area use regulations and WCRAO PDRs for the use type; and,
3. Provides a minimum of 5% of the project residential square footage as outdoor space for resident use.

The owner/developer has indicated that monthly rent for each unit will be at or below market rate in order to retain tenants and create better long-term stability; rents are anticipated at \$1,500 to \$1,800 per month for the units. Based on the County's WHP 2024 rental prices for this unit mix, the project targets the workforce moderate-income category or those earning 80% - 100% of MFI.

NC Sub-area PDRs and supplementary standards for multifamily projects with more than 5 units have generally been met through site plan layout and design. The WCRAO DBP residential open space requirement has been achieved with individual unit balconies and porches for resident use.

Consistency with WCRAO PDRs & Supplementary Standards

The PDRs of the NC Sub-area require sites for all uses to be designed with the principal structure placed 10 ft. from the front property line, with 80% building frontage, and a two-story minimum to create massing and presence. PDR's and supplementary standards further require access from and parking at the rear where available. NC Sub-area form-based standards encourage and often necessitate larger assemblages that front Westgate Avenue and occupy the full 230 ft. depth of the block. The project at 1302 Tallahassee Drive is proposed to front Cherokee Avenue; the site has a depth of 115 ft.; a minimum lot depth of 100 ft. is required in the for multifamily developments with

more than 5 units. The site is 153 ft. wide; where a minimum of 100 ft. is required. The project will be oriented to front Cherokee Ave. The building is 35 ft. in depth, and the site has a lot coverage of 25% where 40% is allowed. The maximum building height in the NC Sub-area is 72 ft. or 6 stories, and a minimum of 2 stories is required; the building complies at 2 stories in height.

Buildable land and site layout is constrained due to the size of the site, the number of units proposed, and other site requirements. Generally, the building frontage provides good massing and street presence. The NC Sub-area has an 80% building frontage requirement and the frontage must be on the build to line; building frontage is proposed at 126 ft., or 82%. WCRAO Residential PDRs require a build to line of 10 ft. for multifamily development with more than 5 units and this setback has been provided. Side setbacks of 10 ft. on the east, and 17.8 ft. on the west side street is provided where a minimum of 10 ft. is required. The rear setback must be a minimum of 25 ft., and is provided well within code standards, since the parking lot is located at the rear of the site.

Landscape Provisions – Type 1 Waiver

A preliminary landscape plan has not been provided. WCRAO landscape deviations for the NC Sub-area allow for a reduced ROW and incompatibility buffers for commercial and mixed-use projects, but that reduction is not currently applicable to a standalone residential use. However, WCRAO section 3.B.14.H.C.1A, Incentives for Density Bonus Pool Projects, allows an applicant to request to modify or reduce the landscape requirements in Art. 7 subject to a Type 1 Waiver process. This relief mechanism allows a project to move forward in the absence of supporting code and in lieu of a variance. A ROW buffer of 10 ft. in width is required when the abutting ROW width is 40 ft. or less; 10 ft. is provided, overlapping the 10 ft. front setback. On the east side of the site, abutting the single-family residential property, a 10 ft. Type I incompatibility buffer is provided. A Type II incompatibility buffer width of 15 ft. is required at the rear of the site. A 10 ft. buffer has been provided along the bulk of the property line, excepting the area where 2 parallel parking spaces are proposed, where only 5 ft. provided – this represents Type 1 Waiver request #1. A 12 ft. ROW buffer is provided along the west Tallahassee Drive property line; a 15 ft. buffer is required – this represents Type 1 Waiver request #2. Foundation plantings, as required, may also be reduced for projects where a build to line is required pursuant to approval by the DRO.

The applicant utilized an Art. 5 option to cash out from the recreational open space required by the Parks and Recreation Department, so no dedicated open or recreation space is provided on site.

Architecture & Design

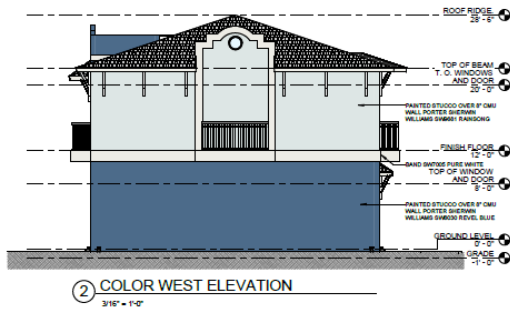
The applicant has provided architectural elevations and floor plans for the building design. Each unit is approx. 18 ft. wide, with identical floor plans, including those for the end units. The structure is designed in a two-story townhouse-style with private patios and balconies. The architecture has a Key West aesthetic. The design incorporates a pitched gable roof with a roofline parapet meant to act as both a Bahamian design detail between the building and roof, and to conceal AC units. Outriggers and stucco banding are complementary façade details. Building colors are proposed in alternating shades of blue and neutral, in keeping with the energetic color palette that defines Key West architecture. Balconies on each unit are required for all multifamily projects with 5 units or more; 2 per unit, one on the front façade, and one on the rear, are provided. Parapets and faux Juliette balconies are provided on the east and west facing facades to add architectural interest, and to address blank walls. The units have a compact interior layout, so fenestration is minimal. Bathroom windows facing Cherokee Ave. are not preferred; the architect could consider a different window style to minimize the impression. Each unit has a main entry facing Cherokee Avenue, the frontage street, as required by WCRAO supplementary standards, and a covered rear entry that is oriented to parking at the rear of the building.



South elevation - view from Westgate Ave.



North elevation - facing Cherokee Ave.



East & West elevations - facing Tallahassee Drive

Traffic, Access & Parking

Building placement is shifted to the site’s frontage and required parking is located to the rear of the building. Access is from the side street, Tallahassee Drive, since there is no access available from the rear. WCRAO ratios for multifamily requires 1.5 parking spaces per unit for 2 bdrm. units, plus 1 space per 4 units for guests; 13 parking spaces and one ADA complaint space, for a total of 14 spaces, have been provided. A traffic statement has been submitted for review. Traffic impacts are minimal for a 7-unit multifamily project, with only 38 net new daily trips; 3 am peak hour, and 4 pm peak hour. Since the project has less than 21 pm peak trips, there is no impact to the TCEA trip pool.

Drainage Considerations

The applicant is utilizing all available land to allow the site to function with the number of units necessary to meet their pro forma. A drainage statement has been provided with the application and indicates that legal positive outfall is available by way of the Cherokee Avenue drainage system. The statement further provides for a surface stormwater management system that will collect on-site run-off and via area drains, catch basins and trench drains which will be routed to an ex-filtration trench and dry detention area for treatment and storage before discharging to Palm Beach County storm management system located in Cherokee Ave. R/W which will eventually lead to the SFWMD C-51 Drainage Basin.

Staff Recommendation

The proposed use and site plan is consistent with the goals and objectives of the Westgate CRA Community Redevelopment Plan, and generally complies with the provisions and standards of the WCRAO zoning overlay. The project represents an investment in the community and will enhance the character of the Tallahassee Drive corridor in the NC Sub-area through the redevelopment of underutilized land for much needed missing middle housing.

Staff supports a CRA Board recommendation of **approval** for the following application requests:

1. Development Review Officer (DRO) approval of four (4) bonus density units from the WCRAO Density Bonus Program;
2. Approval of two (2) administrative Type 1 Waivers pursuant to Art. 3.B.14.H.C.1), Incentives for Density Bonus Pool Projects, to allow a reduction of 3 ft. in the west ROW landscape buffer, and a reduction of 10 ft. in the south incompatibility landscape buffer to allow for parallel parking; and,
3. Approval of any additional variances or waivers necessary to obtain entitlements.



Palm Beach County Zoning Division
2300 N. Jog Road
West Palm Beach, Florida 33411
Phone: (561) 233-5200
Fax: (561) 233-5165

GENERAL APPLICATION
PUBLIC HEARING AND DRO ADMINISTRATIVE PROCESSES

1. REQUEST(S)

Check Type(s) of Application Request(s) and complete as applicable:

PUBLIC HEARING REQUESTS:

- Official Zoning Map Amendment from ... Zoning District to ... Zoning District
With a Concurrent Land Use Amendment from ... Land Use to ... Land Use
Class A Conditional Use (CA) for ...
Class B Conditional Use (CB) for: ...
Development Order Abandonment (ABN) of Resolution No: ... which allowed ...
Expedited Application Consideration (EAC) for: ...
Development Order Amendment (DOA) to a previously approved:
COZ PDD/TDD Class A Class B Other:
Type 2 Variance: (Submit Form #43 Variance Supplemental) Concurrent Standalone
Subdivision Variance: (Submit Form #43 Variance Supplemental) Concurrent Standalone
PO Deviations: (Submit Form #92 PO Deviation) from Article(s)
Pre-Application Conference (PAC) IRO or PRA: With Questions? Yes No
Type 2 Waiver: (Submit Form #19 Waiver Supplemental) Concurrent Standalone
Unique Structure:
Other:

DRO ADMINISTRATIVE REQUESTS:

- Expedited Development Review Officer approval (DROE) (within 2 months of BCC/ZC approval)
Use subject to Development Review Officer (DRO) approval for ...
Pre-Application Conference (PAC) - Concurrent Review: With Questions? Yes No
Type 2 Concurrent Review: with Building Permit # or with Plat, Name/No.
Type 3 Concurrent Review (Zoning, Land Development and Building)
Administrative Modification to a Plan approved by the ZC / BCC / DRO for ...
Administrative Abandonment (ABN) of a DRO Approval ...
Subdivision ...
Transfer of Development Rights (TDR) (Submit Form #16 TDR Supplemental)
Type 1 Waiver (Submit Form #19 Waiver Supplemental) from Article for
Other

2. APPLICANT INFORMATION

Current Property Owner(s) Name: _____
Address: _____ **City:** _____
State: _____ **Zip:** _____
Phone: _____ **Cell Phone:** _____
Email Address: _____

Applicant's name (if other than property owner(s): _____
Address: _____ **City:** _____
State: _____ **Zip:** _____
Phone: _____ **Cell Phone:** _____
Email Address: _____

Check (✓) here if Applicant is a contract purchaser. Consent is required from the contract purchaser if a contract is pending to purchase the subject property. Home Owners Association (HOA) or Property Owners Association (POA) consent will be required if subject property is under common ownership or request is to modify any aspect of the project which applies to the entire development (i.e. condition of approval, internal roadway, etc.)

Agent:* _____ **Name of Firm:** _____
Address: _____ **City:** _____ **State:** _____ **Zip:** _____
Phone: _____ **Cell Phone #:** _____
Email Address: _____

Agent:* _____ **Name of Firm:** _____
Address: _____ **City:** _____ **State:** _____ **Zip:** _____
Phone: _____ **Cell Phone #:** _____
Email Address: _____

* All correspondence will be sent to the Agent(s) unless otherwise specified.

3. PROPERTY INFORMATION (* Required Fields)

A. *Property Control Number (PCN): <i>(List additional PCN(s) on separate sheet)</i>	
B. *Control Number:	
C. *Control Name :	
D. Application Number:	
E. *Application Name:	
F. Project Number:	
G. *Gross Acreage:	
H. Gross Acreage of affected area:	
I. *Location of subject property: <i>(proximity to closest major intersection/ road)</i>	
J. *Address:	
K. *BCC District:	
L. Overlay (Special Study Area):	
M. Tier	<input type="checkbox"/> U/S <input type="checkbox"/> R/EX <input type="checkbox"/> AGR <input type="checkbox"/> GLADES

4. LAND USE AND ZONING INFORMATION

Current Future Land Use designation:		Proposed Future Land Use designation:	
Current Zoning District:		Proposed Zoning District:	
Existing Use(s):		Proposed Use(s):	
Existing Square Footage:		Proposed Square Footage:	
Existing Number of Units:		Proposed Number of Units:	

5. ARCHITECTURAL REVIEW

This application is subject to the requirements of Article 5.C, Design Standards and request review of the proposed elevations concurrent with:

- Type 1 Projects Requiring BCC Approval
- Type 2 Projects Requiring ZC Approval
- Type 3 Projects Requiring DRO or Site Plan Approval
- Type 4 Projects Requiring Building Permit Approval

This application also includes request(s) for Elevation review and consideration, as indicated below:

- Revise previously approved Elevations;
- Non-conforming structures that are subject to Article 5.C, Percentage of Renovations;
- Approval for Green Architecture (*Type 1 Waiver*, Art.5.C.1.E.3)
- Approval for Unique Structure (Art.5.C.1.E.2)

Note: *All application documents shall be consistent with the current Technical Manual, refer to the Zoning Web Page.*

6. ADJACENT PROPERTIES

Complete the chart below to identify the Use and Zoning information for the surrounding properties to the project.

Adjacent Property	FLU	Zoning District	Existing Use (Res, Comm, Ind, etc.)	Approved Use (Res, Comm, Ind, etc.)	Existing Sq. ft. or DU/AC	Approved Sq. ft. or DU/AC	Control # (FKA Petition #)	Resolution # R _
EAST								
NORTH								
SOUTH								
WEST								

7. COMPLIANCE

YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the property in compliance with all previous Conditions of Approval and applicable Code Requirements? <i>If no, please explain in the Justification Statement.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the property currently the subject of Code Enforcement action? <i>If yes, provide Code Enforcement Case Number: _____</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Will the request require modification(s) to a recorded plat or plat with Technical Compliance? <i>If yes, explain in the Justification Statement.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Is the subject property an existing legal lot of record? <i>If no, submit Legal Lot Review Application to the Land Development Division.</i>
YES <input type="checkbox"/> NO <input type="checkbox"/>	Does the proposed improvements exceed the allowable improvement value of the existing structure as identified in ULDC, Article 1? <i>If yes, comply with Article 1.F – Nonconformities.</i>

8. PROPOSED USE DETAILS

Building Name	Use(s) (as per ULDC)	Square Footage	Number of Units	Phase Name	Outparcel

9. CONCURRENCY

Concurrency Reservation Concurrency Equivalency Concurrency Exemption

A. Water Provider:			
B. Waste Water Provider:			
C. Drainage District:			
D. Traffic Provider:		Traffic Trips Existing:	
E. Mass Transit Provider:		Traffic Trips Proposed:	
F. Traffic Capacity:		Number of Gross Peak Hour Trips = <i>(If greater than 30; a traffic study will be required)</i>	
G. Public School:			
H. Public Health Provider:			Well /Septic tank :
I. Parks			
J. Fire Rescue			
K. Solid Waste:			
L. Check the proposed means of achieving access from the development site to a point of Legal Positive Outfall for storm water discharged from the site:			
<input type="checkbox"/> Property is contiguous to a natural waterway, or a canal owned and operated by a water control district.			
<input type="checkbox"/> Property owner has legally established drainage rights to convey storm water through all intervening properties between the development site and natural waterway or water control district canal.			
<input type="checkbox"/> Property abuts a road with a functioning drainage system, and property owner has obtained written confirmation from the entity responsible for maintaining the road that the proposed development is eligible to utilize the road drainage system, subject to meeting all permit requirements for drainage connection.			
<input type="checkbox"/> Other (specify): _____			

10. ENVIRONMENTAL ANALYSIS

ENVIRONMENTAL RESOURCE MANAGEMENT (ERM) – Art. 14.B.8.C

Is there Native Vegetation on Site? Yes No If yes; a **Pre-Application Appointment** with ERM is required; Enter date of PAA meeting with ERM _____;

General Vegetation Statement:

Existing and Proposed Grade/Elevation where existing Native Vegetation is to be preserved:

Is site in a Wellfield protection zone? Yes No If yes; submit **Wellfield Protection Affidavit**, available from ERM

HEALTH DEPARTMENT – Art.15

In Justification Statement, under heading “Hazardous Material”, address type(s) and amount of: **1)**all industrial, manufacturing, special or hazardous waste that may be generated; **2)** airborne pollutants that may be generated (i.e. dust or other unconfined particulates such as NOx, SOx, CO, VOC’s, heavy metals, etc.); and, **3)** any special handling of solid waste that may be required.

