

**WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY**

**Monday March 11, 2024 Board Meeting**

**1280 N. Congress Ave. Suite 215**

**West Palm Beach FL 33409**

**NOTE: Agenda Summary (Pages 3 - 7)  
Staff Report (Pages 8 - 13)**

- I. CALL TO ORDER / ROLL CALL**
- II. AGENDA APPROVAL**
  - 1. Additions, Deletions, Substitutions to Agenda**
  - 2. Adoption of Agenda**
- III. ADOPTION OF W/BH February 12, 2024 CRA MINUTES (Pages 14 - 17)**
- IV. PUBLIC COMMENTS**
- V. DISCLOSURES**
- Vi. CONSENT AGENDA**
- VII. REGULAR AGENDA**
  - 1. Adoption of FY 2023 External Audit Report (Pages 18-78)**
  - 2. Approval of Compensatory Storage for the Project Lightspeed (Pages 79-81)**
  - 3. Approval of Official Zoning Map Amendment (Rezoning), Class B Conditional Use for an Indoor Entertainment Use, DRO Approval for a Type 2 Restaurant Use, Concurrent Type 2 Variances, Subdivision Variance, Type 1 & 2 Waivers, Type 3 Kennel Use, WCRAO TCEA & Final DRO Site Plan Approval (Pages 82 - 405)**
- VIII. REPORTS**
  - A. Staff Reports**
    - Correspondence (Pages 406-419)**
    - Attorney's Report**

**B. Committee Reports and Board Comments**

1. **Administrative/Finance –**
2. **Capital Improvements – Chair, Mr. Daniels**
3. **Land Use –**
4. **Real Estate – Chair, Mr. Kirby**
5. **Marketing –**
6. **Community Affairs –**
7. **Special Events – Chair, Ms. Ruffy**

**IX. ADJOURNMENT**

**ANY PERSON MAKING IMPERTINENT OR SLANDEROUS REMARKS OR WHO BECOMES BOISTEROUS WHILE ADDRESSING THE BOARD WILL BE BARRED FROM FURTHER AUDIENCE BEFORE THE BOARD BY THE PRESIDING OFFICER, UNLESS PERMISSION TO CONTINUE OR AGAIN ADDRESS THE BOARD AS GRANTED BY A MAJORITY VOTE OF THE BOARD MEMBERS PRESENT.**

**IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT THIS MEETING, HE WILL NEED A RECORD OF THE PROCEEDING, AND FOR SUCH PURPOSE HE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.**

**ON JUNE 7, 1994, THE BOARD OF COUNTY COMMISSIONERS APPROVED RESOLUTION NO. 94-693, KNOWN AS THE CODE OF ETHICS. UNDER SECTION 11, IT IS REQUIRED THAT PAID AND UNPAID LOBBYISTS REGISTER. PLEASE REFER TO SECTIONS 11.01 AND 11.02 IN THE CODE OF ETHICS FOR REGISTRATION SPECIFICS. FOR YOUR USE, REGISTRATION FORMS ARE AVAILABLE FROM THE CRA'S ADMINISTRATIVE ASSISTANT.**



**AGENDA ITEMS**  
**Westgate/Belvedere Homes CRA Board Meeting**  
**In Person and Via Zoom**  
**March 11, 2024**

**REGULAR AGENDA**

**1. Adoption of FY 2023 External Audit Report**

**A. Background and Summary:** Ms. Zenora Ward, Ward and Company, P.A., will present the audit report for the fiscal year 2023.

**B. Recommendation:** Staff recommends that the Board adopt the audit report as presented.

**2. Approval of Compensatory Storage for the Project Lightspeed**

**A. Background and Summary:** Project Lightspeed is being developed by the Frisbie Group and Terra at the northwest corner of Congress Avenue and Belvedere Road. The Frisbie Group is working to redevelop forty two of the forty seven-acre site on Congress Avenue and Belvedere Road. The Group is proposing a mix of uses for the project that will include rental housing, a grocery store, a fitness center, and some office/commercial space. A preliminary site plan is attached for consideration. The development will be completed in three phases. Phase I and Phase II will include more housing and very limited commercial space. Phase III will have more commercial/office/retail and less housing.

A meeting was held with Palm Beach County Zoning Division on January 29<sup>th</sup>, 2024 to introduce the project to staff. The site has access to all necessary utilities including but not limited to sewer, electricity, and water.

The developers are planning to use underground storm chambers, exfiltration trench, dry retention areas, swales, and credits from the CRA's compensatory storage bank to address stormwater management. See below the engineer's assessment:

The site is located in the C-51 East Basin within SFWMD and Sub-Basins 39. This basin has an established flood plain elevation of 13.5' NAVD of 11.9' NAVD (also confirmed with the current FEMA base flood elevation). One of the requirements of the C\_51 Basin is to review flood plain encroachment and provide compensating storage volumes for encroachment into the flood plain. Based on preliminary calculations, the project has been determined to be an exporter of stormwater discharge. Even though the project is an exporter, the

development perimeter berms, site grading and on site and perimeter elevation transitions will benefit from utilizing any available basin storage that could be assigned to this property.

A copy of the full engineering report will be provided to the Board members at the meeting.

The CRA had secured 23.67 acre feet of excess basin storage from the South Florida Water Management District. It had allocated 14.3 acre feet to two projects located on Congress Avenue. It now has a balance of 9.37 acre feet of storage credits. The project will be providing some storage on site but will need some credits to decrease the amount of storage it needs to build. Receiving storage credits from the CRA will minimize the developer's cost and maximize the development potential.

**B. Recommendation:** Staff recommend setting aside the remaining storage credits of 9.37 acre feet for Project Lightspeed.

**3. Approval of Official Zoning Map Amendment (Rezoning), Class B Conditional Use for an Indoor Entertainment Use, DRO Approval for a Type 2 Restaurant Use, Concurrent Type 2 Variances, Subdivision Variance, Type 1 & 2 Waivers, Type 3 Kennel Use, WCRAO TCEA & Final DRO Site Plan Approval**

**A. Summary and Background:** The 47-acre Palm Beach Kennel Club site is located at 1111 N. Congress Ave., at the intersection of Congress Avenue at Belvedere Rd., directly north of the Palm Beach International Airport. The entire site, as it currently exists, extends along the west side of the Congress Avenue corridor from Belvedere Rd. to Cherry Rd. A plat waiver application to subdivide 5 acres from the northern portion of the site for the relocation of the Kennel Club facility is currently under review by the County. This newly subdivided 5-acre parcel is the subject of the application requests. The 42-acre balance of the overall site is under contract for residential/mixed-use redevelopment. The parcel is within the UG (Urban General) Sub-area of the WCRAO, and has a RH (Multifamily Residential) zoning district designation. The entire site has a Future Land Use designation (FLU) of CH/5 (commercial high with an underlying residential land use of 5 du's/acre). This portion of the Kennel Club site was never developed, and sits as a vacant greenfield. Zoning records indicate any existing approvals apply only to the CG-zoned portion of the larger 42-acre site. The parcel is the U/S (Urban/Suburban) Tier, the RRO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area), and in the Westgate CCRT area.

To the north of the subject parcel is the Belvedere Baptist Church and a 6-building single-story multi-family apartment complex, respectively zoned RM/RH; the Place of Worship has an INST

(Institutional) FLU and the multi-family use has an HR/12 FLU. The Belvedere Homes/Golfview Heights neighborhood, comprised of single-family homes, is to the west; several single-family homes fronting Hemlock Rd, back onto the subject parcel. The existing Kennel Club, Belvedere Rd., and beyond, PBIA, are to the south. The 42-acre Kennel Club property has a split zoning designation bisected just to the north of the second access road and parking lot. This northern portion, where the subject parcel lies, is roughly 1/3 of the site, and is within an RH (MultifamilyResidential) zoning district; to the south, the site has CG (Commercial General) zoning designation. Speedy's Tires is to the east, along Congress Avenue where it intersects the Old Congress slip Rd, is zoned CN/CG with a CH/8 FLU.

### **Proposed Development - Palm Beach Kennel Club Relocated New Facility**

The historic Palm Beach Kennel Club opened its doors in 1932, and has endured as a landmark institution in Palm Beach County for 92 years, owned and operated by the Rooney Family since 1970. Indoor entertainment, restaurant, gaming rooms, and simulcast and pari-mutuel betting operations continue today, however greyhound racing operations ceased in 2020. That same year, Camp Rusty, a Type 2 Kennel, and dog daycare use, was approved administratively. The grassy area of the site, just north of the parking lot, has been leased over the years to third party users for special events. Given its strategic location, the north parking lot was used to support a temporary uptick in local distribution needs during the pandemic. Today, the existing Kennel Club facility contains multiple uses within a 135,272 sf two story complex located at the southern end of the site, 93,450 sf without the dog track structure and grandstand. The complex is outdated, especially now, as the dog track itself is redundant. Surface parking dominates the site with 1,994 spaces provided to park each use plus additional overflow parking for employees, dog trainers, valet, and preferred guests. Perhaps half of the acreage that comprise the entire site are routinely actively used, leaving the remainder of the land vastly underutilized.

In the wake of the 2018 statewide referendum that banned greyhound racing, the owners of the Kennel Club began to reimagine their massive 58-acre land assemblage, which also included an 11-acre collateral parcel on the east side of Congress Avenue. In 2022, following the sale of this collateral land, entitlements were received to construct The Hangar & Airfield Business Park, "a unique private garage country club comprised of warehouse units for condominium ownership by automobile collectors", complemented by 84,000 sf of boutique car sales and auto repair uses in a separate warehouse. The project is currently under construction and scheduled for completion in summer 2024. The Kennel Club owners issued a closed solicitation in 2022 which invited select groups to envision the redevelopment of remaining 47-acre site. By the end of 2023, a proposer was selected, and two redevelopment projects emerged. Five acres are subdivided on the northern portion of the site for the relocation of the Kennel Club facility under the longtime ownership of the Rooney family, with 42 acres under contract for a separate redevelopment project by a local development group. The entitlements for both

projects are proposed to run concurrently. But, the approval, and construction of the new, relocated Kennel Club facility is necessary to allow the larger redevelopment project to move forward with a phased development plan. The Kennel Club will maintain operations at its existing location while the new facility is under construction. All 425 employees, with an estimated payroll of \$15 million annually, will be retained. The project has proposed build out of 2028.

The new Kennel Club facility will have a reduced footprint, with access points from Congress Ave and Cherry Rd. All existing operations will relocate into a 60,286 sf 2 story structure (Building 1) consisting of 33,425 sf of indoor entertainment (pari-mutuel and simulcast betting and game rooms), 21,922 sf of accessory office, and a 4,939 sf Type 2 restaurant. A public plaza and porte cochere provides an entry feature and covered access for valet service. 933 parking spaces are provided in a separate parking structure (Building 2), as well as a 5,271 sf Type 3 Dog Kennel, and a 1,733 sf dog run on the western edge of the building. Between both buildings is a memorial to mark the historic greyhound racing operations at the Kennel Club.

### **Summary of Petition**

To facilitate the development of the 5-acre property for the relocation of the Palm Beach Kennel Club facility, the agent for the applicant requests a recommendation of approval from the Westgate CRA for the following:

1. An Official Zoning Map Amendment (“Rezoning”) from the (RH) Multifamily Residential to a standard CG (Commercial General) zoning district;
2. Class B Conditional Use approval of +/- 33,425 sf of Indoor Entertainment Use;
3. DRO Administrative approval of a +/- 4,939 sf/108 seat Type 2 Restaurant Use;
4. Type 2 Variance relief from Table 3.B.14.F, WCRA Non-Residential & Mixed-Use PDRs:
  - a. A front setback of 72.4 ft, where 10-25 ft. is required, a variance of 47.4 ft;
  - b. A side street setback of 46.8 ft, where 10-25 is required, a variance of 21.8 ft; and,
  - c. Waive requirement to have longest side of building facing front façade, and placed at corner
5. A Subdivision Variance from Art. 11.E2.A.4 to allow access from Congress Avenue and Cherry Road, where access to the lower classification street is required;
6. Type 2 Waiver relief from Art. 5.E.5, Hours of Operation, to allow a 24-hour operation for a Type 3 Kennel, where hours are restricted when within 250 ft. of a residential use/FLU;
7. Type 1 Waiver relief from Art. 7.C.3.B, Foundation Planting and Dimensional Requirements to waive 40% of foundation planting on the south side of Building 1 to be relocated to east façade of Building 1; and,
8. A reallocation of 1,186 net daily trips, and 98 net pm peak hour trips, representing a reduction from vested daily and pm peak hour trips, to the WCRA Transportation Concurrency Exception Area (TCEA).

**B. Recommendation:** Staff supports a CRA Board recommendation of **approval** for the following application requests:

1. An Official Zoning Map Amendment (“Rezoning”) from the (RH) Multifamily Residential to a standard CG (Commercial General) zoning district;
2. Class B Conditional Use approval of +/- 33,425 sf of Indoor Entertainment Use;
3. DRO Administrative approval of a +/- 4,939 sf/108 seat Type 2 Restaurant Use;
4. Type 2 Variance relief from Table 3.B.14.F, WCRA Non-Residential & Mixed-Use PDRs:
  - a. A front setback of 72.4 ft, where 10-25 ft. is required, a variance of 47.4 ft;
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  - c. Waive requirement to have longest side of building facing front façade, and placed at corner
5. A Subdivision Variance from Art. 11.E2.A.4 to allow access from Congress Avenue and Cherry Road, where access to the lower classification street is required
6. Type 2 Waiver relief from Art. 5.E.5, Hours of Operation, to allow a 24-hour operation for a Type 3 Kennel, where hours are restricted when within 250 ft. of a residential use/FLU;
7. Type 1 Waiver relief from Art. 7.C.3.B, Foundation Planting and Dimensional Requirements to waive 40% of foundation planting on the south side of Building 1 to be relocated to east façade of Building 1;
8. A reallocation of 1,186 net daily trips, and 98 net pm peak hour trips, representing a reduction from vested daily and pm peak hour trips, to the WCRA Transportation Concurrency Exception Area (TCEA); and,
9. Any additional waivers or variances needed to bring the site into compliance with the ULDC, and allow the project to move forward.



## BOARD MEETING

March 11, 2024

### Staff Update on In-House & Private Redevelopment Projects

#### Streetlights Initiative + Westgate Safety Plan

**Background:** Staff has requested the installation of 280+ new streetlights within the North and South Westgate Estates neighborhoods of the CRA district from FPL. The streetlights initiative is in the final stage of permitting. FPL resubmitted in January to respond to Land Development comments. To supplement this effort, Staff is working with County Administration to secure a legislative appropriation of \$750,000. This funding would also be used to leverage CRA TIF in the creation of a Westgate Safety Plan. Planning for the development of a Safety Plan is underway.

#### 2023-B Solid Waste Authority Blighted & Distressed Properties Grant Application (IN PROCESS)

**Update:** Staff issued a Request for Quotation in July for the demolition of the structure. The RFQ closed in August with BG Group as the sole responder. BG Group estimates a cost of \$57,460 for permitting and demolition/removal. This proposal has been revised upwardly to \$63,583.00 to include the removal of the septic system and permit application fees. The site is overgrown with large non-native vegetation which will also be removed as a part of the grant project. This work is estimated at \$22,000.

The SWA Governing Board awarded the CRA a grant in the amount of \$40,122 at their February 2023 meeting. The grant is for demolition only. The CRA will be responsible for vegetation removal and lot clearing. Following the execution of the ILA at the end of April, the CRA received 50% of the disbursement, with the remaining disbursement to be paid by the SWA upon project completion.

**Background:** CRA Staff has submitted a grant application to the SWA through its Blighted & Distressed Properties Clean-Up Grant Program for funding to demolish the structure at 1304 Seminole Blvd. The Program has been modified and will now only cover costs associated with demolition. Lot clearing and vegetation removal must be covered by the Agency. The SWA Governing Board will vote to approve funding at their February meeting.

#### SFWMD Compensating Floodplain Storage Mitigation Bank (IN PROCESS)

**Update:** Higgins Engineering has advised that SFWMD has formally amended the original permit for the Westgate Central Lake. A total of 23-acre feet are assigned to the mitigation bank, lower than our original estimation. The Board allocated 8-acre feet to the Greene Apartments (now Brandon Estates), and 9-acre feet to the Autumn Ridge apartments, collectively 17-acre feet. Only 6-acre feet remain in the mitigation bank.

On June 30<sup>th</sup> SFWMD formally established a compensating storage bank for C-51 basin, sub-basin 39. This bank only includes the Westgate Central Lake aka Dennis Koehler Preserve. Available compensating storage volume available from the bank will expire in 2043. The Autumn Ridge project will utilize 9 acre-feet of storage from the mitigation bank. Approx. 12 acre-feet will be remaining for future redevelopment projects. Staff is considering developing a program for accessing credits from the bank.

**Background:** The CRA is working with Higgins Engineering and SFWMD to formalize a storm water storage mitigation/redevelopment credit program using the Dennis Koehler Preserve retention lake for redevelopment projects within a certain basin or sub-basin. Higgins Engineering estimates that approximately 28-acre feet could be available to redevelopment projects to offset storage requirements.



Some of those acre feet have already been pledged to the Greene Apartments and Autumn Ridge projects.

### **WCRAO/ULDC Amendments (IN PROCESS)**

Update: Zoning Management has reviewed the amendment draft provided in October, and has provided general direction to rework the document. A path has been provided to revise WCRAO parking provisions. Staff has been working with Schmidt Nichols on developing a parking code that would reduce the demand for residential by unit and guest parking.

Staff submitted amendment draft to Zoning in early October. Staff anticipates requesting Board approval of the amendments at the December meeting pending approval from the Zoning Division in October/November. Concurrently, Staff is exploring the concept of merging the WCRAO with the URAO toward a Redevelopment Code for the County.

Staff met with Vice-Mayor Weiss, assistant County administrators, and PZB staff on October 26<sup>th</sup> to discuss ways in which the WCRAO may be streamlined to be made more efficient and flexible to use, while remaining true to intent. A path forward includes a Comprehensive Plan amendment to be initiated early in the new year to better define policies for open space and land development, followed by amendments to the WCRAO/ULDC. *Staff will also propose increases to the Density Bonus Program pool of units as well as explore options to add more daily and pm peak trips to the TCEA pool.* Staff is re-tooling to address the Mayor's concerns.

Update: At their July 2022 meeting, the BCC adopted an amendment to the WCRAO which allows the following pertaining to the WCRAO Use Regulations table:

"The Zoning Director may apply the provisions of Art. 4.B, Use Classification for the underlying zoning district, subject to mutual agreement and approval by the WCRA Board".

Background: The Zoning Division is moving forward with an amendment to the WCRAO that will not only facilitate the approvals for the Hangar project, but also give some ability for flexibility and authority to the CRA Board when the WCRAO is in conflict with permitted uses and standards of the underlying zoning districts. CRA Staff worked with Zoning to revise Overlay language to allow a warehouse use on the site located at 1050 N Congress Ave. concurrent with entitlements for the Hangar project. This amendment will follow a separate timeline from the proposed amendments below.

Update: The following amendments are being targeted to move forward in the 2023 calendar year. Staff will present a draft to the Board once the amendments are fully vetted by the County:

- create a waiver table to provide relief from certain PDRs, supplementary standards and architectural guidelines through an administrative waiver process rather than variances
- dilute Parks & Recreation requirements for open space in the WCRAO, particularly as it applies to the construction of 4 or more single family homes
- clarify that on where formal on street parking is available (ie. Westgate Ave.), it shall be allowed to count towards required parking ratios
- amend Flex Space language to restrict the percentage of industrial uses and increase the percentage of commercial uses allowed where projects with a CH FLU utilize flex space

Background: CRA staff submitted a request letter for amendments to the CRA's zoning overlay in early December 2021 with the optic of adoption by the BCC at the end of 2022. The Zoning Division is under new directorship, and the two-round policy for UDLC amendments is replaced by a prioritization scale. The CRA will work with County Code Revision staff and County departments to develop amendment language for Board review in the coming months. Staff will utilize one of its continuing planning consultants to assist; a proposal for planning technical assistance services will be brought to the Board in February.