This application is not complete without the following documents as attachments:

- 1. Justification Statement:** to address the purpose, project history, intent and design objectives of this request, refer to Art.2.A.6.A.1 for the required information.
- 2. Status of Conditions of Approval (COA):**
 - a. Provide letter/document which includes the status of all current Conditions of Approval;
 - b. Include the exact language for any modification(s) to any Condition of Approval;
 - c. If the application request requires time extension for Commencement of Development or recording a Plat, then provide further explanation. (This explanation may be added to the Justification Statement.)

Note: Please refer to PZB Zoning Website for all ULDC Articles <http://www.pbcgov.com/uldc/index.htm> referenced in this document and the Technical Manual for helpful information <http://www.pbcgov.com/techmanual/index.htm>



WAIVER SUPPLEMENTAL

An Applicant may apply for a Waiver from the requirements indicated in the various sections of the Unified Land Development Code (ULDC). Applicants submitting this Waiver Supplemental Application (**Form # 19**) are required to also submit the General Application, Public Hearing & DRO Administrative Processes (**Form # 1**).

Check (X) below for the Type(s) of Waiver request:

TYPE 1 WAIVERS

- Glades Area Overlay (GAO) Industrial Pod Development Standards** (Art.3.B.4.F, Type 1 Waivers for Industrial Pods)
- Native Ecosystem Overlay (NEO)** ¹ (Art.3.B.7.D, Property Development Regulations (PDR's))
- Northlake Boulevard Overlay Zone (NBOZ) Design Guidelines** ¹ (Art.3.B.8.E, Type 1 Waivers for NBOZ Design Guidelines)
- Infill Redevelopment Overlay (IRO)** ¹ (Art.3.B.15.G, Type 1 Waivers)
- Urban Redevelopment Area Overlay (URAO)** ¹ (Art.3.B.16.G, Type 1 and 2 URAO Waivers)
- Structural Setbacks – Reduction not to exceed 5% less than the minimum requirement** (Art.3.D.1.A)
- RVPD Type 3 Incompatibility Buffer** (Art. 3.E.7.F.2, Perimeter Buffer)
- Parking Proximity for a Type 1 Restaurant with Drive through** (Art.4.B.2.C.33.f.3.a.2, Location Criteria – Exceptions, Design Criteria)
- Commercial Greenhouse Loading Zones** (Art.4.B.6.C.17.c.4.b)
- Solid Waste Transfer Station Landscaping** (Art.4.B.7.C.10.d, Buffer)
- Green Architecture** (Art.5.C.1.E.3, Type 1 Waiver – Green Architecture)
- Parking for Community Vegetable Gardens** (Table 6.B.1.B, Minimum Parking and Loading Requirements, Note 10)
- Loading Space for a Type 3 CLF, or Nursing Home or Convalescent Facility with More than 20 Beds.** (Table 6.B.1.B, Minimum Parking and Loading Requirements, Note 12)
- Reduction in Number of Required Parking Spaces** (Art.6.C.1.A, Type 1 Waiver)
- Reduction in Number of Minimum Required Loading Spaces (uses < 10,000sqft)** (Art.6.E.2.B.3, Type 1 Waiver – Reduction of Minimum Number of Required Loading Spaces)
- Reduction of Loading Space Width or Length (for uses that require limited loading)** (Art.6.E.4.A.1.d, Type 1 Waiver – Reduction of Loading Space Width or Length)
- Landscaping** ¹ (Table 7.B.4.A, Type 1 Waivers for Landscaping)
- PUD Informational Signs** (Art.8.G.3.B.5.b)
- Billboard Location - Replacement Criteria** (Art.8.H.2.D.4)
- WCRAO Density Bonus Program per Table 2.C.5.G** (Art 3.B.14.H.1.c, Incentive for Density Bonus Pool Projects, Landscaping)

TYPE 2 WAIVERS

- WCRAO Addition of Parking to a Non-Conforming Structure** ¹ (Art.3.B.14.B.1.a, Expansion of Existing Non-Conforming Parking)
- WCRAO Density Bonus Program** ¹ (Art.3.B.14.H.2, Other Density Bonus Programs)
- IRO – Minimum Residential Setbacks from Outdoor Use** (Art.3.B.15.F.6.a.4.a, Residential Setbacks)
- Urban Redevelopment Area Overlay (URAO)** ¹ (Table 3.B.16.G, Type 1 and 2 URAO Waivers)
- PDD Minimum Frontage** (Art.3.E.1.C.2.a.1.a, Type 2 Waiver – Infill Development)
- PDD Cul-de- Sac Maximum Percentage for Local Streets** (Art.3.E.1.C.2.a.5.b)
- MUPD Type 3 Incompatibility Buffer** (Art. 3.E.3.B.2.c, Landscape Buffers)
- AGR Tier - Parking Structure** (Art.3.F.2.A.2.d.1.a, Type 2 Waiver)
- TMD Maximum Building Height in the U/S Tier** (Art. 3.F.4.C.3.a.1, U/S Tier)
- AGR TMD - Block Structure** (Art.3.F.4.D.9.a, Type 2 Waiver)
- Congregate Living Facility** (Art. 4.B.1.C.1.e, Location)
- Family Community Residence** (Art. 4.B.1.C.3.d, Licensing, Certification, or Charter, e, Occupancy, or, f, Location)
- Recovery Community** (Art. 4.B.1.C.6.e, Location)
- Transitional Community Residence** (Art. 4.B.1.C.9.c.2, Use, Location, Licensing and Occupancy)
- Medical Marijuana Dispensing Facility Minimum Distance from an Elementary or Secondary School** (Art. 4.B.2.C.35.i.2, Location)
- Commercial Communication Tower Dimensional Criteria** (Art.4.B.9.H.5, Type 2 Waiver from Required Dimensional Criteria)
- Non-Emergency Government-Owned Tower Dimensional Criteria** (Table 5.B.1.A, New, Modified, or Relocated Government Towers Not Subject to an Emergency)
- Review Process for a Unique Structure** (Art.5.C.1.E.2, Unique Structure)
- Hours of Operations** (Art.5.E.5.E, Type 2 Waiver)
- Large Scale Commercial Development Parking** (Art.6.B.2.A.1.b.1.d, Type 2 Waiver)
- Type 3 Incompatibility Buffer Landscape Barrier Wall** (Table 7.C.2.C.3, Incompatibility Buffer Landscape Requirements)
- Electronic Message Sign** (Table 8.G.3.B, Type 2 Waivers for Electronic Message Signs)
- Minimum Legal Access for Collocated Landscape Services in AR/RSA and AR/USA** ¹ (Table 11.E.2.A-2, Chart of Minor Streets)

¹ Required to have a Pre-Application Appointment (PAA) prior to submission of an application.

1. WAIVER INFORMATION

Complete the chart below with the information requested for each Waiver. If more than five (5) Waivers are requested, provide the information on a separate sheet of paper and attach to this form. Address the three (3) applicable Standards pursuant to Article 2.C.5.F or Article 2.B.7.D, in the Justification Statement for each Waiver requested.

ULDC SECTION	REQUIRED	PROPOSED	WAIVER

2. WAIVER JUSTIFICATION STANDARDS

The Palm Beach County Unified Land Development Code (ULDC), Article 2.C.5.F, Type 1 Waivers and Article 2.B.7.D, Type 2 Waivers, requires a statement of special reason or basis for the waiver required. When considering whether to approve, approve with conditions, or deny a Waiver request, the Development Review Officer (Type 1 Waiver) or the Board of County Commissioners (Type 2 Waiver) shall consider the following standards below.

NOTE: The Applicant is required to provide a Justification Statement which outlines how each Waiver standard is being addressed, as applicable to the Waiver request(s).

All Type 1 and Type 2 Waivers must meet the general standards below as indicated in ULDC Article 2.C.5.F and Article 2.B.7.D:

1. The Waiver does not create additional conflicts with the specified Section(s) of the ULDC, and is consistent with the stated purpose and intent and standards;
2. The Waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development; and,
3. The alternate design option recommended as part of the Waiver approval, if granted, will not adversely impact users of the project or adjacent properties.
4. Additional standards for Type 2 Waivers for Medical Marijuana Dispensing Facilities as contained in **Article 2.B.7.D.3.d**; or, Unique Structures as contained in **Article 2.B.7.D.4**, need to be addressed.

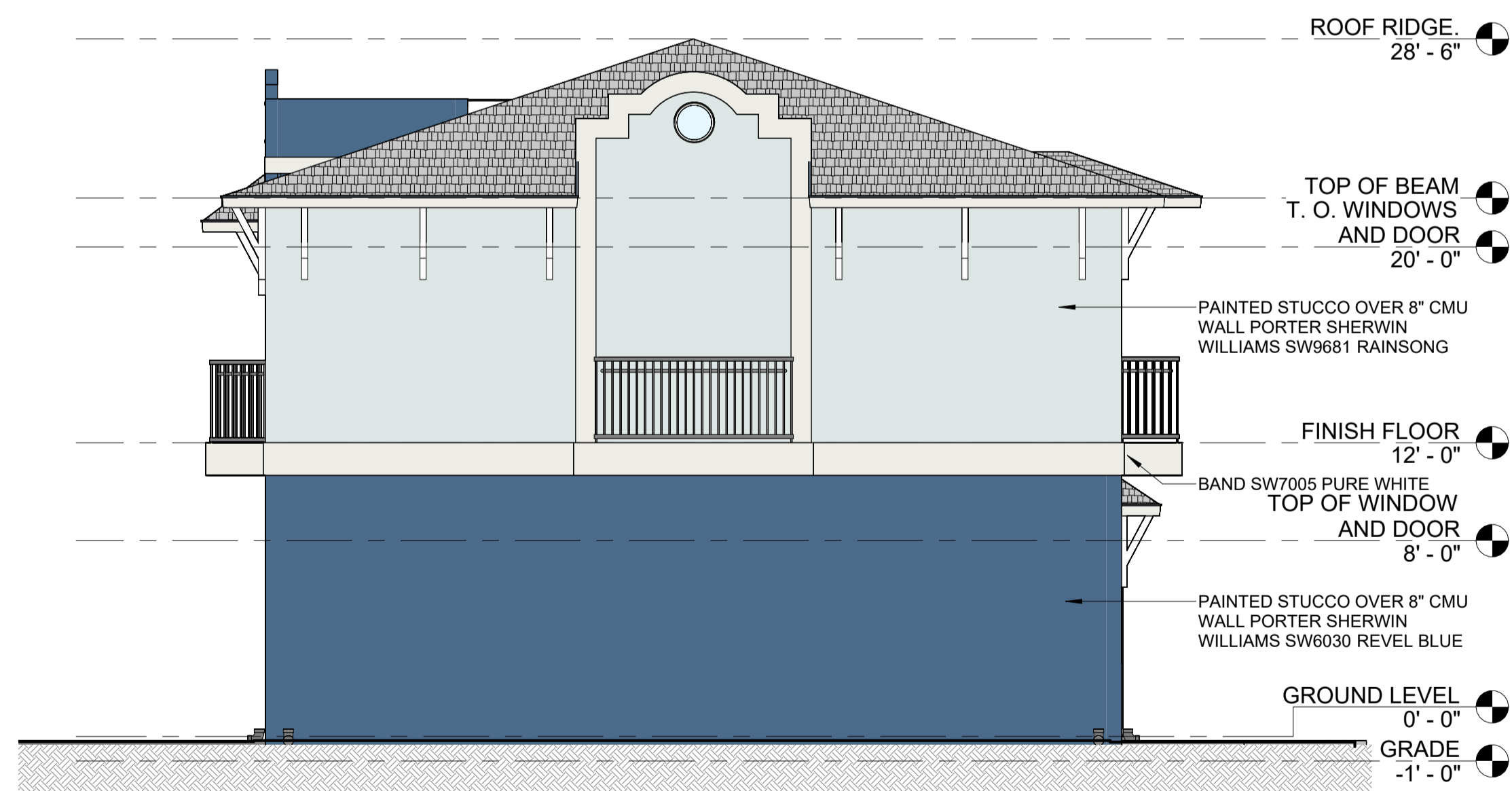
In addition to the above, the following Waiver requests require additional criteria to be addressed (refer to ULDC section listed below):

- A. Cul-de-sacs Criteria:**
 - Cul-de-Sac Waivers shall comply with the additional criteria as provided in **Article 3.E.1.C.2.a.5, Cul-de-sacs**.
- B. Block Structure Criteria:**
 - Block Structure Waivers shall comply with the additional criteria as provided in **Art. 3.F.4.d.9.a, Type 2 Waiver**.
- C. Communication Tower Criteria:**
 - Communication Tower Waivers shall comply with the additional criteria as provided in **Article 4.B.9.H.5, Type 2 Waiver from Required Dimensional Criteria**.
- D. Electronic Message Sign Criteria:**
 - Electronic Message Sign Waivers shall comply with the criteria in **Article 8, Table 8.G.3.B, Type 2 Waivers for Electronic Message Signs**.
- E. Landscaping Criteria:**
 - Landscaping Waivers Applicants shall comply with the criteria in **Table 7.B.4.A, Type 1 Waivers for Landscaping**.
- F. Access Waiver for Collocated Landscape Service in the AR Zoning District:**
 - The Access Waiver for Collocated Landscape Service in the AR Zoning District dimensional requirement pursuant to **Art. 11.E.2.A.26**.



1 COLOR SOUTH ELEVATION

3/16" = 1'-0"



2 COLOR WEST ELEVATION

3/16" = 1'-0"

1 COLOR BUILDING ELEVATIONS
N.T.S.

7 UNITS
PEDRO RODRIGUEZ
1302 TALLAHASSEE DR,
WEST PALM BEACH, FLORIDA 33409

team architecture
i n c o r p o r a t e d
2328 10th Avenue North, Suite 200
Lake Worth, Florida 33461
(561) 855-2688

AR 8840
FERNANDO R. PRIETO

Job Number: 0010.5.15.2024
Check By: FRP
Design By: AC
Drawn By: BN
Date: _____
Sheet Number: _____

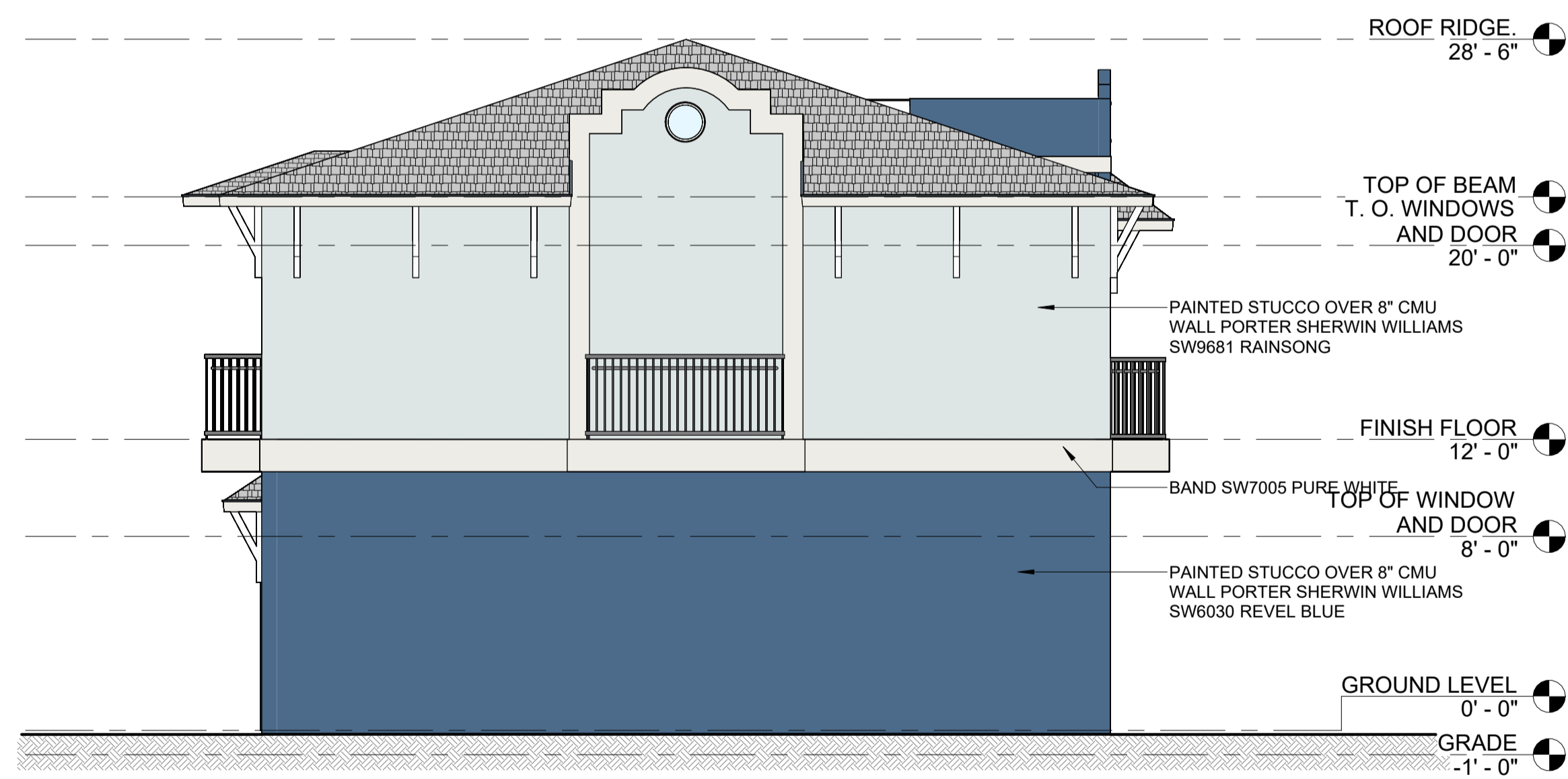
A-2.1

THIS DRAWING IS THE PROPERTY OF TEAM ARCHITECTURE INCORPORATED AND IS COPYRIGHTED. THERE SHALL BE NO USE OR COPYING OF THIS DOCUMENT WITHOUT AUTHORIZATION FROM TEAM ARCHITECTURE INCORPORATED.

Revisions	#	Description	Date



2 COLOR NORTH ELEVATION
3/16" = 1'-0"



1 COLOR EAST ELEVATION
3/16" = 1'-0"

1 COLOR BUILDING ELEVATIONS
N.T.S.

7 UNITS
PEDRO RODRIGUEZ
1302 TALLAHASSEE DR,
WEST PALM BEACH, FLORIDA 33409

team architecture
incorporated
2328 10th Avenue North, Suite 200
Lake Worth, Florida 33461
(561) 855-2688

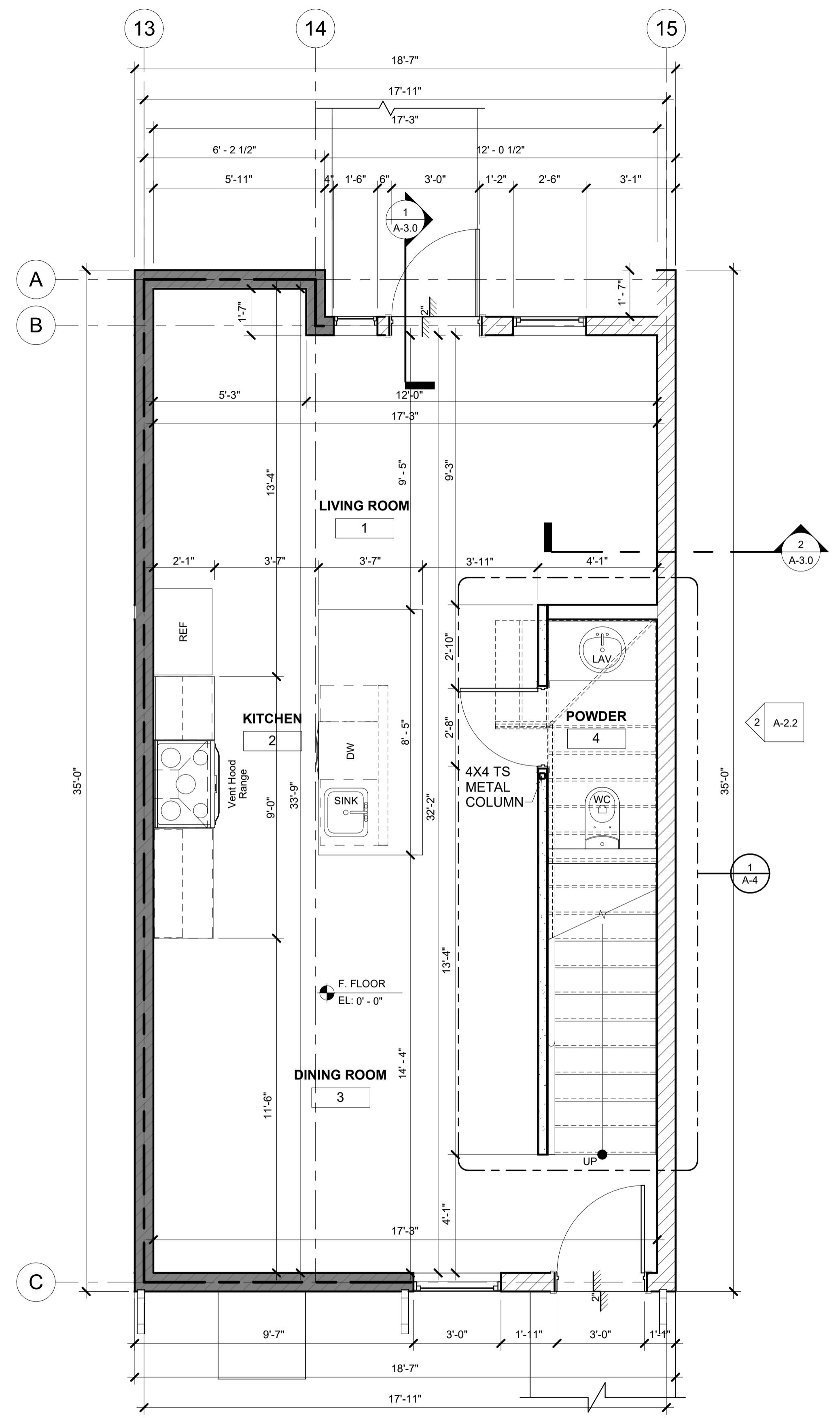
AR 8840
FERNANDO R. PRIETO

Job Number: 0010.5.15.2024
Check By: FRP
Design By: AC
Drawn By: BN
Date: _____
Sheet Number: _____

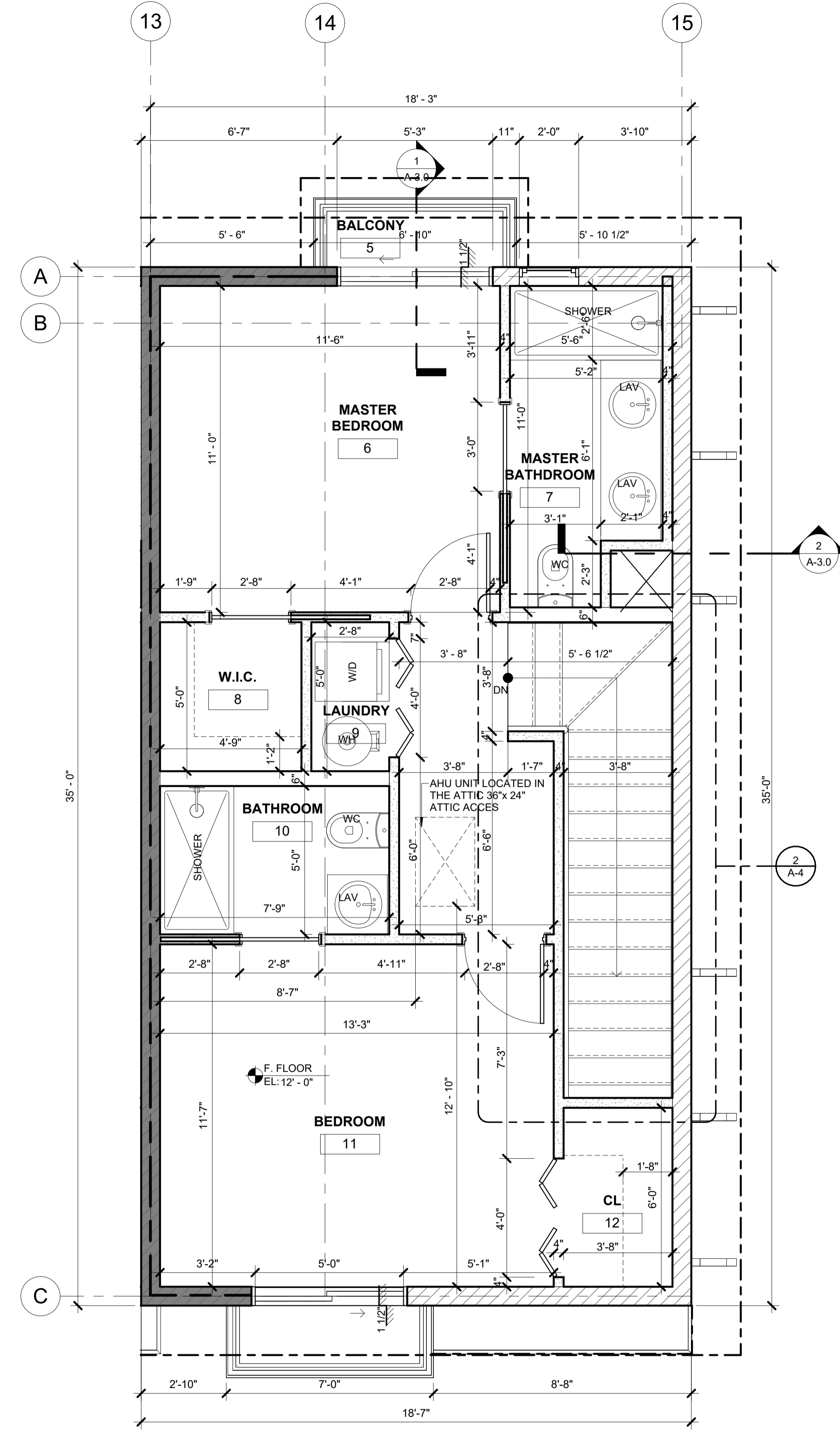
A-2

THIS DRAWING IS THE PROPERTY OF TEAM ARCHITECTURE INCORPORATED AND IS COPYRIGHTED. THERE SHALL BE NO USE OR COPYING OF THIS DOCUMENT WITHOUT AUTHORIZATION FROM TEAM ARCHITECTURE INCORPORATED.

THIS DRAWING IS THE PROPERTY OF TEAM ARCHITECTURE INCORPORATED AND IS COPYRIGHTED. THERE SHALL BE NO USE OR COPYING OF THIS DOCUMENT WITHOUT AUTHORIZATION FROM TEAM ARCHITECTURE INCORPORATED.



1 PROPOSED TYPICAL GROUND FLOOR PLAN
3/8" = 1'-0"



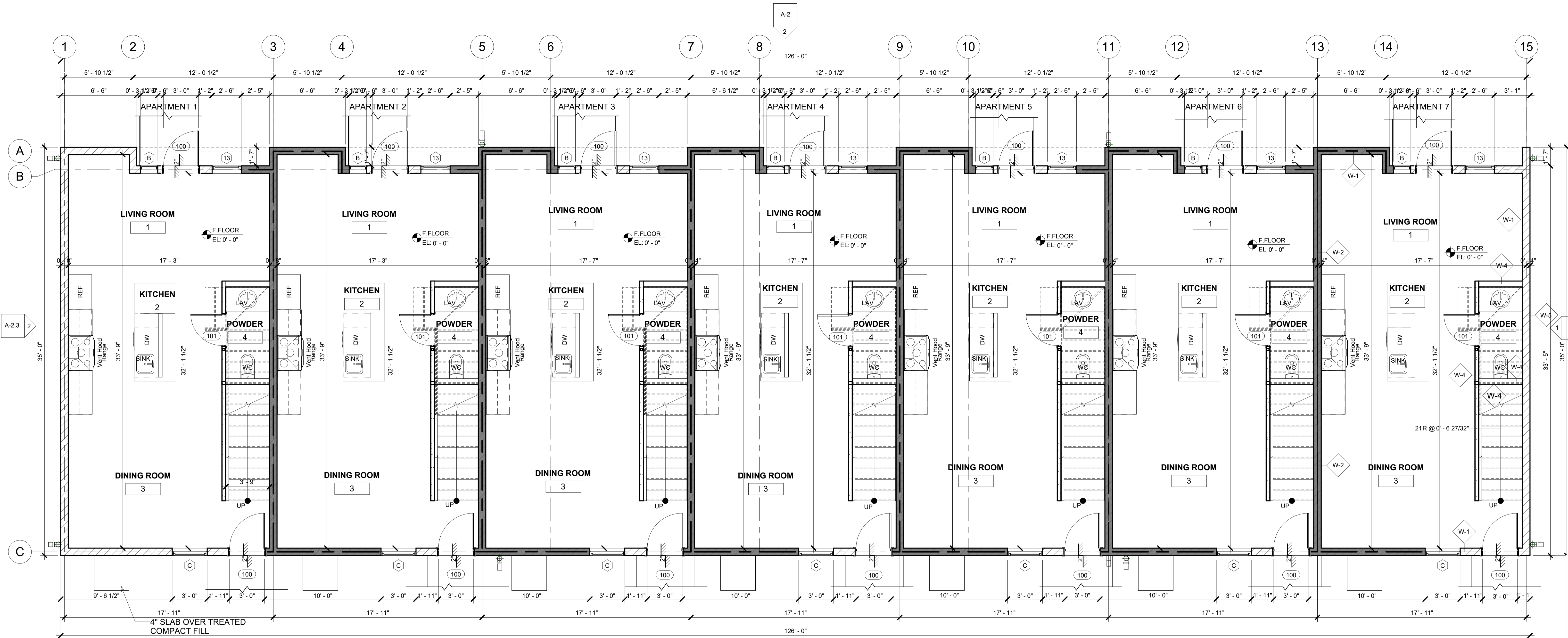
2 PROPOSED TYPICAL SECOND FLOOR PLAN
3/8" = 1'-0"

NOTE: ALL CEILING WILL BE 10'-0" HT OR AS OTHERWISE NOTED

WALL TYPE LEGEND

- CMU WALL 1 HR FIRE RATED. 8"
- CMU EXTERIOR WALL 8"
- PARTITION WALL 6"
- PARTITION WALL 4"

NOTE:
1. ALL CEILING WILL BE 9'-8" H.T. O.W.N
2. REFER TO DRAWING A-1 FOR TYPICAL FLOOR PLAN DETAIL AND WALL TYPICAL A1.5



1 PROPOSED OVERALL GROUND FLOOR

1/4" = 1'-0"

WALL TYPE LEGEND

- CMU WALL 1 HR FIRE RATED 8"
- CMU EXTERIOR WALL 8"
- PARTITION WALL 6"
- PARTITION WALL 4"

NOTE:
1. ALL CEILING WILL BE 9'-8" H.T. O.W.N
2. REFER TO DRAWING A-1 FOR TYPICAL FLOOR PLAN DETAIL AND WALL TYPICAL A1.5

TYPE LEGEND

- MARK WALL
- MARK DOOR
- MARK WINDOW

NOTE:
-ALL INTERIOR FINISH TO BE SELECTED BY OWNER, FLOOR TILES, CARPETS, SHELVES, FIXTURES, ETC.