### **FY21 TCRPC Brownfields Site Assessment Grant (IN PROCESS)**

Update: Stantec advises that additional testing to determine the extent of contamination and the best process for clean-up is needed. TCRPC has funding available to assist.

Cardno (now Stantec) has completed testing. Results indicate levels of contamination on site that are in excess of allowable State limits. Staff will be meeting with Stantec and TCRPC to discuss next steps.

Cardno has identified that contamination is most concentrated in the northeast corner of the Chickamauga site with no groundwater affected, however further assessment is warranted to determine the spread and depth of contamination in order to recommend the best path for remediation. Using a new round of funding through TCRPC, a specific assessment will be completed by Cardno. Next steps include: specific testing, a meeting with the DEP to determine scope of clean up, and a determination of funding sources for excavation/clean up (TCRPC or PBC DHED).

Cardno has completed supplementary soils testing and is preparing a final report for CRA review and/or action. Results are targeted to be presented to the CRA Board at their September meeting. Testing indicates a high concentration of Benzo(a)pyrene (BaP) in the northwest corner of the property. Cardno will determine whether remedial action is warranted. Cardno conducted a Phase II assessment in early December. Findings indicate trace amounts of contamination (arsenic & BaP) in the soil; the groundwater is said to be clear. CRA Staff is pursuing a more thorough soils study through funding available through TCRPC prior to issuing an RFP. Phase I ESA findings indicate the need to conduct further assessment of the site to determine if historical adjacent uses have negatively impacted the site. The CRA was approved by the TCRPC for a Phase I Environmental Assessment on September 9, 2021. Brownfields environmental consultants Cardno, completed the Phase I assessment in mid-October 2021.

On August 25, 2021, CRA staff submitted an application for funding from the TCRPC (Treasure Coast Regional Planning Council) Brownfields Program for a Phase I Environmental Assessment for the Chickamauga redevelopment site. Due to historic auto salvage and a dry cleaning use on Okeechobee on the site now occupied by Cumberland Farms, there is a likelihood that the site has some degree of contamination. The grant would fund a Phase I assessment, and a possible Phase II assessment depending upon initial findings. Any remediation timelines and cost to be determined. State funding is possible.

Background: The Chickamauga site consists of 3 parcels, one containing an occupied single family dwelling, purchased by the CRA in December 2019 for \$550,000. The site is located directly south of Spencer Square facing the Dennis Koehler Preserve to the south. The site is earmarked for the CRA for mixed use or high density residential redevelopment. CRA staff anticipates issuing an RFP in FY22.

### **Community Garden/Greenmarket (ONGOING)**

Update: The Plat is recorded and corner clip dedications are complete. CRA staff is planning for the construction of a permanent structure. Staff applied for a USDA Urban Agriculture grant in 21/22 to assist with the construction of the structure and to facilitate enhanced programming at the farm, but was not awarded the grant. CRA staff is looking at the viability of re-applying in another fiscal year.

### **PBC Transportation Planning Agency (TPA) Transportation Alternatives (TAP) & Local Initiatives (LI) Grants**

#### **FY20 Cherry Road Pedestrian & Safety Improvements (FUNDED, 95% DESIGNED)**

Update: Design has been completed. Design engineers had identified field conditions that will make the installation of 10-12 ft. wide multi-purpose paths on the north side of Cherry Rd. impossible within the existing ROW. Several options have been discussed with PBC Engineering and the TPA, with the best option being reducing the multi-purpose paths to 8 ft. Engineering is awaiting approval from FDOT on



the new cross section prior to design resuming.

PBC Engineering has expressed concerns regarding crosswalks on the approved cross section that requires resolution for the project to move forward on the TPA grant timeline.

The Cherry Road project received approval for funding by the TPA Governing Board in July, 2020. The CRA engaged consultants, WGI to refine the Cherry Rd. improvements project for TPA TAP grant application submittal in the 2020 cycle. CRA Staff and WGI worked with Engineering on improving the proposed typical sections. The project proposes reduced travel lanes for traffic calming, new sidewalks on the south side of Cherry Rd east and west of the bridge to the intersection of Country Club Rd., a new 12' shared multi-use path on the north side of the corridor, new crosswalks, pedestrian scale lighting, and shade trees where allowed. The total project cost is \$1.96 million. The grant reimburses \$1 million. The application was submitted to the TPA on February 28, 2020.

#### **FY19 and Seminole Blvd. Complete Streets (FUNDED/100% DESIGNED, UNDER CONSTRUCTION)**

Update: Construction is progressing well. Staff will work with Engineering and FDOT to process a field change order to reduce the path on the west side of the ROW from 12 ft. to 10 ft. Staff will engage a landscape architect from WGI through our continuing services contract to create a landscape/irrigation plan for the project. BCC approval of the construction contract is projected for August.

The Transportation Planning Agency Governing Board approved funding for the Seminole Blvd project at their July 18<sup>th</sup> meeting. The Seminole project was ranked #1. Staff and WGI presented the projects to FDOT and BTPAC in early April; Seminole was ranked #1 and Cherry Rd was #4. The Board recommended that the Seminole Blvd project should be prioritized since it ranked higher and is a larger project.

Background: The Board approved a two-fold work assignment with WGI in November 2018 to prepare a feasibility analysis to identify the best two projects to submit to the TPA for the 2019 Transportation Alternatives Program (TAP) cycle. Based on findings presented by WGI, the Board selected the following project:

Seminole Blvd Complete Streets which expands existing sidewalks to 10-12 ft. multi-use paths on each side of the roadway, adds high visibility crosswalks at each intersection, adds pedestrian scale lighting, and shade trees. The project boundaries are from Okeechobee Blvd. to Oswego Ave. Total construction cost is \$1,622,979. The grant reimburses \$1 million.

TAP grant projects are designed and constructed within 3 years of prioritized funding. Design will begin in 2020 with construction completion in 2022.

#### **FY18 – Westgate Avenue Corridor Complete Streets (FUNDING SECURED, PROJECT TO PROCEED)**

Update: The Westgate Ave. streetscape is under construction.

Background Information: Staff engaged WGI to coordinate the preparation of travel demand forecast modelling to determine the impact of reducing Westgate Ave from 5 lanes to 3 lanes utilizing a road diet approach. WGI facilitated communication with PBC TPA and Engineering to determine the best design alternative, held a public input meeting, and drafted the final design for the project be used to obtain funding. WGI met with the Engineering Department to present the lane elimination plan. County staff is in support of the lane reduction from Wabasso to Congress, but they are not in support of the elevated landscape median. An alternative design, which allows for 3 lanes (2 thru lanes and one center turn lane), bike lanes, and floating landscape islands on both sides of the ROW alternating with on street parking was presented to County Engineering for approval and support. With assistance from WGI, the LI grant application was submitted on March 2, 2018. CRA staff is working with County Engineering and Administration to design and administer all 3 of the TPA grant projects.

The TPA Governing Board voted to adopt the TPA List of Priority Projects for the LRTP FY 2020-2024 at their September 20, 2018 meeting. Projects that met TPA and FDOT eligibility requirements were ranked by internal advisory boards, committees and TPA Staff to be forwarded the Governing Board. The Westgate Avenue Complete Streets project was ranked #1 of 6 entries to receive Local Initiatives Program funding. This project has been moved up the timeline due to the inability of other funded projects to proceed. Design can start in July 2019 for FY 2019/20. Construction funding will be approved after the design is completed.

#### **CRA Strategic Plan (ONGOING – TO BE REVISITED)**

CRA staff will revisit work on a strategic plan that will implement the goals and objectives of the amended Redevelopment Plan. A strategic plan will outline the specific tasks, timeline and budget required for redevelopment activities over the next 5 years. It can also serve as a platform for the CRA to refine its vision and mission statement in a way that is current with its shifting priorities. Staff has received some initial input from Board members.

#### **Streetlights for Belvedere Homes (ONGOING)**

The Engineering Department is partnering with Office and Community Revitalization to install streetlight in Belvedere Homes. An initial meeting has been held. Citizens are currently gathering signatures and easement authorization from residents and property owners.

### Private Redevelopment Projects

Below is list of private development projects that are in the entitlements or the permitting process:

<b>Projects</b>	<b>Address</b>	<b>Status</b>
PBKC – new relocated facility	1111 N. Congress Ave.	<ul style="list-style-type: none"> <li>▪ <b>WCRA recommendation 3/11/24</b></li> <li>▪ 60,286 sf facility + 4 level parking structure</li> <li>▪ Rezoning, Class B Cond use (indoor entertainment), DRO for Type 2 restaurant, variances, waivers</li> </ul>
NorWest Pointe	Westgate at Tallahassee	<ul style="list-style-type: none"> <li>▪ <b>WCRA recommendation for rezoning only 11/13/23</b></li> <li>▪ Rezoning to RM, DRO approval for additional density for a 9-unit MF rental project</li> </ul>
Big Dreams Preschool	1713 Quail Drive	<ul style="list-style-type: none"> <li>▪ <b>Approved – 5/9/23</b> CRA recommendation</li> <li>▪ Class B + variances to reestablish a day care use at former Opportunity Inc. site</li> </ul>
Al Packer Fleet Services	1668 N Military Trail	<ul style="list-style-type: none"> <li>▪ <b>In Zoning</b> -- 5/8/23 CRA recommendation</li> <li>▪ Rezoning to CG, BCC approval for heavy vehicle repair &amp; maintenance</li> </ul>
PBC Fire Station #24	Westgate at Seminole	<ul style="list-style-type: none"> <li>▪ <b>In Zoning</b> – 3/13/23 CRA Board meeting, BCC in August</li> <li>▪ Rezoning to PO</li> </ul>
Aero Village	1699-1705 N. Congress Ave	<ul style="list-style-type: none"> <li>▪ <b>In Zoning</b> – 1/9/23 CRA Board meeting</li> <li>▪ 4-stories, 38-unit market rate MF rental development</li> </ul>
Westgate Terrace (Danza Group)	2636 Westgate Ave.	<ul style="list-style-type: none"> <li>▪ <b>In Zoning</b> – CRA option contract extended</li> <li>▪ 4 stories, 44 units – professional office/medical office CRA-owned parcels, developed with NMTC fed grant in partnership with CRA/PBD DHED</li> </ul>
Greene Industrial (aka McDonald Industrial)	1501 N. Florida Mango Rd.	<ul style="list-style-type: none"> <li>▪ <b>Under construction</b></li> <li>▪ DRO site plan amendment for 62,011 sf office-warehouse use; site to be reconfigured to eliminate all other buildings</li> </ul>
The Hangar & Airfield Business Park	1050 N. Congress Ave. (former PBKC collateral property)	<ul style="list-style-type: none"> <li>▪ <b>Under construction</b></li> <li>▪ 2/14/22 CRA Board meeting</li> <li>▪ 60,000+ sf of privately owned warehouse units with collocated additional warehouse, vehicle sales/repair, community and assembly membership non-profit space</li> </ul>
EZ Express Carwash (Walmart MUPD)	1098 N. Military Trail	<ul style="list-style-type: none"> <li>▪ <b>In permitting</b></li> <li>▪ DRO approval in April for a 2,700-sf. automatic carwash</li> </ul>
Extra Space Storage (Cherry Road Plaza MUPD)	Cherry Rd	<ul style="list-style-type: none"> <li>▪ <b>In permitting</b></li> <li>▪ Approval for ABN, DOA, Variances, DRO approval for a 161,000 sf (phased) self-service storage facility</li> </ul>
Murphy Express Gas Station/C-store (Walmart MUPD)	1010 Military Trail	<ul style="list-style-type: none"> <li>▪ <b>In permitting</b></li> <li>▪ demolish vacant Walgreens, relocate/ expand existing Murphy Express/add c-store</li> </ul>
Palm Key Apartments	Cherokee Ave.	<ul style="list-style-type: none"> <li>▪ <b>DRO approval</b> in March 2023</li> <li>▪ 7 townhome-style multifamily units on .46 ac – utilizing CRA density bonus units</li> </ul>
Autumn Ridge LITC	Congress Ave.	<ul style="list-style-type: none"> <li>▪ <b>Under construction</b></li> <li>▪ DRO approval – LIHTC funded</li> <li>▪ 106 units by Landmark Construction, 90% of units at or below 60% of AMI – 77 DBP units, TCEA, rezoning from RM to CG</li> </ul>
Greene Apartments (now Brandon Estates)	1710 N. Congress Ave.	<ul style="list-style-type: none"> <li>▪ <b>Under construction</b></li> <li>▪ 198 units (138 density bonus units from WCRA pool; 55 income restricted units)</li> <li>▪ SFWMD permit utilizes acre feet from the Preserve</li> </ul>
Fern House	1958 Church St.	<ul style="list-style-type: none"> <li>▪ <b>Under construction</b></li> <li>▪ Addition/accessory structure &amp; renovation</li> </ul>

**WESTGATE/BELVEDERE HOMES COMMUNITY REDEVELOPMENT AGENCY  
1280 N. CONGRESS AVE., SUITE 215, WEST PALM BEACH, FL. 33409  
MINUTES OF THE MONTHLY MEETING**

**February 13, 2024**

**I. CALL TO ORDER (IN PERSON MEETING BROADCASTED ON ZOOM PLATFORM)**

Mr. Daniels, the Board Chair, called the meeting to order at 5:20p.m. The roll was called by Ms. Bui.

**Present:** Ronald L. Daniels  
Joanne Rufty  
Teliska Wolliston  
Joseph Kirby

**Absent:** Enol Gilles  
Ruth Haggerty

**Staff Present:** Elizée Michel, Executive Director  
Denise Pennell, Senior Planner  
Mai Bui, Redevelopment Specialist/Administrative Assistant  
Thomas J. Baird, Esq., General Counsel

**Absent:** Carmen Geraine, Bookkeeper

**Others Present:** Chuck Lesnick, attended on zoom.

**II. AGENDA APPROVAL**

**1. Additions, Deletions, Substitutions to Agenda**

- No Deletions, Substitutions to Agenda

**2. Adoption of Agenda**

- It was moved by Ms. Rufty and seconded by Ms. Wolliston to adopt the agenda as amended. Motion carried (4-0)

**III. ADOPTION OF W/BH CRA MINUTES**

- It was moved by Ms. Rufty and seconded by Mr. Kirby to adopt the January 8, 2024 minutes. Motion carried (4-0)

#### **IV. PUBLIC COMMENT**

- No Public Comments

#### **V. DISCLOSURES**

- No Disclosures

#### **VI. CONSENT AGENDA**

- No Consent Agenda

#### **VII. REGULAR AGENDA**

##### **1. Approval of Funding for the Construction Engineering and Inspection (CEI) of the Cherry Road Transportation Planning Agency Funded Project**

Mr. Michel presented the item to the Board.

At the January 8 meeting the Board approved an Interlocal Agreement with Palm Beach County Engineering Department for the construction of the Cherry Road streetscape. The Department has recently selected a CEI consultant for the work. The Services will be provided by BCC Engineering LLC, HBC Engineering, and Radise International L.C. The total cost is \$213,800 (consultant fee: \$180,726; Contingency: \$18,074; Staff costs: 15,000).

A construction contractor has not been selected for the project.

The Cherry Road project proposes the following: a new sidewalk on the north side of Cherry Road, from Military Trail to Quail Drive, a new sidewalk on the south side of Cherry Road from Quail Drive to County Club Road, a new pedestrian lighting on both sides of Cherry Road, at least one high visibility crosswalk, new street trees where allowable, and milling and resurfacing of Cherry Road from Military Trail to Quail Drive.

The CRA has already paid for the design of the project. The costs of design and CEI will not be reimbursed by the grant. The CRA will need to provide construction funds as soon as a contractor is selected for the project.

Staff are asking the Board to authorize a payment of \$213,800 for construction, engineering, and inspection of the construction of the Cherry Road TPA streetscape.

**It was moved by Ms. Rufty and seconded by Mr. Kirby to authorize a payment of \$213,800 for construction, engineering, and inspection of the construction of the Cherry Road TPA streetscape. Motion passed unanimously (4-0)**

## **2. Extension of the Danza Group Option Agreement**

Mr. Michel presented the item to the Board.

The CRA Board executed an Agreement with the Danza Group on February 24, 2021. The Agreement provided that the Group had one year from the date of the execution of the Agreement to exercise the option to acquire the properties from the CRA. This Option Period expired on February 24, 2022. It was extended for another year to February 24, 2023. The Agreement was extended two times after February 2023. The last extension was on August 14, 2023, for another six months. That last extension will be expired on February 14, 2024. The Danza Group is seeking another extension to complete the entitlement process. Before executing the option agreement, the Danza Group needs to demonstrate to the reasonable satisfaction of the WCRA, first, that the Group has cash on hand sufficient to acquire and redevelop the property substantially as set forth in the Agreement and second, that the Group has obtained from Palm Beach County and other applicable land development regulators approvals which allows Danza to develop the project detailed in the Option Agreement.

The Danza Group resubmitted a modified plan to the Palm Beach County Zoning Division at the end of 2023. There seems to be a path for the approval of the proposed development. The Group has received a few comments and is resubmitting the application soon to respond to the comments. They believe the application will be approved in less than six months.

Staff are asking the Board to approve a six-month extension for the Danza Group Option Agreement.

**It was moved by Ms. Rufty and seconded by Ms. Wolliston to approve a six-month extension for the Danza Group Option Agreement. Motion passed unanimously (4-0)**

## **VIII. STAFF REPORTS**

Mr. Michel and Ms. Pennell updated the Board on the Westgate Terrace, the Kennel Club relocation, Westgate Avenue, and Seminole Boulevard. Streetlights for the Westgate Estate area are still in the works.

Rooney Run 5K will be on March 30, 2024.

Food Distribution is held at the American Legion Post 141 every second Tuesday of every month.

Celebrate Westgate Festival will be on April 13, 2024, at the Westgate Parks and Recreation

**IX. BOARD MEMBER COMMENTS**

No Board Member Comments. Happy Birthday Mr. Kirby!

**X. AJOURNMENT**

**It was moved by Ms. Rufty and seconded by Ms. Haggerty to adjourn the meeting. The meeting was adjourned at 5:30p.m.**

\_\_\_\_\_  
Mai Bui Administrative Assistant, Westgate CRA

**Westgate Belvedere Homes**  
**Community Redevelopment Agency**  
(A Component Unit of Palm Beach County, Florida)

**Annual Comprehensive Financial Report**  
**Fiscal Year Ended September 30, 2023**

Audited by:  
Ward & Company, P.A.  
5725 Corporate Way, Suite 106  
West Palm Beach, Florida 33407



**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

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Zenora Kerr Ward, CPA

## Ward & Company, P.A.

CERTIFIED PUBLIC ACCOUNTANTS

5725 Corporate Way, Suite 106  
West Palm Beach, FL 33407

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### Independent Auditor's Report

The Board of Directors  
Westgate/Belvedere Homes  
Community Redevelopment Agency  
West Palm Beach, Florida

#### Opinions

We have audited the accompanying financial statements of the governmental activities, and each major fund, of Westgate/Belvedere Homes Community Redevelopment Agency (The "Agency"), a component unit of Palm Beach County, Florida, as of and for the year ended September 30, 2023, and the related notes to the financial statements, which collectively comprise the Westgate/Belvedere Homes Community Redevelopment Agency's basic financial statements, as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, and each major fund, of the Agency, as of September 30, 2023, and the respective changes in financial position thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

#### Basis for Opinion

We conducted our audit in accordance with auditing standards generally accepted in the United States of America (GAAS) and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the *Auditor's Responsibilities for the Audit of the Financial Statements* section of our report. We are required to be independent of the Agency, and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinion.

#### Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America, and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

Member of the American Institute of Certified Public Accountants  
and Florida Institute of Certified Public Accountants

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the Agency's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

#### **Auditor's Responsibilities for the Audit of the Financial Statements**

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinion. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with generally accepted auditing standards and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with generally accepted auditing standards and *Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Agency's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the Agency's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

### **Required Supplementary Information**

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis, schedule of the Agency's proportionate share of net pension liability, and schedule of Agency contribution for pension and budgetary comparison information be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

### **Other Reporting Required by Government Auditing Standards**

In accordance with *Government Auditing Standards*, we have also issued our report dated February 14, 2024 on our consideration of the Agency's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts, grant agreements, and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Agency's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the Agency's internal controls over financial reporting and compliance.