7 UNITS
PEDRO RODRIGUEZ
1302 TALLAHASSEE DR,
WEST PALM BEACH, FLORIDA 33409

team architecture
incorporated
2328 10th Avenue North, Suite 200
Lake Worth, Florida 33461
(561) 855-2688

AR 8840
FERNANDO R. PRIETO
Job Number: 0010.5.15.2024
Check By: FRP
Design By: AC
Drawn By: BN
Date: _____
Sheet Number: _____

A-1.2

THIS DRAWING IS THE PROPERTY OF TEAM ARCHITECTURE INCORPORATED AND IS COPYRIGHTED. THERE SHALL BE NO USE OR COPYING OF THIS DOCUMENT WITHOUT AUTHORIZATION FROM TEAM ARCHITECTURE INCORPORATED.



1 PROPOSED OVERALL SECOND FLOOR PLAN
1/4" = 1'-0"

WALL TYPE LEGEND

- CMU WALL 1 HR FIRE RATED, 8"
- CMU EXTERIOR WALL 8"
- PARTITION WALL 6"
- PARTITION WALL 4"

NOTE:
1. ALL CEILING WILL BE 9'-8" H.T. O.W.N
2. REFER TO DRAWING A-1 FOR TYPICAL FLOOR PLAN DETAIL AND WALL TYPICAL A1.5

- TYPE LEGEND**
- MARK WALL
 - MARK DOOR
 - MARK WINDOW

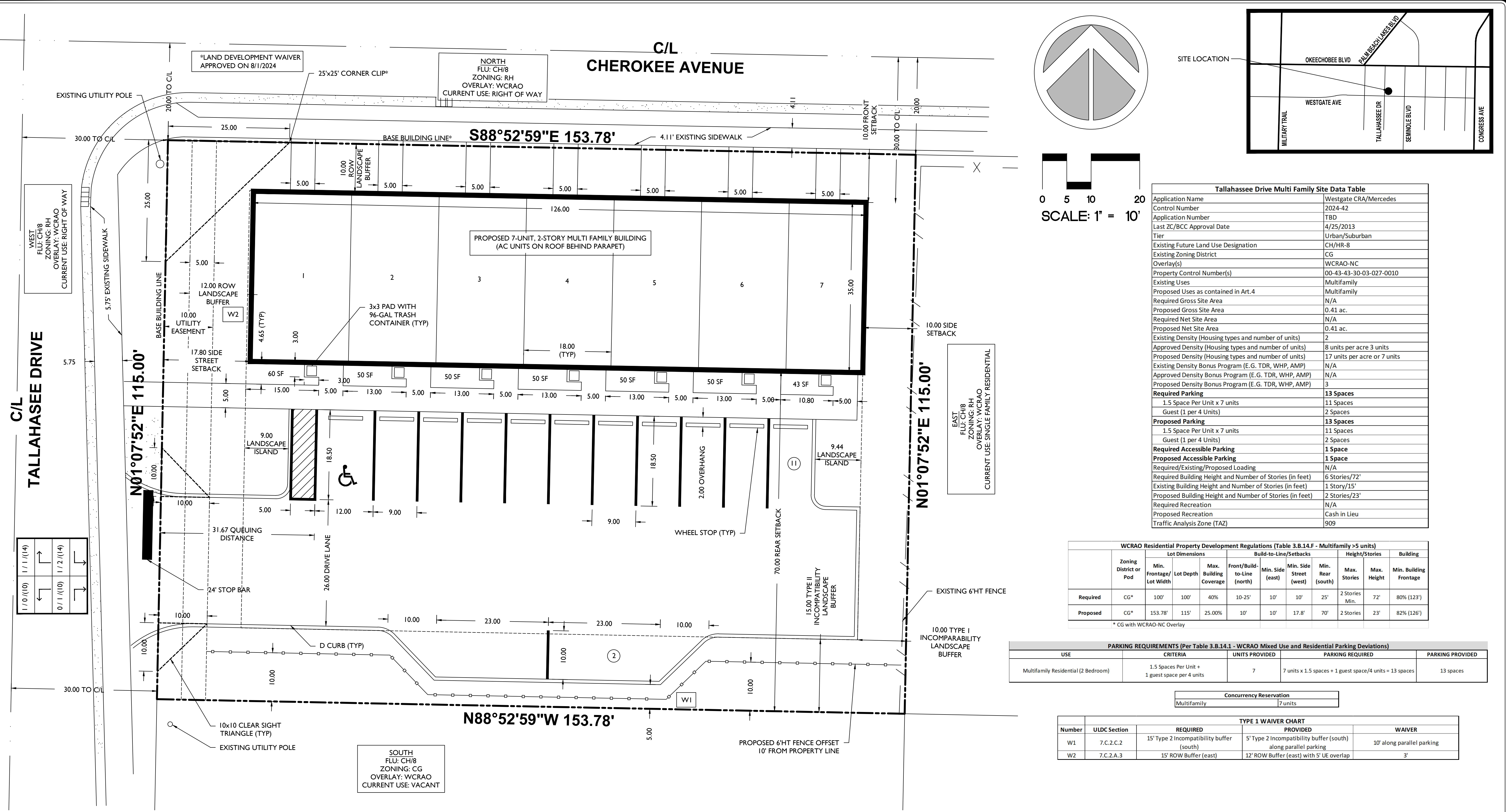
NOTE:
-ALL INTERIOR FINISH TO BE SELECTED BY OWNER, FLOOR TILES, CARPETS, SHELVES, FIXTURES, ETC.

7 UNITS
PEDRO RODRIGUEZ
1302 TALLAHASSEE DR,
WEST PALM BEACH, FLORIDA 33409

team architecture
incorporated
2328 10th Avenue North, Suite 200
Lake Worth, Florida 33461
(561) 855-2688

AR 8840
FERNANDO R. PRIETO
Job Number: 0010.5.15.2024
Check By: _____
Design By: Designer
Drawn By: Author
Date: _____
Sheet Number: _____

THIS DRAWING IS THE PROPERTY OF TEAM ARCHITECTURE INCORPORATED AND IS COPYRIGHTED. THERE SHALL BE NO USE OR COPYING OF THIS DOCUMENT WITHOUT AUTHORIZATION FROM TEAM ARCHITECTURE INCORPORATED.



Tallahassee Drive Multi Family Site Data Table	
Application Name	Westgate CRA/Mercedes
Control Number	2024-42
Application Number	TBD
Last ZC/BCC Approval Date	4/25/2013
Tier	Urban/Suburban
Existing Future Land Use Designation	CH/HR-8
Existing Zoning District	CG
Overlay(s)	WCRAO-NC
Property Control Number(s)	00-43-43-30-03-027-0010
Existing Uses	Multifamily
Proposed Uses as contained in Art.4	Multifamily
Required Gross Site Area	N/A
Proposed Gross Site Area	0.41 ac.
Required Net Site Area	N/A
Proposed Net Site Area	0.41 ac.
Existing Density (Housing types and number of units)	2
Approved Density (Housing types and number of units)	8 units per acre 3 units
Proposed Density (Housing types and number of units)	17 units per acre or 7 units
Existing Density Bonus Program (E.G. TDR, WHP, AMP)	N/A
Approved Density Bonus Program (E.G. TDR, WHP, AMP)	N/A
Proposed Density Bonus Program (E.G. TDR, WHP, AMP)	3
Required Parking	13 Spaces
1.5 Space Per Unit x 7 units	11 Spaces
Guest (1 per 4 Units)	2 Spaces
Proposed Parking	13 Spaces
1.5 Space Per Unit x 7 units	11 Spaces
Guest (1 per 4 Units)	2 Spaces
Required Accessible Parking	1 Space
Proposed Accessible Parking	1 Space
Required/Existing/Proposed Loading	N/A
Required Building Height and Number of Stories (in feet)	6 Stories/72'
Existing Building Height and Number of Stories (in feet)	1 Story/15'
Proposed Building Height and Number of Stories (in feet)	2 Stories/23'
Required Recreation	N/A
Proposed Recreation	Cash in Lieu
Traffic Analysis Zone (TAZ)	909

WCRAO Residential Property Development Regulations (Table 3.B.14.F - Multifamily >5 units)											
Zoning District or Pod	Lot Dimensions			Build-to-Line/Setbacks				Height/Stories		Building	
	Min. Frontage/Lot Width	Lot Depth	Max. Building Coverage	Front/Built-to-Line (north)	Min. Side Street (east)	Min. Side Street (west)	Min. Rear (south)	Max. Stories	Max. Height		
Required	CG*	100'	100'	40%	10-25'	10'	10'	25'	2 Stories Min.	72'	80% (123')
Proposed	CG*	153.78'	115'	25.00%	10'	10'	17.8'	70'	2 Stories	23'	82% (126')

PARKING REQUIREMENTS (Per Table 3.B.14.1 - WCRAO Mixed Use and Residential Parking Deviations)				
USE	CRITERIA	UNITS PROVIDED	PARKING REQUIRED	PARKING PROVIDED
Multifamily Residential (2 Bedroom)	1.5 Spaces Per Unit + 1 guest space per 4 units	7	7 units x 1.5 spaces + 1 guest space/4 units = 13 spaces	13 spaces

Concurrency Reservation	
Multifamily	7 units

TYPE 1 WAIVER CHART			
Number	ULDC Section	REQUIRED	PROVIDED
W1	7.C.2.C.2	15' Type 2 Incompatibility buffer (south)	5' Type 2 Incompatibility buffer (south) along parallel parking
W2	7.C.2.A.3	15' ROW Buffer (east)	12' ROW Buffer (east) with 5' UE overlap

- GENERAL NOTES**
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES WERE PROVIDED BY OTHERS AND ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE CONTRACT DOCUMENTS. JESSAMINE DESIGN BUILD, LLC SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREIN OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
 - THE CONTRACTOR SHALL FIELD LOCATE, VERIFY AND FURTHER IDENTIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ABOVE AND BELOW GRADE AFFECTING ANY COMPONENT OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION. DISCREPANCIES, CONFLICTS OR POTENTIAL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
 - DO NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION DISCOVERED IN THE CONTRACT DOCUMENTS. IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY SUCH DISCOVERY. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO REFLECT THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
 - ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.
 - ALL WORK SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS, AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT.
 - THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DO NOT MEET THE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 - ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES INSTALLED AS PART OF THIS PROJECT SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE. SEE THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
 - THE CONTRACTOR SHALL REFER TO THE LANDSCAPE NOTES, SPECIFICATIONS, AND THE CONTRACT DOCUMENTS PREPARED BY OTHERS FOR ADDITIONAL REQUIREMENTS.

- LAYOUT NOTES**
- ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
 - ALL CURB RADII AND SIDEWALK RETURNS ARE 3' UNLESS NOTED OTHERWISE.
 - ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT AND CIVIL ENGINEERING CONTRACT DOCUMENTS.
 - BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
 - SEE CIVIL ENGINEERING PLANS FOR PROPOSED PAVING, GRADING, DRAINAGE, AND UTILITY IMPROVEMENT.

LEGEND

LS - LANDSCAPE AREA
ASP - ASPHALT
C - CONCRETE
TYP - TYPICAL

AVERAGE TRAFFIC VOLUMES

AM / PM / (DAILY)

TURNING MOVEMENTS

AMENDMENT STAMP

ZONING STAMP

Sheet Title
FINAL SITE PLAN

Revision Dates

Date
07/31/2024

Sheet Number
FSP 1

Seal

INVOICE NO.: 71490

DATE:	DESCRIPTION:
05-17-2023	FIELD LOCATION OF IMPROVEMENTS

ABBREVIATIONS / SYMBOLS:

- A/C = AIR CONDITIONING UNIT
- ADJ = ADJACENT
- BCR = BROWARD COUNTY RECORDS
- BM = BENCHMARK
- CALC = CALCULATED
- CA = CENTERLINE ANGLE
- CL = CENTERLINE
- CB = CATCH BASIN
- CBS = CONCRETE BLOCK WALL
- CHATT = CHATTAHOOCHEE
- CONC = CONCRETE
- CM = CONCRETE MONUMENT
- COL = COLUMN
- D = DEED
- DE = DRAINAGE EASEMENT
- DS = DRAINAGE STRUCTURE
- ELEV. = ELEVATION
- EW = EDGE OF WATER
- FF = FOUND
- FD = FINISHED FLOOR
- ID = IDENTIFICATION
- INV = INVERT
- IP = IRON PIPE
- IR = IRON ROD
- L = LENGTH
- LAE = LIMITED ACCESS EASEMENT
- LME = LAKE MAINTENANCE EASEMENT
- LP = LIGHT POLE
- M = MEASURED
- NID = NAIL AND DISC
- NIG = NATURAL GROUND
- NR = NON RADIAL
- NTS = NOT TO SCALE
- OHC = OVERHEAD CABLES
- ORB = OFFICIAL RECORD BOOK
- P = PLAT
- PB = PLAT BOOK
- PBCR = PALM BEACH COUNTY RECORDS
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVATURE
- PCP = PERMANENT CONTROL POINT
- PG = PAGE
- PI = POINT OF INTERSECTION
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PRC = POINT OF REVERSE CURVATURE
- PRM = PERMANENT REFERENCE MONUMENT
- PT = POINT OF TANGENCY
- R = RADIUS
- RGE = RANGE
- ROE = ROOF OVERHANG EASEMENT
- R/W = RIGHT OF WAY
- SEC = SECTION
- SW = SIDEWALK
- TOB = TOP OF BANK
- TYP = TYPICAL
- UE = UTILITY EASEMENT
- WF = WOOD FENCE
- WPP = WOOD POWER POLE (UTILITY POLE)

OVERHEAD CABLES	CONVERSION INCHES TO DECIMAL
METAL FENCE	1" = 0.08'
WOOD FENCE	2" = 0.17'
PLASTIC FENCE	3" = 0.25'
EASEMENT LINES	4" = 0.33'
CENTERLINE (CL)	5" = 0.42'
FIRE HYDRANT	6" = 0.50'
WATER VALVE	7" = 0.58'
UTILITY POLE	8" = 0.67'
WATER METER	9" = 0.75'
	10" = 0.83'
	11" = 0.92'
	12" = 1.0'

CERTIFICATIONS:

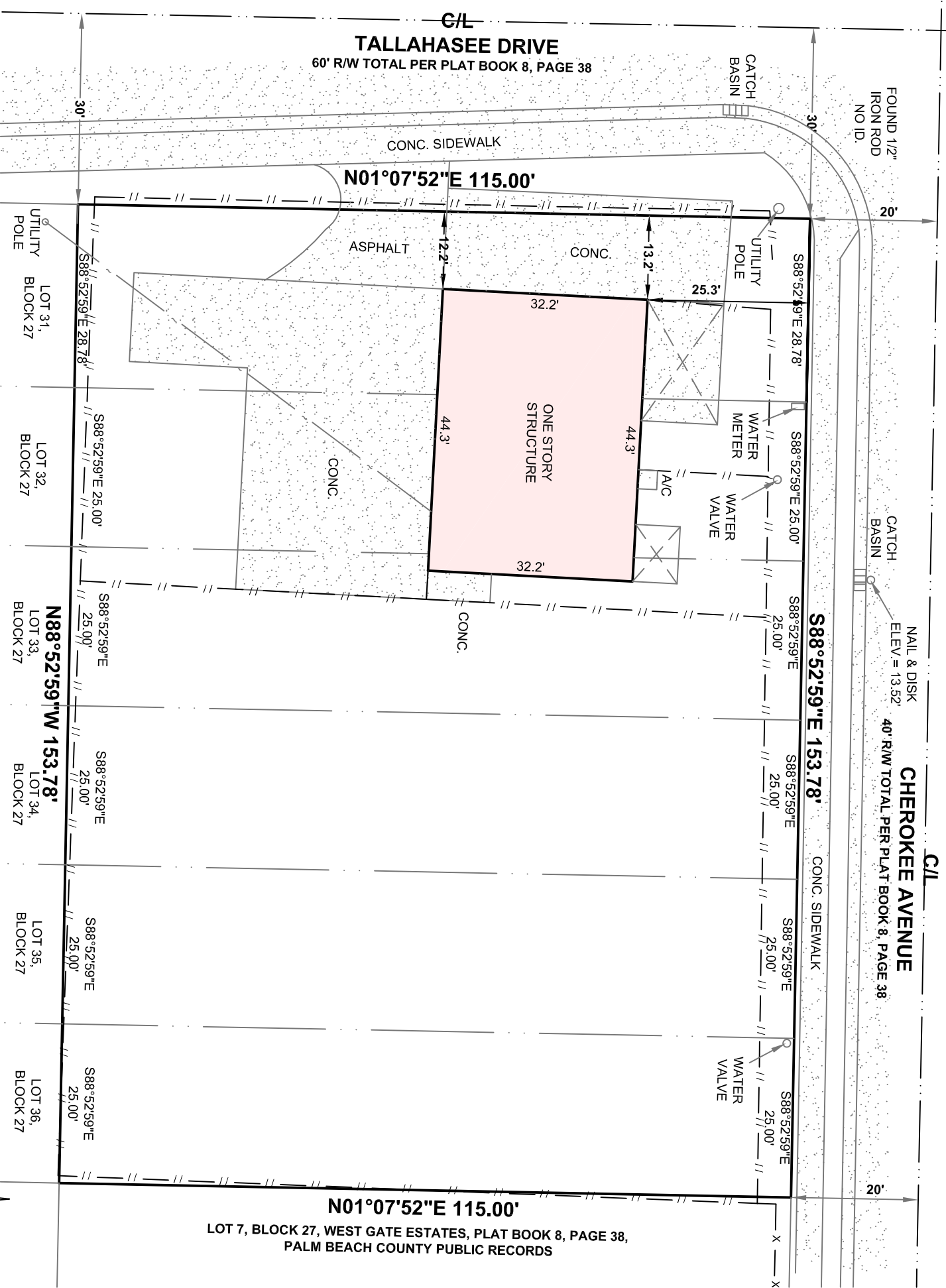
-VIOLETA FLEITES

FLOOD DATA:
 FLOOD ZONE: X
 COMMUNITY NUMBER: 120192
 COMMUNITY NAME: UNICORPORATED
 PANEL NUMBER: 1209C0587F

GENERAL NOTES:
 - BEARING BASIS PER G.P.S COORDINATE SYSTEM NAD 83, 1990 ADJUSTMENT
 - THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE.
 - UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
 - ELEVATION ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 1988) UNLESS OTHERWISE NOTED.
 - IN SOME CASES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED FOR CLEARER ILLUSTRATION. MEASURED RELATIONSHIP SHALL HAVE PRECEDENCE OVER SCALE POSITIONS.
 - ALL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
 - WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.10 (FT)
 - "ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES." (CHAPTER 61G17-6.003 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES)

****"SJ-17.052 STANDARDS OF PRACTICE: SPECIFIC SURVEY, MAP, AND REPORT REQUIREMENTS.**
 (b) BOUNDARY MONUMENTS:
f. WHEN A CORNER FALLS IN A HARD SURFACE SUCH AS ASPHALT OR CONCRETE, ALTERNATE MONUMENTATION MAY BE USED THAT IS DURABLE AND IDENTIFIABLE." (EXAMPLES: FENCE POST, BLDG. CORNERS, ETC.)

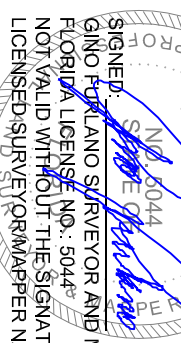
PROPERTY ADDRESS:
 1302 TALLAHASSEE DRIVE, WEST PALM BEACH, FLORIDA 33409



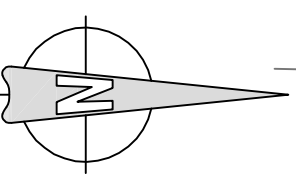
LEGAL DESCRIPTION:

LOTS 1, 2, 3, 4, 5, AND 6, BLOCK 27 OF WEST GATE ESTATES (NORTHERN SECTION), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA IN PLAT BOOK 8 PAGE 38, 1302 TALLAHASSEE DRIVE, WEST PALM BEACH FLORIDA 33409.

I HEREBY CERTIFY THAT THIS MAP OF BOUNDARY SURVEY WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. FURTHERMORE THIS SURVEY SKETCH MEETS THE INTENT OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE SJ-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.



GT SURVEYOR SERVICES INC.
 1660 SOUTHERN BLVD. UNIT K
 WEST PALM BEACH
 FLORIDA 33406-1747
 OFFICE: 561-753-0383
 FAX: 561-753-0342
 E-MAIL: gtsurveying@gmail.com



SCALE: 1"=20'

Tallahassee Drive Multifamily

1302 Tallahassee Drive – Palm Beach County, FL

Traffic Impact Statement



Prepared For:
CH&E Investment Services

February 2024



Tallahassee Drive Multifamily

1302 Tallahassee Drive
Palm Beach County, Florida

PCN: 00-43-43-30-03-027-0010

Traffic Impact Statement

February 2024

Prepared for:

CH & E Investment Services LLC

Prepared by:

Masoud Atefi & Associates Inc.
Florida Board of PE License # 34237
1263 SE Illusion Isle Way
Stuart, Florida 34997
Phone: (561) 329-9490

This item has been electronically signed and sealed by Ali Atefi, P.E. on the time and date stamp using the digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Ali Atefi, P.E.
Florida Registration Number 43854
15912 Stable Run Dr.
Spring Hill, Florida 34610

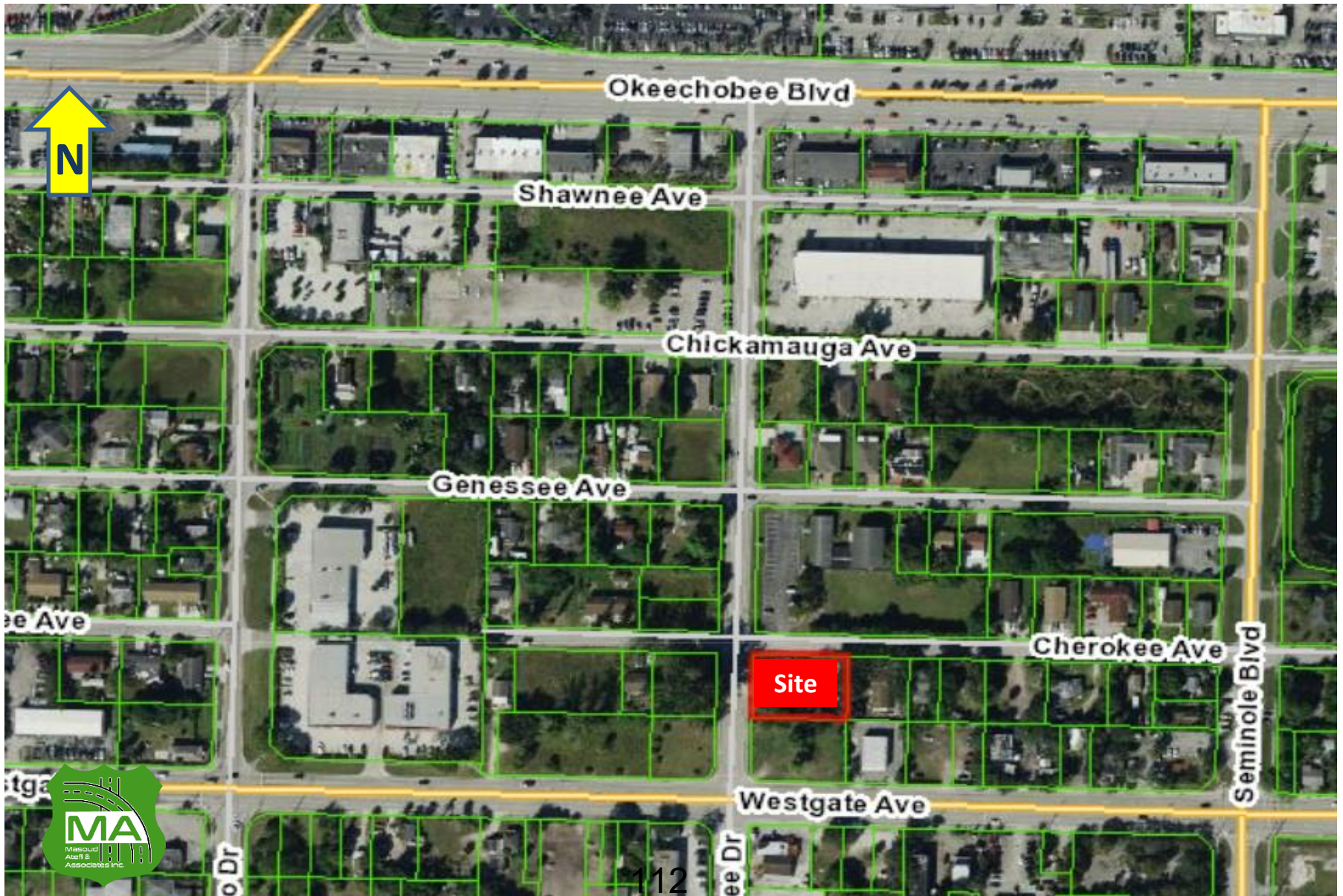
INTRODUCTION

Masoud Atefi & Associates Inc., have been retained to prepare a Traffic Impact Statement for the proposed re-development residential project entitled Tallahassee Drive Multifamily in accordance with *Article 12, Traffic Performance Standards (TPS) of the Palm Beach County (PBC) Unified Land Development Code, Supplement No. 11 (October 2011)*. The development site is located along the east side of Tallahassee Drive, at the intersection of Cherokee Avenue, about 950 feet south of Okeechobee Boulevard. See Figure-1 (next page) for an aerial illustrating general location of the site.

The development plan includes demolition of an existing single family residential unit on the site and replacing it with 7 MF Residential units (Townhomes).

The site parcel control number (PCN) is: 00-43-43-30-03-027-0010. See the report Appendix for the County PAPA report for the site, and the proposed site plan. The estimated build-out for the project is anticipated to be end of year 2026. This traffic impact statement has been prepared for the purpose of acquiring a County TPS concurrency approval for the proposed residential project.

Figure 1 – Site Location



TRAFFIC GENERATION

The trip generation analysis for this project was conducted using the trip generation information published by the Institute of Transportation Engineers' (ITE) in *Trip Generation Manual (11th Edition)* and the information documented by the Palm Beach County Engineering Traffic Division (*Trip Generation Rates – Updated July 5, 2022*). See the report Appendix for the latest County Trip Generation rates. Based on the trip generation rates and the applicable pass-by rates, new Weekday, AM peak hour, and PM peak hour trips to be generated by the proposed project were estimated and tabulated as shown in Table-1 (next page).

Results of the traffic generation analysis indicate the proposed residential development is expected to generate 38 new daily trip, 2 new AM peak hour trip and 3 new PM peak hour trips.

Based on the results of the Trip Generation analysis, the project is considered insignificant traffic generator, therefore no further traffic impact analysis or TPS related tests would be required, and the project meets Palm Beach County TPS requirements.

STE DRIVEWAY ANALYSIS

Access to the site is proposed through one existing full access driveway on Tallahassee Drive. Figure-2 (next pages) illustrates the anticipated project traffic distribution pattern in close vicinity of the site. Trip distribution pattern and traffic assignment for the proposed project was developed based on knowledge of the study area, examination of the surrounding roadway network characteristics, and review of current traffic volumes and patterns. Also, Figure-3 (next pages) shows the anticipated project driveway daily and peak hour volumes which were forecasted using project driveway volume projections provided in Table-1 and the project trip distribution pattern illustrated on Figure-2.

Based on the insignificant project daily and peak hour traffic projections, no improvements are required at the existing access driveway.

**Table 1 - Trip Generation Summary
1302 Tallahassee Drive**

Land Uses	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
Existing SF Residential	1 Unit	10	0	1	1	1	0	1
Proposed MF Residential	7 Units	48	1	2	3	3	1	4
Net New Trips		38	1	1	2	2	1	3
<i>Driveway Volumes</i>		<i>48</i>	<i>1</i>	<i>2</i>	<i>3</i>	<i>3</i>	<i>1</i>	<i>4</i>

Compiled by: Masoud Atefi & Associates Inc. (February 2024)

Source: Palm Beach County Trip Generation Rates (Updated July 5, 2022).