Ward & Company, P.A.

West Palm Beach, Florida  
February 14, 2024

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis**  
**For the Fiscal Year Ended September 30, 2023**

The Management of the Westgate/Belvedere Homes Community Redevelopment Agency ("Westgate CRA") presents the readers of our financial statements the following narrative overview and analysis of the financial activities for the fiscal year ended September 30, 2023 and 2022. Specifically, this information is designed to assist the reader in focusing on significant financial issues, provide an overview of the Westgate CRA's financial activity, identify changes in the CRA's financial position, and identify material deviations from the approved budget.

The information contained within this Management's Discussion & Analysis (MD&A) is only a component of the entire financial statement report. Readers should take time to read and evaluate all sections of the report, including the footnotes and the other Required Supplementary Information that is provided in addition to this MD&A.

### **2023 FINANCIAL HIGHLIGHTS**

Palm Beach County Board of County Commissioners (BCC) created the Westgate CRA as a dependent special district in 1989 under Florida Statutes Chapter 163 Part III. The Westgate CRA's Redevelopment Plan guides the agency's budget and spending in accordance with the Statutes. The Redevelopment Plan is a live document and was amended last in 2017 and includes six focus areas. The focus areas are based first on the mandates of the Statutes, second on the analysis of existing conditions and third on the identification of opportunities and strategies needed to remove slum and blighted conditions in the CRA district. Focus Area 1 – Economic Development & Redevelopment prioritizes activities in the two primary commercial corridors, Westgate Avenue & Congress Avenue by devising strategies and providing programs and incentives to stimulate economic development in those corridors. Focus Area 1 focuses, also albeit to a lesser degree, on the Okeechobee Blvd. and the Military Trail Corridors. Focus Area 2 – Market Positioning highlights the benefits of investing in the CRA District to potential developers and business owners. Focus Area 3 – Housing responds to the obligations of CRA to facilitate the development of decent affordable housing in the CRA District. Focus Area 4 – Community Improvement puts in place a strategy to support crime prevention activities, community events, property maintenance and clean-up. Focus Area 5 – Infrastructure proposes program ideas needed to improve and develop a safe physical environment for residents such as installing streetlights, sidewalks, drainage system and public open spaces. Focus Area 6 – Planning for Redevelopment explores the best strategies to develop, fund and implement redevelopment programs that will improve the CRA District. It is the CRA's intent to revise the Plan every five years. The Agency will continue to use its Plan to develop annual budgets.

The CRA funded the community garden development with \$111,570. The garden and green market provide fresh produce, field trips and education opportunities for the residents of the CRA. It creates jobs and exposes non-resident visitors to the Westgate area. This activity is developed under Focus Areas 1, 2 and 4 by creating jobs (1), luring businesses, residents, developers into the area (2) and improving the community (4).

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

Several homeowners received grants to improve the appearance of their home or address code violations under the CRA's Neighborhood Improvement Program. Residents were able to repair septic systems, replace roofs, install fences, windows and doors, and address other issues to improve their home. A total of \$71,790 was spent on this program, doubling the amount that was spent last year. There is a high demand for roof replacement funding. Insurance companies are threatening to cancel policies if the roofs are not replaced. This program is an implementation of housing activities found under Focus Area 3.

The Site Development Assistance Program provided funding for several housing development projects. A total of \$30,000 was spent. Housing activities are discussed in the Plan under Focus Area 3.

The CRA continues to cooperate with Palm Beach County Sheriff's Office to ensure a solid police presence in the district. The CRA rents a facility in the area for the deputies to use. The facility is located in an area that badly needs the police presence. The officers come there, when needed, instead of driving away from the area, to write reports, use internet and make calls. Their presence and that of their cars have pushed away many bad elements. \$34,000 was spent on this program. The CRA is working with the deputies and the community to devise a plan to prevent crime and address illegal dumping. Staff are working with FPL to install more streetlights in key areas to deter illegal activities. A request for more funding was sent to the Legislative Appropriation Committee. If received, the funding will be used to implement the safety plan. These endeavors are part of Focus Area 4 of the Plan.

In Fiscal Year 2022-2023, the CRA spent \$8,500 to remove vegetation and clean the lot located at 1304 Seminole Blvd. The lot provides secure open space for residents of the area. The open space/park activities relate to Focus Areas 1 and 3 of the Plan.

The agency spent funds to pay for the maintenance of streetlights, vacant lots, parks, preserves and vacant buildings. For the maintenance and operation of the L-2 pump station, \$67,322 was spent through an interlocal maintenance agreement with Palm Beach County Engineering Department. This is twice the amount that was spent last year. These activities fall under Focus Areas 2, 4 and 5.

Many infrastructure improvement projects are being developed by the CRA in collaboration with Palm Beach County Engineering Department. The CRA made a payment of \$1,127,606 to Palm Beach County for the construction of Phase 2 of the Belvedere Heights project to install a drainage system. An advance payment totaling \$6,128,586 was issued to Palm Beach County Engineering for the construction of the Westgate Avenue streetscape project. An advance payment totaling \$2,518,276 was issued to Palm Beach County Engineering for the construction of the Seminole Blvd. streetscape project. The construction of the Westgate Avenue project and the Seminole Blvd. are funded, in part, by grant funding from the Palm Beach County Transportation Planning Agency (TPA) in collaboration with the Florida Department of Transportation (FDOT). Moreover, the CRA continues to fund the maintenance of drainage infrastructure created in previous years to mitigate flooding in the area. These efforts fall under Focus Area 5 of the Redevelopment Plan.

**Westgate/Belvedere Homes Community Redevelopment Agency  
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**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

The more significant projects are funded with the \$11,000,000 bond proceeds that the CRA received in November 2022. The CRA made its first debt service payment on April 11, 2023. The amount of the payment was \$857,377, which includes principal and interest.

The CRA spent \$12,402 to clean up and fence several parcels of land on Oswego Avenue to further the goal of improving the infrastructure of the community as proposed in Focus Area 5 of the Redevelopment Plan.

Some funds were used to pay planning consultants, lawyers, engineers, and surveyors to process code amendments, design engineering projects, research property titles, prepare surveys and plats to facilitate redevelopment activities in the area. Planning activities are discussed in Focus Area 6 of the Redevelopment Plan.

In fiscal year 2023, the budget grew by 9.2% due to loan proceeds and tax revenues increase resulting from current valuation of residential and commercial properties. The Belvedere Heights Phase II drainage program was completed in 2023. Several other projects are scheduled to break ground in 2024.

**OVERVIEW OF THE FINANCIAL STATEMENTS**

This discussion and analysis is intended to serve as an introduction to the Westgate CRA's basic financial statements. The CRA's basic financial statements are comprised of three components: (1) government-wide financial statements, and (2) fund financial statements and (3) notes to the financial statements. This report also contains other supplementary information in addition to the basic financial statements themselves.

**Government-wide financial statements:** The government-wide financial statements are designed to provide readers with a broad overview of the CRA's finances, in a manner similar to a private-sector business.

The statement of net position present information on Westgate CRA's assets and liabilities, with the difference between the two reported as net position. Over time, increases or decreases in net position may serve as a useful indicator of whether the financial position of the CRA is improving or deteriorating.

The Statement of Activities, and Changes in Net Position are the basic statements of activities. These statements provide the user information on the CRA's operating revenues and expenses, non-operating revenues and expenses and whether the CRA's financial position has improved or deteriorated as a result of each year's operations.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

**Fund Financial Statements:** A fund is a grouping of related accounts that is used to maintain control over resources that have been segregated for specific activities or objectives. The CRA uses fund accounting to ensure and demonstrate legal compliance with finance-related legal requirements. The CRA's fund consists only of one category, governmental funds.

*Governmental Funds.* The fund financial statements provide detailed information about the most significant funds – not the CRA as a whole. Accordingly, four (4) major funds are reported individually in the governmental funds, balance sheet and statement of revenue, expenditures and changes in fund balances. Major governmental funds for the year ended September 30, 2023, were:

- General Fund
- Capital Projects Fund
- Revenue Note, Series 2022 Project Fund
- Revenue Note, Series 2022 Debt Service Fund

**Notes to the Financial Statements:**

The notes to the financial statements provide additional information that is essential for a more complete understanding of the data provided in the government-wide and fund statements.

**Other Supplemental Information:** In addition to the basic financial statements and accompanying notes, this report also presents certain other required supplementary information. This includes budget versus actual comparisons for General Fund revenue and expenditures and certain pension related information. This information is presented immediately after the basic financial statements.



**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

**Government-wide financial analysis:**

As noted earlier, net position may serve as a useful indicator of the Westgate CRA financial position. The CRA's total net position increased to \$15,234,494 during fiscal year 2023 from \$15,160,351 during fiscal year 2022. A condensed summary of Westgate CRA's net position for the fiscal years 2023 and 2022 is presented below:

	2023	2022
<b>Assets</b>		
Current and other assets	\$ 15,633,500	\$ 3,943,558
Assets held for resale	3,156,949	4,080,449
Capital assets, net	7,736,792	7,923,600
<b>Total assets</b>	<b>\$ 26,527,241</b>	<b>\$ 15,947,607</b>
Deferred outflows from pension activities	93,209	102,590
<b>Liabilities</b>		
Other liabilities	\$ 291,193	\$ 133,441
Noncurrent liabilities - due within one year		
- Lease liability	76,345	75,774
Noncurrent liabilities - due in more than one year		
- Compensated absences	14,553	15,689
- Unearned Revenue	11,651	-
- Lease liability	212,111	288,455
- Note payable	10,348,079	-
- Net Pension liability	397,501	328,268
<b>Total liabilities</b>	<b>\$ 11,351,433</b>	<b>\$ 841,627</b>
Deferred inflows from pension activities	34,614	48,219
<b>Net Position:</b>		
Net investment in capital assets	\$ 7,448,337	\$ 7,559,371
Debt service	143,274	309,089
Community service	7,642,883	7,291,891
<b>Total net position</b>	<b>\$ 15,234,494</b>	<b>\$ 15,160,351</b>

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

Net position invested in capital assets, net of the related debt (approximately 49% and 50% of the CRA's total net position at September 30, 2023 and 2022, respectively) represent the CRA's investment in capital assets (e.g. land, construction in progress, office furniture, equipment, vehicle and infrastructure). The CRA uses these capital assets to provide services to its redevelopment community and consequently these assets are not available for future spending.