Trip Generation Rates

Single Family Residential

Daily: Ln(T) = 10 per Unit

AM: 0.7 per Unit

In: 26%, Out: 74%

PM: 0.94 per Unit

In: 63%, Out: 37%

Pass-by = 0%

Multi Family Residential

Daily: 6.74 per Unit

AM: 0.4 per Unit

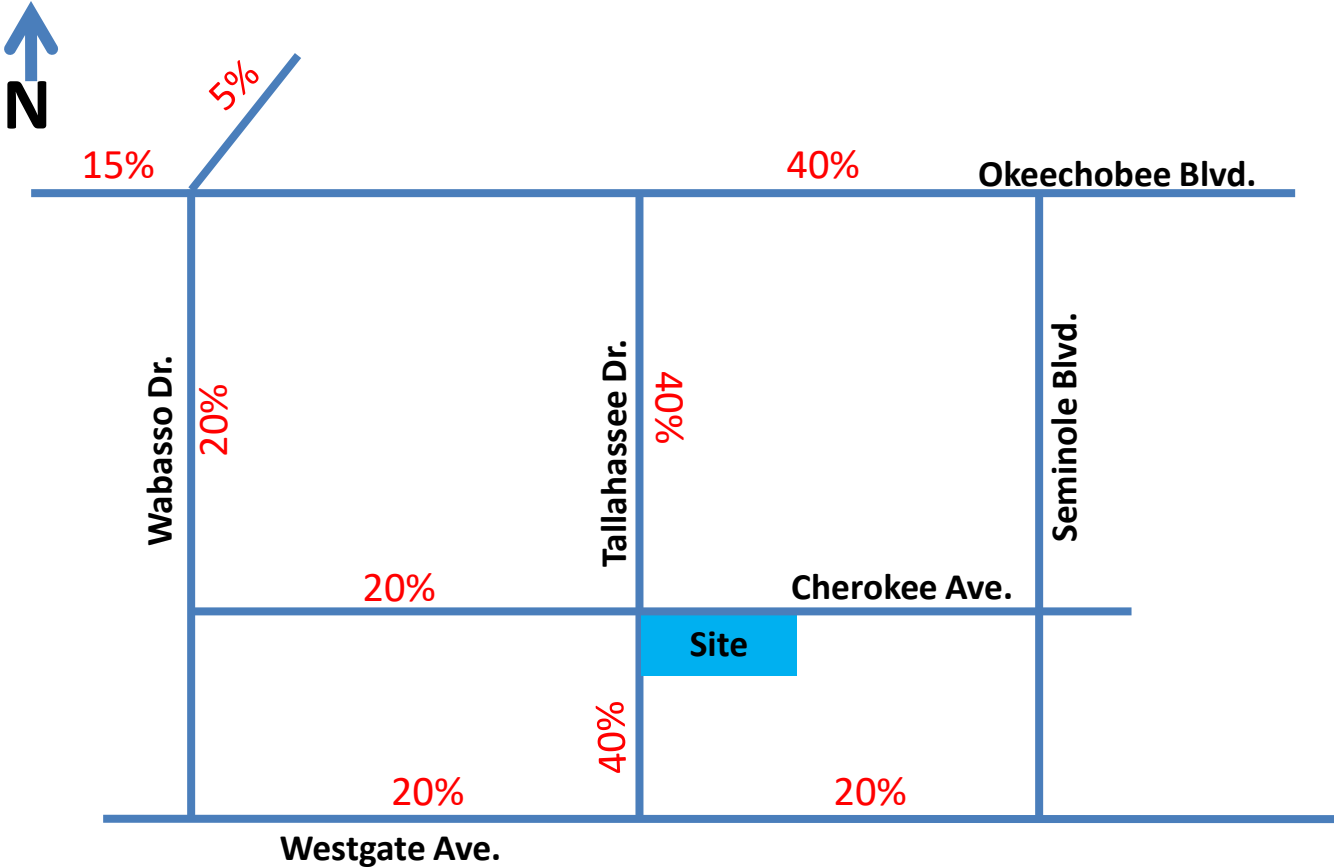
In: 24%, Out: 76%

PM: 0.51 per Unit

In: 63%, Out: 37%

Pass-by = 0%

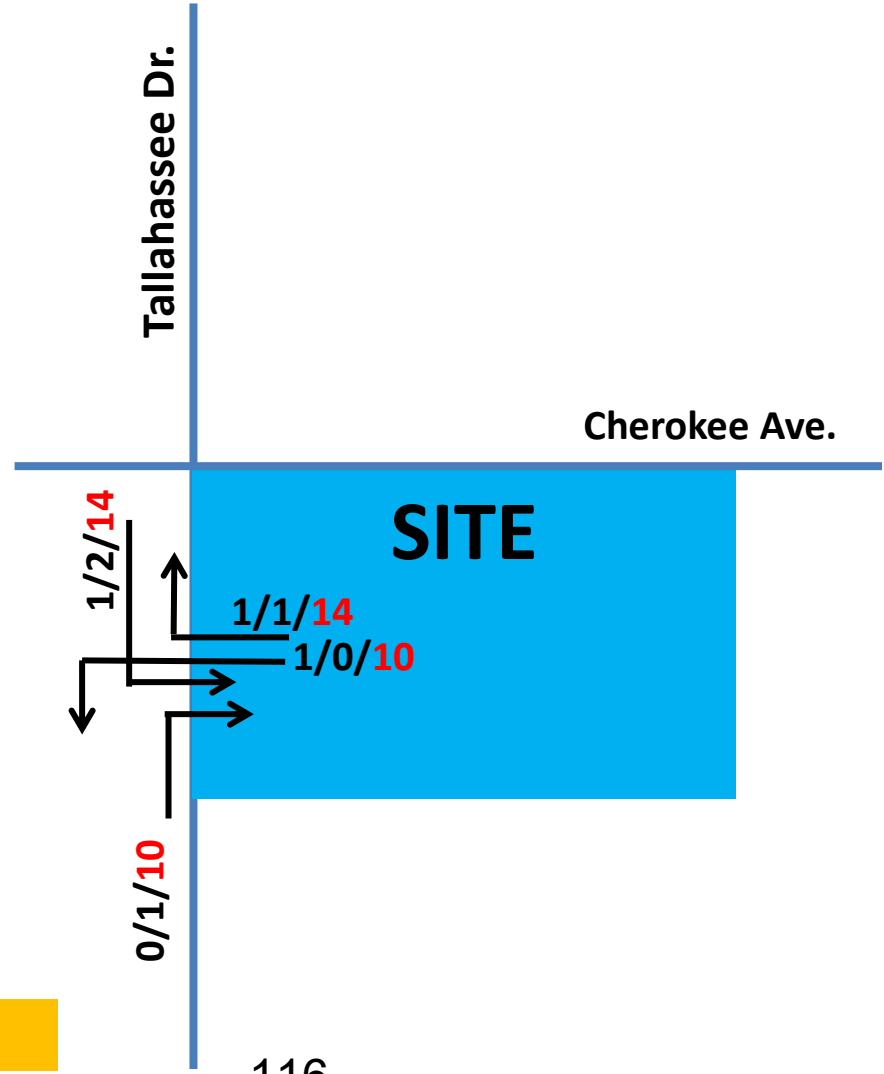
Figure 2 – Project Traffic Distribution Pattern



1302 Tallahassee Dr.



**Figure 3 – Project Driveway Volumes
(AM/PM/Daily)**



1302 Tallahassee Dr.



Project Summary

Tallahassee Drive Multifamily

Municipality: Palm Beach County
Location: East side of Tallahassee Drive, about 950 feet south of Okeechobee Boulevard.
PCN #: 00-43-43-30-03-027-0010
Existing Uses: 1 SF Residential Unit.
Proposed Uses: 7 MF Residential Units (Townhomes).
New Daily Trips: 38
New PH Trips: 2 AM and 3 PM
Build-out: End of Year 2026

Prepared By:

Masoud Atefi & Associates Inc.
Florida Board of PE License # 34237
1263 SE Illusion Isle Way
Stuart, FL 34997
(561) 329-9490
matefi@comcast.net
www.masoudatefi.com



Appendix

Location Address 1302 TALLAHASSEE DR
Municipality UNINCORPORATED
Parcel Control Number 00-43-43-30-03-027-0010
Subdivision WEST GATE ESTS NORTHERN SEC
Official Records Book 13496 **Page**1736
Sale Date MAR-2002
Legal Description WEST GATE ESTS (NORTHERN SEC) LTS 1 TO 6 INC BLK 27

Owners
 FLEITES VIOLETA

Mailing address
 4025 WINDHAM RD
 WEST PALM BCH FL 33406 3251

Sales Date	Price	OR Book/Page	Sale Type	Owner
MAR-2002	\$80,000	13496 / 01736	WARRANTY DEED	FLEITES VIOLETA
JUL-1999	\$65,000	11227 / 00471	WARRANTY DEED	
FEB-1989	\$44,500	05983 / 00886	WARRANTY DEED	
JAN-1979	\$34,500	03171 / 00211		

No Exemption Information Available.

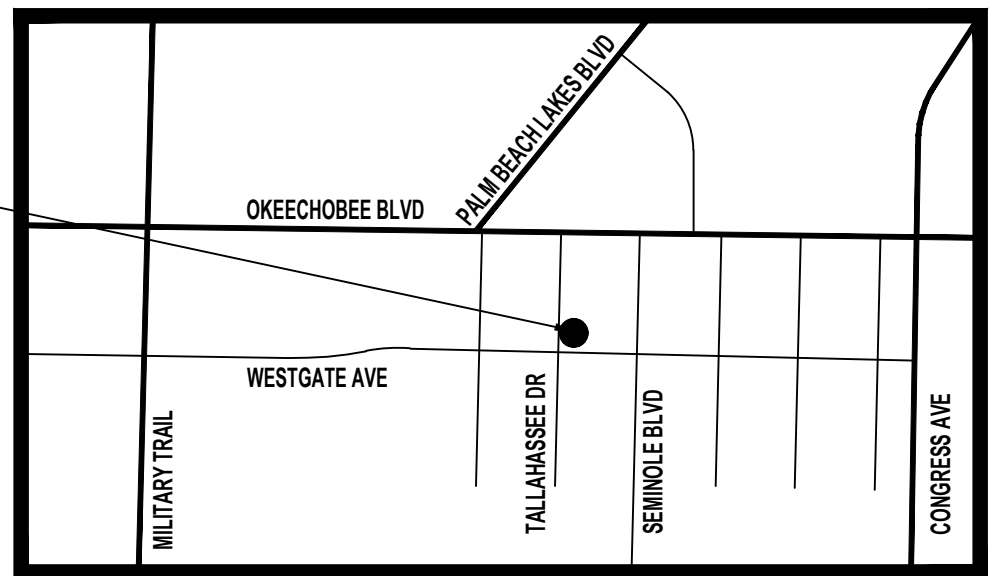
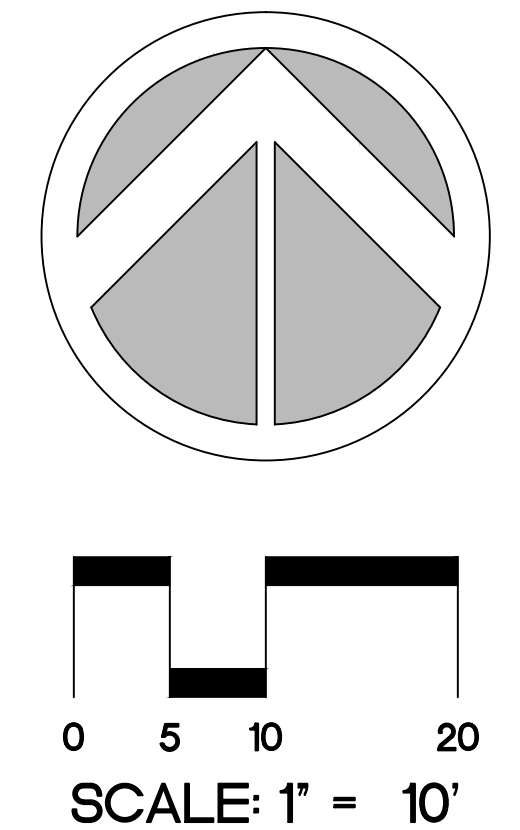
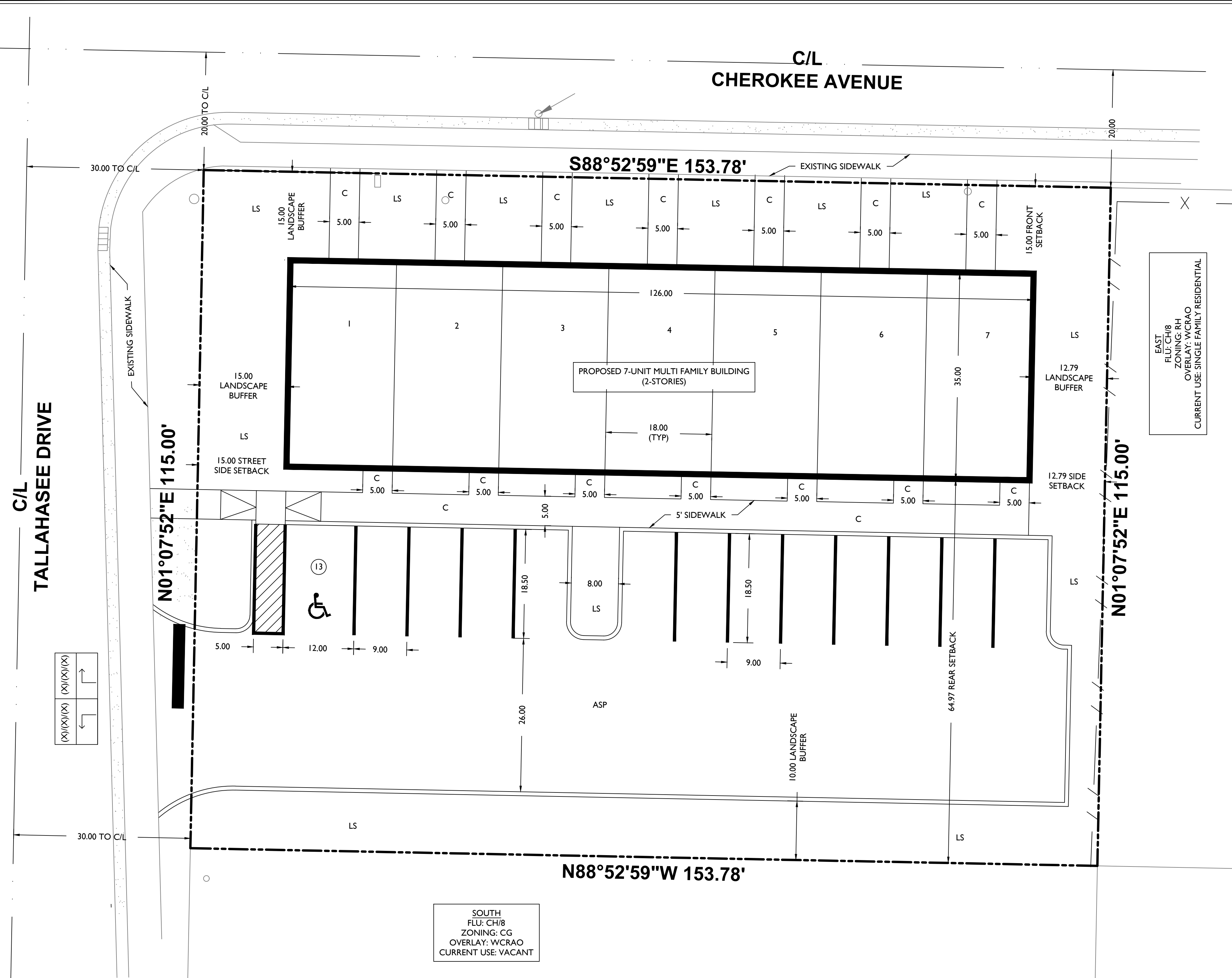
Number of Units 2 ***Total Square Feet** 1408 **Acres** 0.4062
Use Code 0801 - MULTIFAMILY < 10 UNITS-COMM ZONING **Zoning** CG - GENERAL COMMERCIAL (00-UNINCORPORATED)