An additional portion of the CRA's net position (approximately 1% and 2% of the CRA's total net position at September 30, 2023 and 2022, respectively) represents resources that are subject to debt service restrictions on how they may be used.

The remaining balance of net position, (approximately 50% and 48% of the CRA's total net position at September 30, 2023 and 2022, respectively) is considered operations and community services. The CRA is constantly working annually to monitor net position balance. However, the CRA is holding assets (properties) for resale primarily for community redevelopment and to meet future operating needs.

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis**  
**For the Fiscal Year Ended September 30, 2023**

**Financial Analysis of the Statements of Net Position**

The following analysis summarized the changes in net position for the years ended September 30, 2023 and 2022:

	2023	2022
<b>Revenues:</b>		
Incremental property taxes	\$ 3,480,912	\$ 2,945,851
Grants	1,724,760	315,077
Interest	88,239	2,739
Rental income	32,340	34,044
Other	13,171	13,840
<b>Total revenues</b>	<u>\$ 5,339,422</u>	<u>\$ 3,311,551</u>
<b>Expenditures:</b>		
Community redevelopment	\$ 3,393,188	\$ 1,482,145
Redevelopment projects	1,144,396	1,959,675
Debt services:		
Principal	727,695	28,532
<b>Total expenditures</b>	<u>\$ 5,265,279</u>	<u>\$ 3,470,352</u>
Increase (decrease) in net position	74,143	(158,801)
Beginning net position:	<u>15,160,351</u>	<u>15,319,152</u>
Ending net position	<u><u>\$ 15,234,494</u></u>	<u><u>\$ 15,160,351</u></u>

Governmental activities increased the CRA's net position by \$74,143 representing an increase of \$232,944 from the prior year.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

As noted earlier, the Westgate CRA uses fund accounting to ensure and demonstrate compliance with finance related legal requirements.

At September 30, 2023, the CRA's governmental funds reported combined ending fund balance of \$18,487,695 is an increase of \$10,597,129 in comparison to that of the prior year.

The fund balance of the Debt Service Fund decreased \$165,815 for the year ended September 30, 2023. Total fund balance at September 30, 2023, amounted to \$143,274, of which all is designated to be used for future debt service.

The Capital Projects Fund was used to fund CRA improvements and projects. The year end fund balance of \$3,757,419 is an increase of \$3,231,283 in comparison to that of the prior year.

In comparing budgeted expenditures to actual expenditures, the following variances which exceed 10% of budget are considered noteworthy:

- Grant Income was \$8,500 over budget due to no amount included in budget.
- Interest income was \$72,642 over budget due to increase in interest rates funds maintained in Money Market account.
- Rental Income was \$7,340 over budget due to full occupancy of rental properties in fiscal 2023.
- Other income was \$13,171 over budget due to no amount included in budget.
- General government expenditures were \$116,190 under budget due to reduced neighborhood grants issued in fiscal year

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis**  
**For the Fiscal Year Ended September 30, 2023**

**Capital Assets**

During fiscal year 2023, the Westgate CRA's capital assets decreased \$186,808 due primarily to recording of depreciation and amortization expenses, purchase of three computers, fencing and retirement of old computers.

	10/01/22 Balance	Additions	Deletions	9/30/23 Balance
Capital assets not being depreciated:				
Land	\$ 3,924,003	\$ -	\$ -	\$ 3,924,003
<b>Total capital assets not Being depreciated</b>	<u>3,924,003</u>	<u>-</u>	<u>-</u>	<u>3,924,003</u>
Capital assets being depreciated:				
Office equipment and fixtures	131,330	15,252	(2,700)	143,882
Vehicle	12,831	-	-	12,831
Infrastructure	4,542,683	-	-	4,542,683
Leased asset - building	348,720	-	-	348,720
Leased asset - equipment*	44,042	-	-	44,042
Less accumulated amortization	(45,269)	(78,552)	-	(123,821)
Less accumulated depreciation	(1,034,740)	(123,508)	2,700	(1,155,548)
<b>Total capital assets Being depreciated, net</b>	<u>3,999,597</u>	<u>(186,808)</u>	<u>-</u>	<u>3,812,789</u>
<b>Total capital assets</b>	<u><u>\$ 7,923,600</u></u>	<u><u>\$ (186,808)</u></u>	<u><u>\$ -</u></u>	<u><u>\$ 7,736,792</u></u>

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis**  
**For the Fiscal Year Ended September 30, 2023**

**Capital Assets**

During fiscal year 2022, the Westgate CRA's capital assets increased \$423,565 due primarily to recording of leased assets – depreciation and amortization expenses, purchase of cameras for Oswego Oaks Park, fencing and completion of Oswego Avenue Dog Park.

	Restated* 10/01/21 Balance	Additions	Deletions	9/30/22 Balance
Capital assets not being depreciated:				
Land	\$ 3,924,003	\$ -	\$ -	\$ 3,924,003
Construction in progress	15,401	210,171	(225,572)	-
<b>Total capital assets not Being depreciated</b>	<u>3,939,404</u>	<u>210,171</u>	<u>(225,572)</u>	<u>3,924,003</u>
Capital assets being depreciated:				
Office equipment and fixtures	106,921	24,409	-	131,330
Vehicle	12,831	-	-	12,831
Infrastructure	4,317,111	225,572	-	4,542,683
Leased asset - building	-	348,720	-	348,720
Leased asset - equipment*	44,042	-	-	44,042
Less accumulated amortization	-	(45,269)	-	(45,269)
Less accumulated depreciation	(920,274)	(114,466)	-	(1,034,740)
<b>Total capital assets Being depreciated, net</b>	<u>3,560,631</u>	<u>438,966</u>	<u>-</u>	<u>3,999,597</u>
<b>Total capital assets</b>	<u><u>\$ 7,500,035</u></u>	<u><u>\$ 649,137</u></u>	<u><u>\$ (225,572)</u></u>	<u><u>\$ 7,923,600</u></u>

\* Restated for GASB 87, as of 10/1/21.

Additional information on the Westgate CRA's capital assets can be found in Note 4 – Capital Assets, in the notes to the financial statements.

**Long-Term Debt -**

During fiscal year 2023, the Agency authorized the issuance of the Redevelopment Revenue Note, Series 2022 in the principal amount of \$11,000,000 for the purpose of financing certain redevelopment projects. Additional information on the Agency's note payable can be found in Note 10 – Note Payable.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Management's Discussion and Analysis  
For the Fiscal Year Ended September 30, 2023**

**Economic Factors**

Westgate CRA, a component unit of Palm Beach County, FL, recognizes that local governments primarily rely on property taxes and fees to fund their governmental activities. There is a limited amount of state-shared revenue and recurring and non-recurring grants.

Florida Legislature has increased homestead exemptions and has required all taxing districts to roll back their ad valorem tax rates to meet State mandated caps. The CRA recognizes that future revenue are contingent on housing conditions and the current economy.

The CRA continues to monitor costs, seek other sources of revenue to balance our budgets accordingly. Additionally, our cash position has remained strong and we are holding assets (properties) that are available for resale.

**Request for Information**

This financial report is designed to provide a general overview of Westgate CRA's finances for all those interested. Questions concerning any of the information provided in this report or requests for additional information should be addressed to:

Finance Department  
Westgate CRA  
1280 N. Congress Avenue, Suite 215  
West Palm Beach, FL 33409

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Statement of Net Position**  
**For the Fiscal Year Ended September 30, 2023**

	Governmental Activities
<b>Assets</b>	
Cash and cash equivalent	\$ 2,074,372
Rent receivable	4,790
Grant receivables	1,716,260
Project advances	1,627,969
Prepaid expenses	22,938
Other assets	4,884
Restricted assets:	
Cash and cash equivalents	734,352
Project advances	9,447,935
Assets held for resale	3,156,949
Capital assets, net of depreciation	7,736,792
<b>Total assets</b>	<b>26,527,241</b>
Deferred outflows of resources from pension activities	93,209
<b>Liabilities</b>	
Accounts payable and accrued expenses	\$ 291,193
Noncurrent liabilities	
Due within one year	
Lease liability	76,345
Note payable	561,849
Due in more than one year	
Unearned revenue	11,561
Compensated absences	14,553
Lease liability	212,110
Note payable	9,786,230
Net pension liability	397,501
<b>Total liabilities</b>	<b>11,351,342</b>
Deferred inflows of resources from pension activities	34,614
<b>Net position</b>	
Net investment in capital assets	7,448,337
Restricted for:	
Debt service	143,274
Community Development	7,642,883
<b>Total net position</b>	<b>\$ 15,234,494</b>

See Notes to Financial Statements.



**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Statement of Activities**  
**For the Fiscal Year Ended September 30, 2023**

	Governmental Activities
Expenses:	
General government	\$ 3,393,188
Redevelopment projects	1,144,396
Retirement of principal	727,695
Total government activities	<u>\$ 5,265,279</u>
General revenues:	
Incremental property taxes	\$ 3,480,912
Grants	1,724,760
Interest	88,239
Rental income	32,340
Other	13,171
Total general revenues	<u>\$ 5,339,422</u>
Change in net position	74,143
Net position - beginning of year	15,160,351
Net position - end of year	<u><u>\$ 15,234,494</u></u>

See Notes to Financial Statements.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Reconciliation of the Governmental Funds Balance Sheet  
to the Statement of Net Position  
For the Fiscal Year Ended September 30, 2023**

Total fund balances - total governmental funds	\$ 18,487,695
Amounts reported for governmental activities in the statement of net assets are different because:	
Capital assets are \$9,016,161, net accumulated depreciation and amortization of (\$1,279,369) are not current financial resources and therefore are not reported in the governmental fund balance sheet.	7,736,792
Long-term liabilities are not due and payable in the current period and, therefore, are not reported in the governmental funds	
Compensated absences	(14,553)
Lease liability	(288,455)
Note payable	(10,348,079)
Accounting for the Agency's participation in the Florida Retirement System	
- the following amounts are reported in the Government-Wide Statements:	
Deferred outflows	93,209
Deferred inflows	(34,614)
Net pension liability	(397,501)
<b>Net position of governmental activities</b>	<b><u>\$ 15,234,494</u></b>

See Notes to Financial Statements.

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Balance Sheet**  
**Governmental Funds**  
**For the Fiscal Year Ended September 30, 2023**

	General	Capital Projects	Revenue Note, Series 2022 Project Fund	Revenue Note, Series 2022 Debt Service Fund	Total Governmental Funds
<b>Assets</b>					
Cash and cash equivalent	\$ 1,661,182	\$ 413,190	\$ 414,298	\$ 320,054	\$ 2,808,724
Rent receivable	4,790	-	-	-	4,790
Grant receivables	-	1,716,260	-	-	1,716,260
Project advances	-	1,627,969	9,447,935	-	11,075,904
Prepaid expenses	22,938	-	-	-	22,938
Assets held for resale	3,156,949	-	-	-	3,156,949
Other assets	4,884	-	-	-	4,884
<b>Total assets</b>	<b>\$ 4,850,743</b>	<b>\$ 3,757,419</b>	<b>\$ 9,862,233</b>	<b>\$ 320,054</b>	<b>\$ 18,790,449</b>
<b>Liabilities and fund balances</b>					
<b>Liabilities</b>					
Accounts payable and accrued expenses	\$ 114,413	\$ -	\$ -	\$ 176,780	\$ 291,193
Unearned revenue	11,561	-	-	-	11,561
<b>Total liabilities</b>	<b>125,974</b>	<b>-</b>	<b>-</b>	<b>176,780</b>	<b>302,754</b>
<b>Fund Balances</b>					
Nonspendable:					
Assets held for resale	3,156,949	-	-	-	3,156,949
Prepaid expenses	22,938	-	-	-	22,938
Restricted:					
Community Development	1,544,882	3,757,419	9,862,233	-	15,164,534
Debt service	-	-	-	143,274	143,274
<b>Total fund balances</b>	<b>4,724,769</b>	<b>3,757,419</b>	<b>9,862,233</b>	<b>143,274</b>	<b>18,487,695</b>
<b>Total liabilities and fund balances</b>	<b>\$ 4,850,743</b>	<b>\$ 3,757,419</b>	<b>\$ 9,862,233</b>	<b>\$ 320,054</b>	<b>\$ 18,790,449</b>

See Notes to Financial Statements.

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Statement of Revenues, Expenditures and Changes in Fund Balance**  
**Governmental Funds**  
**For the Fiscal Year Ended September 30, 2023**

	General	Capital Projects	Revenue Note, Series 2022 Project Fund	Revenue Note, Series 2022 Debt Service Fund	Total Governmental Funds
<b>Revenues:</b>					
Incremental property taxes	\$ 3,480,912	\$ -	\$ -	\$ -	\$ 3,480,912
Grants	8,500	1,716,260	-	-	1,724,760
Interest	73,242	-	-	14,997	88,239
Rental income	32,340	-	-	-	32,340
Other	13,171	-	-	-	13,171
<b>Total revenues</b>	<b>\$ 3,608,165</b>	<b>\$ 1,716,260</b>	<b>\$ -</b>	<b>\$ 14,997</b>	<b>\$ 5,339,422</b>
<b>Expenditures:</b>					
Current:					
General government	\$ 2,260,307	\$ 16,329	\$ -	\$ 64,525	\$ 2,341,161
Redevelopment projects	-	1,134,235	1,137,767	-	2,272,002
Debt service:					
Principal	75,774	-	-	651,921	727,695
Interest	3,948	-	-	382,235	386,183
<b>Total expenditures</b>	<b>2,340,029</b>	<b>1,150,564</b>	<b>1,137,767</b>	<b>1,098,681</b>	<b>5,727,041</b>
<b>Excess (deficiency) of revenues over expenditures</b>	<b>1,268,136</b>	<b>565,696</b>	<b>(1,137,767)</b>	<b>(1,083,684)</b>	<b>(387,619)</b>
<b>Other financing sources (uses):</b>					
Investment in capital assets	(2,850)	(12,402)	-	-	(15,252)
Operating transfer out:	(3,595,858)	-	-	-	(3,595,858)
Operating transfer in:	-	2,677,989	-	917,869	3,595,858
Issuance of note payable	-	-	11,000,000	-	11,000,000
<b>Total other financing sources (uses)</b>	<b>(3,598,708)</b>	<b>2,665,587</b>	<b>11,000,000</b>	<b>917,869</b>	<b>10,984,748</b>
<b>Net changes in fund balance</b>	<b>(2,330,572)</b>	<b>3,231,283</b>	<b>9,862,233</b>	<b>(165,815)</b>	<b>10,597,129</b>
Fund balance - beginning	7,055,341	526,136	-	309,089	7,890,566
Fund balance - ending	<b>\$ 4,724,769</b>	<b>\$ 3,757,419</b>	<b>\$ 9,862,233</b>	<b>\$ 143,274</b>	<b>\$ 18,487,695</b>

See Notes to Financial Statements.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Reconciliation of the Statement of Revenues, Expenditures and Change in  
Fund Balance of Governmental Funds  
For the Fiscal Year Ended September 30, 2023**

Net change in fund balance - total government funds	\$ 10,597,129
Amounts reported for governmental activities in the statement of activities are different because:	
Depreciation and amortization expenses on capital assets are reported in the government-wide statement of activities and changes in net assets, but they do not require the use of current financial resources. Therefore, depreciation and amortization expenses are not reported as expenditure in governmental funds.	(202,060)
Governmental funds report capital outlays as expenditures. However, in the statement of activities, the cost of capital assets is allocated over their estimated useful lives.	
Investment in capital assets	15,252
Repayment of leases is an expenditure in the governmental funds, but the repayment reduces long-term liabilities in the statement of net position	75,774
The issuance of long-term debt provides current financial resources to governmental funds, while the repayment of the principal of long-term debt consumes the current financial resources of governmental funds, neither transaction, has any effect on net position. The effect of the long-term debt and related items are as follows:	
Issuance of note payable	(11,000,000)
Principal repayment on note payable	651,921
Some expenses reported in the statement of activities do not require the use of current financial resource and, therefore not reported as expenditures in governmental funds.	
Net change in long-term compensated absences	1,136
Accounting for the Agency's participation in the Florida Retirement System:	
Adjustment of required contribution to net pension expense.	(65,009)
<b>Change in net position of government-wide statement of activities</b>	<b>\$ 74,143</b>

See Notes to Financial Statements.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies**

**A. Financial Reporting Entity**

The Board of Commissioners of the Palm Beach County, Florida (the "County") recognized that land areas within the County where development and redevelopment were critical to the growth of the County. Accordingly, the Commissioners formed the Westgate/Belvedere Homes Community Redevelopment Agency (the "Agency"). The creation of Agency allows tax increment finance to implement the provision of the County's Redevelopment Plan to rehabilitate the Redevelopment Area. The Westgate/Belvedere Homes Community Redevelopment Trust Fund was established on May 20, 1989, and the Agency began receiving Increment Revenues during the fiscal year 1989-90.

The Agency was created by ordinance 89-11 of the Board of County Commissioners of Palm Beach County Florida. On October 3, 2017 Palm Beach County's Board of County Commissioners (BOCC) approved the Agency's 2017 Amended Plan and extension from 2035 to 2047. Therefore, unless terminated by BOCC, the Agency and its Tax Increment Financing Trust Fund will stay in effect until October 3, 2047. However, the Resolution adopting the 2017 amended Plan establishes a shared revenue process that shall begin in 2036.

The financial reporting entity consists of the financial activities of the Agency.

The Board of Directors of the Agency is comprised of seven members appointed by Board of County Commissioners. The Executive Director is hired by the Agency's Board of Directors.

There are no component units, however, the Agency is a component unit of Palm Beach County, Florida.

**B. Measurement Focus, Basis of Accounting and Financial Statement Presentation**

The financial statements consist of the government-wide financial statements and fund financial statements. The government-wide financial statements include the statement of net position and the statement of activities. These statements report financial information for the Agency as a whole, using the economic resources measurement focus and the accrual basis of accounting.

The statement of activities report the expenses of a given function offset by program revenues directly connected with the functional program. A function is an assembly of similar activities and may include positions of a fund or summarize more than one fund to capture the expense and program revenues associated with a distinct functional activity. Program revenues include: (1) charges for services which report fees and other charges, (2) operating grants and contributions which finance annual operating activities including restricted investment income, and (3) capital grants and contributions which fund the acquisition, construction, or rehabilitation of capital assets. These revenues are subject to externally imposed restrictions to these programs' uses.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

Fund financial statements are provided for governmental funds. Major individual governmental funds are reported in separate columns.

The financial statements of the Agency are prepared in accordance with accounting principles generally accepted in the United States of America ("GAAP"). The reporting entity applies all relevant Governmental Accounting Standards Board ("GASB") pronouncements.

The government-wide financial statements apply Financial Accounting Standards Board ("FASB") pronouncements and Accounting Principles Board ("APB") opinion issued on or before November 30, 1989, unless those pronouncements conflict with or contradict GASB pronouncements, in which case, GASB prevails. The effect of interfund activities has been removed from these financial statements to avoid distorted financial results.

The government-wide financial statements are reported using the *economic resources measurement focus* and *accrual basis of accounting*. Revenues are recorded when earned and expenses are recorded when a liability is incurred, provided they are received within one year. Increment property tax revenues are recognized as revenues in the year for which they are levied. Grants and similar items are recognized as revenue as soon as all eligibility requirements have been met.