Tax Year	2023	2022	2021
Improvement Value	\$77,377	\$62,341	\$56,289
Land Value	\$159,237	\$88,217	\$75,638
Total Market Value	\$236,614	\$150,558	\$131,927

All values are as of January 1st each year

Tax Year	2023	2022	2021
Assessed Value	\$152,546	\$138,678	\$126,071
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$152,546	\$138,678	\$126,071

Tax Year	2023	2022	2021
Ad Valorem	\$3,048	\$2,413	\$2,230
Non Ad Valorem	\$818	\$814	\$746
Total tax	\$3,866	\$3,227	\$2,976



LEGEND

LS - LANDSCAPE AREA
ASP - ASPHALT
C - CONCRETE

(AM) / (PM) / (DAILY)

TURNING MOVEMENTS

Tallahassee Drive Multi Family Site Data Table

Application Name	Westgate CRA/Mercedes
Control Number	1994-0094/2005-0077
Application Number	TBD
Last ZC/BCC Approval Date	4/25/2013
Tier	Urban/Suburban
Existing Land Use Designation	CH/8
Proposed Land Use Designation	CH/8
Existing Zoning District	CG
Proposed Zoning District	CG
Overlay(s)	WCRAO-NC
Property Control Number(s)	00-43-43-30-03-027-0010
Existing Uses	Multifamily
Proposed Uses as contained in Art. 4	Multifamily
Required Gross Site Area	N/A
Proposed Gross Site Area	0.41 ac.
Required Net Site Area	N/A
Proposed Net Site Area	0.41 ac.
Existing Density (Housing types and number of units)	2
Approved Density (Housing types and number of units)	N/A
Proposed Density (Housing types and number of units)	7 units
Existing Density Bonus Program (E.G. TDR, WHP, AMP)	N/A
Approved Density Bonus Program (E.G. TDR, WHP, AMP)	N/A
Proposed Density Bonus Program (E.G. TDR, WHP, AMP)	3
Required Parking	13 PS
Multifamily >1 BD (1/1.50)	11 PS
Guest (1 per 4 Units)	2 PS
Proposed Parking	13 PS
Multifamily >1 BD (1/1.75)	11 PS
Guest (1/4 Units)	2 PS
Required Accessible Parking	1 PS
Proposed Accessible Parking	1 PS
Required/Existing/Proposed Loading	N/A
Required Building Height and Number of Stories (in feet)	6 Stories/72'
Existing Building Height and Number of Stories (in feet)	1 Story/15'
Proposed Building Height and Number of Stories (in feet)	2 Stories/23'
Required Recreation	2,500 SF (50' x 50')
Proposed Recreation	N/A
Required Civic	N/A
Proposed Civic	N/A
Traffic Analysis Zone (TAZ)	909

Development Regulations

Zoning District or Pod	Lot Dimensions		Min. Building Coverage	Build-to-Line/Setbacks			Height/Stories		Building		
	Min. Frontage/Lot Width	Lot Depth		Front/Build-to-Line (north)	Min. Side (east)	Min. Side Street (west)	Min. Rear (south)	Max. Stories		Max. Building Height	
Required	CG*	100'	100'	40%	10-25'	10'	10'	25'	2 Stories Min.	72'	80%
Proposed	CG*	153.78'	115'	25.00%	15'	12.79'	15'	64.97'	2 Stories	23'	82%

Concurrency Reservation

Multifamily	7 units
-------------	---------

- GENERAL NOTES**
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES WERE PROVIDED BY OTHERS AND ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE CONTRACT DOCUMENTS. JESSAMINE DESIGN BUILD, LLC SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREIN OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
 - THE CONTRACTOR SHALL FIELD LOCATE, VERIFY AND FURTHER IDENTIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ABOVE AND BELOW GRADE AFFECTING ANY COMPONENT OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION. DISCREPANCIES, CONFLICTS OR POTENTIAL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
 - DO NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION DISCOVERED IN THE CONTRACT DOCUMENTS. IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY SUCH DISCOVERY. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO REFLECT THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
 - ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.
 - ALL WORK SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS, AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT.
 - THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DO NOT MEET THE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 - ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES INSTALLED AS PART OF THIS PROJECT SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE. SEE THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
 - THE CONTRACTOR SHALL REFER TO THE LANDSCAPE NOTES, SPECIFICATIONS, AND THE CONTRACT DOCUMENTS PREPARED BY OTHERS FOR ADDITIONAL REQUIREMENTS.

- LAYOUT NOTES**
- ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
 - ALL CURB RADII AND SIDEWALK RETURNS ARE 3' UNLESS NOTED OTHERWISE.
 - ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT AND CIVIL ENGINEERING CONTRACT DOCUMENTS.
 - BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
 - SEE CIVIL ENGINEERING PLANS FOR PROPOSED PAVING, GRADING, DRAINAGE, AND UTILITY IMPROVEMENT.

AMENDMENT STAMP

ZONING STAMP

Sheet Title
PRELIMINARY SITE PLAN

Revision Dates

Date
11/16/2023

Sheet Number
PSP 1

Seal

C:\USERS\STEC\APP\PROPOSAL\STEC_FCC\ZONING_DOCUMENTS\JESSAMINE_DBI\PROJECTS\URBAN\1302 TALLAHASSEE DRIVE\CAD\PSD 1 PRELIMINARY SITE PLAN.DWG 11/16/23 by STCC

Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

Gr	Landuse	ITE Code	Unit	Daily Rate/Equation	Pass-By %	AM Peak Hour		PM Peak Hour	
						In/Out	Rate/Equation	In/Out	Rate/Equation
Industrial	General Light Industrial	110	1000 S.F.	4.87	10%	88/12	0.74	14/86	0.65
	Manufacturing	140	1000 S.F.	4.75	10%	76/24	0.68	31/69	0.74
	Warehouse	150	1000 S.F.	1.71	10%	77/23	0.17	28/72	0.18
	Mini-Warehouse/SS	151	1000 S.F.	1.45	10%	59/41	0.09	47/53	0.15
	HCF Center Warehouse - Non Sort	155	1000 S.F.	1.81	10%	81/19	0.15	39/61	0.16
Residential	Single Family Detached	210	Dwelling Unit	10	0%	26/74	0.7	63/37	0.94
	Multifamily Low-Rise Housing upto 3 story (Apartment/Condo/TH)	220	Dwelling Unit	6.74	0%	24/76	0.4	63/37	0.51
	Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	Dwelling Unit	4.54	0%	23/77	0.37	61/39	0.39
	55+ SF Detached	251	Dwelling Unit	4.31	0%	33/67	0.24	61/39	0.30
	55+ SF Attached	252	Dwelling Unit	3.24	0%	34/66	0.2	56/44	0.25
	Congregate Care Facility	253	Dwelling Unit	2.21	0%	58/42	0.08	49/51	0.18
	Assisted Living Facility	254	Beds	2.6	0%	60/40	0.18	39/61	0.24
Ldg	Hotel	310	Rooms	7.99	10%	56/44	0.46	51/49	0.59
Rec	Golf Course	430	Holes	30.38	5%	79/21	1.76	53/47	2.91
	Health/Fitness Club	492	1000 S.F.	32.93	5%	51/49	1.31	57/43	3.45
Institutional	Elementary School	520	Students	2.27	0%	54/46	0.74	46/54	0.16
	Middle/Junior School	522	Students	2.1	0%	54/46	0.67	48/52	0.15
	High School	525	Students	1.94	0%	68/32	0.52	48/52	0.14
	Private School (K-8)	530	Students	3.17 ^a	0%	56/44	1.01	46/54	0.26
	Private School (K-12)	532	Students	2.48	0%	63/37	0.79	43/57	0.17
	Church/Synagogue ^p	560	1000 S.F.	7.6	5%	62/38	0.32	44/56	0.49
	Day Care	565	Students	4.09	50%	53/47	0.78	47/53	0.79
	Library	590	1000 S.F.	72.05	10%	71/29	1	48/52	8.16
Med	Hospital	610	1000 S.F.	10.77	10%	67/33	0.82	35/65	0.86
	Nursing Home	620	Beds	3.06	10%	72/28	0.14	33/67	0.14
Office	General Office (10k-250k SF GFA) ^h	710	1000 S.F.	10.84	10%	88/12	1.52	17/83	1.44
	General Office (>250k SF GFA) ^h	710	1000 S.F.	$\text{Ln}(T) = 0.87 \text{Ln}(X) + 3.05$	10%	88/12	$\text{Ln}(T) = 0.86 \text{Ln}(X) + 1.16$	17/83	1.44
	Small Office Building (<=10k SF GFA)	712	1000 S.F.	14.39	10%	82/18	1.67	34/66	2.16
	Medical Office (Stand-Alone)	720	1000 S.F.	$T=42.97(X)-108.01$	10%	79/21	3.10	30/70	3.93
	Medical Office (Near Hospital)	720	1000 S.F.	31.86	10%	81/19	2.68	25/75	2.84
	Government Office	730	1000 S.F.	22.59	10%	75/25	3.34	25/75	1.71

Palm Beach County Trip Generation Rates

(Must be used with traffic studies submitted to the County on or after 9/1/2022. However, immediate use is highly recommended)

Gr	Landuse	ITE Code	Unit	Daily Rate/Equation	Pass-By %	AM Peak Hour		PM Peak Hour	
						In/Out	Rate/Equation	In/Out	Rate/Equation
Retail	Nursery (Garden Center)	817	Acre	108.1	0%	50/50	2.82	50/50	8.06
	Nursery (Wholesale)	818	Acre	19.50	0%	50/50	0.23	50/50	0.36
	Landscape Services	PBC	Acre ^c	121.70	0%	40/60	34.4	58/42	15.1
	Shop Center (>150ksf)	820	1000 S.F.	37.01	24%	62/38	0.84	48/52	3.4
	Shop Plaza (40-150ksf) w/Sup Market	821	1000 S.F.	94.49	39%	62/38	3.53	48/52	9.03
	Shop Plaza (40-150ksf) w/out Sup Market	821	1000 S.F.	67.52	39%	62/38	1.73	49/51	5.19
	Strip Retail Plaza (<40ksf)	822	1000 S.F.	54.45	63%	60/40	2.36	50/50	6.59
	Automobile Sales (New)	840	1000 S.F.	27.84	15%	73/27	1.86	40/60	2.42
	Automobile Parts Sales	843	1000 S.F.	54.57	28%	55/45	2.51	48/52	4.9
	Tire Store	848	1000 S.F.	27.69	28%	64/36	2.61	43/57	3.75
Services	Supermarket	850	1000 S.F.	93.84	36%	59/41	2.86	50/50	8.95
	Pharmacy + DT	881	1000 S.F.	108.40	50%	52/48	3.74	50/50	10.25
	Drive-In Bank	912	1000 S.F.	100.35	47%	58/42	9.95	50/50	21.01
	Fine Dining Restaurant	931	1000 S.F.	83.84	44%	50/50	0.73	67/33	7.8
	High Turnover Sit-Down Rest.	932	1000 S.F.	107.2	43%	55/45	9.57	61/39	9.05
	Fast Food Restaurant w/o DT	933	1000 S.F.	450.49	45%	58/42	43.18	50/50	33.21
	Fast Food Restaurant + DT	934	1000 S.F.	467.48	49%	51/49	44.61	52/48	33.03
	Coffee/Donut Shop w/o DT	936	1000 S.F.	441.88 ^d	45%	51/49	93.08	50/50	32.29
	Coffee/Donut Shop + DT	937	1000 S.F.	533.57	49%	51/49	85.88	50/50	38.99
	Coffee/Donut Shop + DT w/No Seat	938	DT Lanes	179	49%	50/50	39.81	50/50	15.08
Gas Station w/Convenience Store ^e	FDOT	FP, 1000 S.F.	14.3*PM Trips	61%	50/50	Note f	50/50	12.3*FP+15.5*(X)	
Carwash (Automated) ^g	PBC	Lane	166.00	0%	50/50	11.97	50/50	13.65	

Footnotes	a) Based on Daily to AM peak ratio for LUC 532 (Private School (K-12))	Modification History 3/2/2020: Added Landscape Services, modification history, edited formatting 7/25/2022: Updated with ITE TG Manual 11th ed information
	b) Weekend peak hour rate = 10.36 per 1,000 s.f. with a 48/52 directional split	
	c) Landscape Services acreage consists of overnight vehicle and equipment storage as well as areas (covered or uncovered) for chemicals, fertilizers, landscape materials (excluding plants) and other items needed for day-to-day operations. Not included are drive aisles, customer/employee parking, structures shared by nursery and landscape services, facilities that solely serve the onsite landscape activities or any nursery growing areas.	
	d) Based on Daily to PM ratio for ITE Code 937 (Coffee Donut Shop + DT)	
	e) FP=Fueling Position. Use both FP and Convenience Store size in estimating trips using the provided equation. Note that no internalization between the gas pumps and convenience store, as per ULDC Article 12, should be applied to estimate the net trips.	
	f) Use PM rates	
	g) Daily rate taken from PBC trip gen. study. Peak hour rates derived by applying peak to daily ratios for gas station to daily carwash rate from older ITE TGM. New PBC rate study underway.	
	h) Based on PBC analysis of ITE TGM data plots	

**PROPOSED MULTIFAMILY UNIT
1302 TALLAHASSEE DRIVE
PALM BEACH COUNTY, FLORIDA**

**March 2024
Rev. June 2024**

A. SITE DESCRIPTION

The proposed site is a lot consisting of an existing 2 unit buildings and a parking area in unincorporated Palm Beach County, Florida. The proposed development is located on 0.4062 total acres and will consist of one two story building totaling 7 units and a parking area with driveway. The site is bordered to the west by Tallahassee Drive, and to the north by Cherokee Ave.. Water and Sewer to be provided by Palm Beach Beach County Water Utilities Department. Water and Sewer connections will be from Cherokee Ave. The site is located within in the C-51 drainage basin.

B. SURFACE WATER MANAGEMENT INFORMATION

The surface water management system designed for the subject parcel of land is to be designed and constructed to satisfy drainage requirements of South Florida Water Management District (SFWMD) C-51 Baasin, Palm Beach County and other regulatory agencies. The system will collect on-site run-off and via area drains, catch basins and trench drains which will be routed to an ex-filtration trench and dry detention area for treatment and storage before discharging to Palm Beach County storm management system located in Cherokee Ave. R/W which will eventually lead to the SFWMD C-51 Drainage Basin.

Essential elements of the improvements required for implementation of the water managementsystem for this project are as follows:

1. Storm inlets, piping, exfiltration trenches, etc. will collect and transmit storm runoff with allowable overflow discharge to the existing inlets in Cherokee Ave.
2. The project site will be limited to a peak discharge rate utilizing allowable runoff criteria as established by Palm Beach County and SFWMD.
3. Any off-site lands that contribute runoff to the project site will be recognized during

stormevent analysis as off-site discharges which must be handled by the project's water management system. Based on data reviewed to date, there are **no** off-site lands affectingthis project's drainage plan.

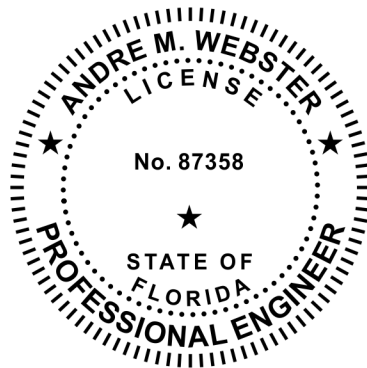
4. "Best management practice" and any other "state of the art" techniques which are needed will be incorporated into the development of construction plans for the project for water quality enhancement. In addition, applicable SFWMD criteria for retention/detention will be utilized for runoff storage prior to major discharges from the project site. Exfiltration trenches may be sized for retention/percolation as well for water quality enhancement. The site has sandy soils and substantial "depth to water table" which are factors well suited for percolation which should not affect the groundwater.
5. The land owner will be the entity responsible for operation and maintenance of the on-site surface water management system serving the project development.
6. Flood Protection:
 - a) Adequate protection from the 100-year storm event will be provided by establishing a minimum finished floor elevation above the estimated 100-year flood stage.
 - b) All elements in the water management plan, including, culverts and storm drainage piping systems will be sized during detail design of the facilities, using standard engineering practice for hydraulic design, based on the storm discharges for major elements of the system.
7. Site Drainage
 - Parking Lot elevations set at or above the 5 year – 1 day flood stage
 - No offsite discharge up to the 25 year – 3 day flood stage except through an approved control structure
 - Legal Positive Outfall (Legal Positive Outfall) to Cherokee Ave. via control structure and outfall pipe if allowed by SFWMD permit number 50-05060-P. If not we will apply for a SFWMD permit which will include all water quality and quantity requirements before any discharge is to leave the site.
 - Building Finished Floor Elevations set at or above the 100 year – 3 day (zero discharge) flood stage
 - Water Quality Treatment volume in accordance with SFWMD and PBC criteria
 - Allowable discharge per the SFWMD criteria
 - Water quality treatment and flood attenuation within proposed underground retention system and new dry swale

- Drainage Permits will be obtained from SFWMD and Palm Beach County prior to construction.

Sincerely,

Andre Webster

Andre M. Webster, P.E.
Florida License #87358



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ANDRE M. WEBSTER, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ATTACHMENT 3

REDEVELOPMENT TRUST FUND

	APPROVED BUDGET FY2024	PROPOSED BUDGET FY2025	INCREASE/ (DECREASE)
REVENUE:			
Balance Brought Forward	300,000	600,000	300,000
Ad Valorem Taxes (TIF)	3,994,556	4,505,484	510,928
Rental Income	14,400	14,400	0
Interest	18,000	17,000	-1,000
TOTAL REVENUE	4,326,956	5,136,884	809,928
EXPENSES:			
Employee Expenditures:			
Salaries & Wages	476,406	554,046	77,640
Retirement	56,740	65,414	8,674
Insurance - Health/Dental	84,513	95,964	11,451
Payroll Taxes	36,445	49,089	12,644
Total Payroll Expenditures	654,104	764,513	110,409
Professional Expenditures			
Eng. & Const. Coordination	424,631	255,000	-169,631
Technical Assistance	100,000	100,000	0
Audit Fees	25,000	25,000	0
Legal Fees	50,000	60,000	10,000
Total Professional Expenditu	599,631	440,000	-159,631
Other Expenditures			
Government Fees & Service	300	300	0
Insurance/Property/Liability	27,000	30,000	3,000
Landscape & Prop. Maintena	140,000	150,000	10,000
Property Management	30,000	50,000	20,000
Streetlights/Utilities	100,000	110,000	10,000
Office Rent/Utilities	80,000	90,000	10,000
Advertising	10,000	10,000	0
Community Garden	130,000	130,000	0
Community Activities	100,000	100,000	0
Information Dissemination	60,000	60,000	0
Public Art	0	0	0
Bank Fees & Charges	2,441	2,600	159
Neighborhood Preserv. Gran	80,000	100,000	20,000
COVID-19 SBA Program	0	0	0
Tenant Buildout Asst.	0	0	0
Rent Asst. program	0	0	0
Site Develop. Asst. Program	150,000	150,000	0
Commun /Mailouts	6,500	6,500	0
Dues & Subscriptions	2,500	2,500	0
Housing & Economic Devel.	350,000	900,000	550,000
Staff & Board Development	20,000	30,000	10,000
Office Equipment/Supplies	20,000	25,000	5,000
Miscellaneous	34,480	50,471	15,991
Transfer to Debt Service Fur	900,000	915,000	15,000
Transfer to Capital Improv.	830,000	1,020,000	190,000
Total Other Expenditures	3,073,221	3,932,371	859,150
Total Expenditures	4,326,956	5,136,884	809,928

CAPITAL IMPROVEMENT FUND

	APPROVED FY2024	PROPOSED FY2025	INCREASE/ DECREASE
REVENUES:			
Loan Proceed/Property Acqu	\$ -	\$ 900,000.00	\$ 900,000.00
Balance Brought Forward	\$ -	\$ 1,000,000.00	\$ 1,000,000.00
Solid Waste Authority	\$ -	\$ -	\$ -
Transferred from Trust Fund	\$ 830,000.00	\$ 1,020,000.00	\$ 190,000.00
USDA Grant	\$ -	\$ -	\$ -
TPA Grant Proceed	\$ 1,000,000.00	\$ 1,000,000.00	\$ -
Other Grants	\$ -	\$ -	\$ -
Total Revenue	\$ 1,830,000.00	\$ 3,920,000.00	\$ 2,090,000.00
EXPENDITURES:			
Construction Projects			
Property Acquisition	\$ -	\$ 900,000.00	\$ 900,000.00
BH Infrastructure Improveme	\$ -	\$ -	\$ -
Dog Park	\$ -	\$ -	\$ -
USDA Community Garden	\$ -	\$ -	\$ -
Cherry and Other Infrastruct	\$ 1,300,000.00	\$ 2,500,000.00	\$ 1,200,000.00
Seminole Blvd	\$ 330,000.00	\$ 300,000.00	\$ (30,000.00)
Westgate Avenue	\$ 200,000.00	\$ 220,000.00	\$ 20,000.00
Total Expenditures	\$ 1,830,000.00	\$ 3,920,000.00	\$ 2,090,000.00

Transportation Planning Agency Fund

	APPROVED FY2024	PROPOSED FY2025	INCREASE/ DECREASE	CONSTRUCTION
REVENUES:				
Balance Brought Forward	\$ 4,400,000.00	\$ 3,500,000.00	\$ (900,000.00)	
BelvedereHeights Phase 1	\$ -	\$ -	\$ -	
Belvedere Heights Phase 2	\$ -	\$ -	\$ -	
Westgate Ave Streetscape	\$ -	\$ -	\$ -	
Seminole Boulevard	\$ -	\$ -	\$ -	
Cherry Road	\$ -	\$ -	\$ -	
Total Revenue	\$ 4,400,000.00	\$ 3,500,000.00	\$ (900,000.00)	
EXPENDITURES:				
Construction Projects				
Belvedere Heights Phase 1	\$ -	\$ -	\$ -	Completed
Belvedere Heights Phase 2	\$ 60,000.00	\$ -	\$ (60,000.00)	Completed
Westgate Ave Streetsca[e	\$ 3,407,000.00	\$ 2,000,000.00	\$ (1,407,000.00)	2025
Seminole Boulevard	\$ 887,982.00	\$ 500,000.00	\$ (387,982.00)	2024
Cherry Road	\$ 1,000,000.00	\$ 1,000,000.00	\$ -	2025
Total Expenditures	\$ 5,354,982.00	\$ 3,500,000.00	\$ (1,854,982.00)	

DEBT SERVICE FUND

	APPROVED FY2024	PROPOSED FY2025	INCREASE/ DECREASE
REVENUES:			
Balance Brought Forward	-	-	-
Accumulated Interest	-	-	-
Transfer from Operating Fun	900,000.00	915,000.00	15,000.00
Transfer from Reserve Fund	-	-	-
Total Revenues	900,000.00	915,000.00	15,000.00
EXPENDITURES:			
Debt Service:			
Interest	440,000.00	440,000.00	-
Principal	460,000.00	475,000.00	15,000.00
Bank Fees	-	-	-
Paying Agent Fees	-	-	-
Reserve-Future Debt Service	-	-	-
Total Expenditures	900,000.00	915,000.00	15,000.00

RESERVE FUND

	APPROVED FY2024	PROPOSED FY2025	INCREASE DECREASE
REVENUES:			
Balance Brought Forward	\$271,000.00	\$360,000.00	\$89,000.00
Reserve Required	\$0.00	\$0.00	\$0.00
Interest	\$10,000.00	\$13,160.00	\$3,160.00
Total Revenues	\$281,000.00	\$373,160.00	\$92,160.00
EXPENDITURES:			
Bank Fees and charges	\$160.00	\$160.00	\$0.00
Reserve	\$271,000.00	\$360,000.00	\$89,000.00
Transfer to Reserve Fund	\$9,840.00	\$13,000.00	\$3,160.00
Total Expenditures	\$281,000.00	\$373,160.00	\$92,160.00

Re: FM#448303-1-58-01 Cherry Road Award Recommendation for FDOT Concurrence (2021025)



Elizee Michel

Mon 7/29, 8:39 PM

Holly Knight; Kristine Frazell-Smith; Sandra Ospina M.; Morton Rose; Kathleen Farrell; Felicia Johnson; Denise Pennell



Reply all |

Sent Items

Hi Holly:

We will bring it to our Board on August 12. We can send you a check after that.

Thank you.

Elizée Michel, FRA-RA, HDFP, AICP, Executive Director
Westgate CRA
1280 N Congress Ave. Suite 215
West Palm Beach FL. 33409
561-640-8181



From: Holly Knight

Sent: Monday, July 29, 2024 3:28:21 PM

To: Elizee Michel

Cc: Kristine Frazell-Smith; Sandra Ospina M.; Morton Rose; Kathleen Farrell; Felicia Johnson; Denise Pennell

Subject: RE: FM#448303-1-58-01 Cherry Road Award Recommendation for FDOT Concurrence (2021025)

Elizee,

Please advise on the anticipated date for the check to be received. We need it before we can get the item on the BCC agenda.

Thank You,



Holly B. Knight, P.E.
Contracts Manager

Palm Beach County
 Engineering and Public Works
 Roadway Production

hknight@pbc.gov *(new email address)*



From: Holly Knight

Sent: Monday, July 22, 2024 11:11 AM

To: Elizee Michel <EMichel@pbc.gov>

Cc: Kristine Frazell-Smith <Kfsmith@pbc.gov>; Sandra Ospina M. <SOspina@pbc.gov>; Morton Rose <MRose@pbc.gov>; Kathleen Farrell <KFarrell@pbc.gov>; Felicia Johnson <RFJohnson@pbc.gov>; Denise Pennell <DPennell@pbc.gov>

Subject: FW: FM#448303-1-58-01 Cherry Road Award Recommendation for FDOT Concurrence (2021025)

Elizee,

We opened bids for Cherry Road on 7/12. We are still waiting on concurrence from FDOT before we can post the award recommendation (you will be copied on this). However, since time is of the essence I am requesting the check now based on our anticipated award recommendation. I hope to be able to post the award recommendation in the next few days. We need to get to the 10/8 BCC to comply with grant requirements, so we need the check by 8/23.

\$1,208,819.04 Construction Contract
 \$ 120,881.90 PBC Staff Costs (10%)
 \$ 120,881.90 Contingency (10%)
\$1,450,582.84 Total Check Needed

Sincerely,
 Holly

**Westgate Belvedere Homes Community Redevelopment Agency (Westgate CRA)
Palm Beach County**

EMPLOYMENT OPPORTUNITY

Position: Senior Planner
Salary Range: \$75,000 - \$90,000 annually (DOQ)
Hours: Full Time – 8:00 am to 5:00 pm, Monday thru Friday
Location: 1280 N. Congress Avenue, Suite #215
West Palm Beach, Florida 33409

***Please submit resumes by e-mail to dpennell@pbc.gov**

The Westgate CRA is seeking to employ a professional, experienced, and motivated senior planner to perform planning and project management tasks that promote the redevelopment and revitalization of the CRA district. The position requires analytical thinking and problem-solving, team-oriented participation, and excellent interpersonal and written/verbal communication skills. Attendance at monthly evening CRA Board meetings and participation in occasional evening and weekend events or community meetings is required.

The Westgate CRA (www.westgatecra.org) is a dependent special district, created in 1989 by the Palm Beach County Board of County Commissioners pursuant to F.S. Chapter 163, Part III, mandated to promote and facilitate the revitalization and redevelopment of the Westgate area. The CRA's mission is to eliminate blight and increase the tax base through community engagement, advancing economic opportunity, housing availability, and improvements to infrastructure.

General Duties & Responsibilities:

- Review, make recommendations, and monitor implementation of private development projects
- Analyze programming, site configuration, building design, proforma and/or preliminary cost estimates and offer alternatives for use, site plan layout, and design that complements redevelopment
- Independently review land development applications for rezonings, conditional use approvals, variances, plats, site plans, architectural elevations, and related plans or documents for compliance
- Write staff reports, provide development review and recommendation to CRA Board and County staff for consistency with the CRA's Community Redevelopment Plan and WCRAO zoning overlay
- Participate in development review and pre-development meetings to provide information and guidance applicable to the CRA's goals, objectives, and initiatives
- Coordinate and collaborate with County staff and other agencies to advocate for private development projects and facilitate entitlements
- Attend public hearings and make presentations to various Boards or Commissions
- Assist in drafting and presenting ULDC and Comprehensive Plan amendments
- Research and prepare complex studies and reports to support redevelopment activities
- Assist in coordination of and participation in community outreach meetings

- Work with CRA continuing services consultants on special projects undertaken by the CRA
- Assist in CRA place making, promotions, and community-serving activities and projects
- Review private projects for compliance with the CRA's Site Development Assistance Grant Program
- Field work as necessary related to development projects
- Other duties as assigned by the Deputy Director or Executive Director

Knowledge, Skills & Abilities

- Knowledge of the development functions of municipal, state and county government
- Substantial knowledge of urban planning, zoning, physical development, and economic development principles and practices applied to community development
- Ability to monitor industry trends and legislation affecting planning, housing, transportation, economic development, growth management, land development, and Florida special districts
- Familiarity with best practices in redevelopment planning
- Ability to perform complex research functions, analyze, and formulate reports and studies
- Ability to review, understand, and render recommendations regarding ordinances, land development, zoning codes, special requests, and applications, or related information
- Knowledge of best practices in site planning review, landscape design, and site engineering
- Ability to manage multiple projects with varying schedules concurrently
- Knowledge of modern office practices, with emphasis on computer literacy, word processing, spreadsheet applications, and electronic file management
- A strong collaborative and customer service orientation in work and communication with coworkers, management, County staff, elected officials, developers, industry, and district businesses, residents, and the general public
- Valid Florida driver's license without restrictions that may affect the ability to perform job duties

Minimum Required Education & Experience:

- Bachelor's degree from an accredited university in Urban and Regional Planning, Architecture, Landscape Architecture, Environmental Studies, Public Administration, or related field, supplemented by a minimum 3 years of professional experience as a planner in a municipal planning role
- Knowledge of Palm Beach County Unified Land Development Code (ULDC)

Preferred

- Master's degree in field of study or related
- American Institute of Certified Planners certification (AICP)
- Other professional licenses or certifications: Florida Redevelopment Association Redevelopment Administrator (FRA-RA), American Institute of Architects (AIA), American Society of Landscape Architects (ASLA), IEDC Certified Economic Developer (CEcD)

The Westgate CRA is an equal opportunity employer.