Governmental fund financial statements report uses the current financial resources measurement focus and the modified accrual basis of accounting. Since the governmental fund statements are presented on a different measurement focus and basis of accounting than the government-wide financial statements, reconciliations are necessary to explain the adjustments needed to transform the fund-based financial statements into the governmental activities column of the government-wide presentation. Revenues are recognized when they are both measurable and available. Available means collectible within the current period or soon enough thereafter to pay current liabilities. The Agency considers revenues to be available if they are collected within 60 days of the end of the fiscal year. Expenditures are recorded when the related fund liability is incurred. However, debt service, compensated absences and claims expenditures, are recorded only when payment is due.

Tax increments when levied for, grants, when all the eligibility requirements have been met and interest associated with the current fiscal period are all considered to be measurable and so have been recognized as revenues of the current fiscal period, if applicable. All other revenues are measurable upon receipt of cash and are recognized at that time.

Amounts reported as program revenue in the government-wide financial statements include operating grants. All revenue that are not program revenue are general revenue, and include all taxes, grants and investment earnings that are not restricted to a particular program. When both restricted and unrestricted resources are available for use, it is the Agency's policy to use restricted resources first, and then unrestricted resources as they are needed.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

Major Funds

The Agency reports the following major funds:

General Fund – the General Fund is the general operating fund. It is used to account for all current financial resources except those required to be accounted for in another fund of the Agency.

Capital Projects Fund – used to account for the resources segregated for the acquisition or construction of designated capital assets.

Revenue Note, Series 2022 Project Fund – accounts for the proceeds from the Series 2022 Tax Increment Revenue Note. The proceeds will be used for various capital improvement projects as outlined in the loan agreement.

Revenue Note, Series 2022 Debt Service Fund – used to account for the accumulation of resources for the repayment of long-term debt principal and interest of the series 2022 Tax Increment Revenue Note.

C. Cash and Cash Equivalents

Cash and cash equivalents consist of bank checking and savings accounts, carried at cost, and an investment in Florida PRIME, which is presented at fair value based on \$1 per trust share.

D. Restricted Assets

Certain proceeds and project advances from note payable, are classified as restricted assets in the government-wide statement of net position. Restricted assets are not required to be presented on the balance sheets of governmental funds under the modified accrual basis of accounting; however, certain assets of these funds are restricted as to use.

E. Capital Assets, Depreciation and Amortization

The Agency's property and equipment, with useful lives of more than one year, are stated at historical cost and are comprehensively reported in the government-wide financial statements.



**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

The Agency generally capitalizes assets with cost of \$1,000 or more as outlay occurs. The costs of normal maintenance and repairs that do not add to the asset value or materially extend useful lives are not capitalized. Capital assets are depreciated and amortized using the straight-line method. When capital assets are disposed, the cost and applicable accumulated depreciation or amortization are removed from the respective accounts, and the resulting gain or loss is recorded in operations. Estimated useful lives, in years, for depreciable assets are as follows:

	<u>Years</u>
Improvements	5
Furniture, fixture and equipment	4 – 5
Infrastructure	20 – 40
Lease Asset – Building	5
Lease Asset – Equipment	5

Lease Assets

Due to the implementation of GASB 87, lease assets are reported within the government-wide financial statement and valued at the future minimum lease payment. The lease assets are amortized using straight-line basis over the shorter of lease term or estimated useful of the underlying assets.

F. Deposits

All of the Agency's deposits are held in qualified public depositories pursuant to the Florida Statutes, Chapter 280, *Florida Security for Public Deposits Act* and are covered by either federal depository insurance or collateral held by the Chief Financial Officer of Florida.

In the event of a default by a qualified public depository, all claims for government deposits would be satisfied by the Chief Financial Officer of Florida from the proceeds of federal deposit insurance, pledged collateral of the public depository in default and, if necessary, a pro rata assessment to the other qualified public depositories in the collateral pool.

The Agency had total demand deposit of \$2,488,470 as of September 30, 2023.

G. Deferred Outflows/Inflows of Resources

In addition to assets, the statements of financial position will sometimes report a separate section for deferred outflows of resources. Deferred outflows of resources, represents a consumption of net position that applies to a future period and will not be recognized as an outflow of resources (expense/expenditure) until then. For the Agency, deferred outflows of resources are reported on the

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

government-wide statement of net position for pension. The deferred outflows of resources related to pension are explained in Note 9.

In addition to liabilities, the statements of financial position report a separate section for deferred inflows of resources. Deferred inflows of resources represent an acquisition of net position that applies to a future period and will not be recognized until that time. Deferred inflows of resources related to pension are reported on the government-wide statement of net position (See Note 11).

**H. Compensated Absences**

Compensated absences are absences for which employees will be paid, such as vacation, sick leave, and compensatory time. A liability for compensated absences that are attributable to services already rendered and that are not contingent on a specific event that is outside the control of the government and its employees is accrued as employees earn the rights to the benefits. Compensated absences that relate to future services or that are contingent on a specific event that is outside the control of the government and its employees are accounted for in the period in which such services are rendered or such events take place.

**I. Long-Term Obligations**

Long-term obligations such as lease and note payable are recorded at government-wide level for the governmental activities. Amount payable within one year are classified as noncurrent liabilities due within one year on the government-wide statement of net position.

**Leases**

Leases are contracts that convey control of a right to use another entity's nonfinancial asset (the underlying asset) for a period of time in an exchange or exchange-like transition. For leases with a maximum term of 12-months or less at the commencement date of the lease, the Agency recognizes rental income or expense as amounts become due under the lease agreement. The Agency, as a lessee, has lease agreements exceeding 12 months for office space and equipment, which are included in capital assets (note 5).

**Tax Increment Revenue Note**

In the fund-level financial statements, governmental funds report the face amount of debt issued as other financing sources. Debt issuance cost, principal and interest payments are reported as debt service expenditures. In the government-wide financial statements, long-term debt is reported as liabilities in the statement of net position.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

**J. Net Position**

Net position of the government-wide financial statements are categorized as invested in capital assets, net of related debt, restricted or unrestricted. The first category represents net position related to capital assets. The restricted category represents the balance of assets restricted by requirements of revenue bonds and other externally imposed constraints. The remaining amount is considered to be unrestricted. A deficit will require subsequent funding.

**K. Fund Balance**

Governmental funds report fund balances are classified either as nonspendable, or as spendable. Spendable fund balances are further classified based on the extent to which there are external and internal constraints on the spending of these fund balances. These classifications are described as follows:

Nonspendable Fund Balance – Amounts that cannot be spent because they are not in spendable form or legally or contractually required to be maintained intact.

Restricted Fund Balance – Amounts that are constrained for specific purposes which are externally imposed by creditors, grantors, contributors, or laws or regulations or imposed by laws through constitutional provisions or enabling legislation. The Agency is reporting restricted fund balances in the Capital Project and Debt Service Funds.

Committed Fund Balance – Amounts that are constrained for specific purposes imposed by the Agency's formal action of highest level of decision making authority.

Unassigned Fund Balance – Represents the residual positive fund balance within the General Fund, which has not been assigned to other funds and has not been restricted, committed, assigned. In funds other than the General Fund, unassigned fund balances are limited to negative residual balances.

For both reporting of fund balances and net position restricted when both restricted and unrestricted resources are available for expenditure, it is the Agency's policy to use restricted resources first, then unrestricted resources as they are needed. In spending unrestricted fund balances the Agency would first expend committed then assigned and unassigned resources.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

**L. Increment Property Tax Revenue**

The Agency's primary source of revenue is tax increment funds. This revenue is computed by applying the tax rate multiplied by the decreased value of property, located within the boundaries of the redevelopment areas of the Agency, in excess of the base property value, minus 5%.

**M. Use of Estimates**

The preparation of financial statements in conformity with generally accepted accounting principles requires management to make estimates and assumptions that affect the reported amounts of assets/deferred outflows of resources and liabilities/deferred inflows of resources and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from these estimates.

**N. Grants**

Unreimbursed expenditures due from grantor agencies and reflected in the basic financial statements as receivables and revenues. Grant revenues are recorded at the time eligible expenditures are incurred. Grant monies received prior to the occurrence of qualifying expenditures are generally recorded as unearned revenue.

**O. Assets Held for Sale**

Assets held for sale are recorded at lower of cost or realized value. See Note 6.

**P. Pensions**

In the government-wide statement of net position, liabilities are recognized for the Agency's proportionate share of each pension plan's net pension liability. For purposes of measuring the net pension liability, deferred outflows of resources and deferred inflows of resources related to pensions, and pension expense, information about the fiduciary net position of the Florida Retirement System (FRS) defined benefit plan and the Health Insurance Subsidy (HIS) defined benefit plan and additions to deductions from the FRS's and the HIS's fiduciary net position have been determined on the same basis as they are reported by the FRS and the HIS plans. For this purpose, benefit payments (including refunds of employee contributions) are recognized when due and payable in accordance with benefit terms. Investments are reported at fair value. See footnote 11 for additional information regarding the Agency's retirement plans and related amounts.

**Westgate/Belvedere Homes Community Redevelopment Agency  
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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 1. Summary of Significant Accounting Policies (Continued)**

**Q. Related Party Transactions**

The Agency is a component of Palm Beach County, Florida. For the year ended September 30, 2023, the Agency's increment revenues include \$3,480,912 received from the County.

**R. Impact of Recently Issued Accounting Principles**

**Recently Adopted Accounting Pronouncements**

In May 2022, GASB Statement No. 96, *Subscription-based Information Technology Arrangement*, will be effective for the Agency beginning with its year ending September 30, 2023. The primary objective of this statement is to provide guidance on the accounting and financial reporting for subscription-based information technology arrangements (SBITAs) for government end users (governments). Management is currently evaluating the impact of the adoption of this statement on the Agency's financial statements.

In April 2023, GASB Statement No. 99, *Omnibus 2023*, will be earliest effective for the Agency's year ending September 30, 2023. The primary objective is to enhance the comparability in accounting and financial reporting and to improve the consistency of authoritative literature by addressing (1) practice issues that have been identified during implementation and application of certain GASB Statements and (2) accounting and financial reporting for financial guarantees.

**Recently Issued Accounting Pronouncements**

In May 2019, GASB Statement No. 91, *Conduit Debt Obligations*, will be effective for the Agency's year ending September 30, 2024. The primary objectives of this Statement are to provide a single method of reporting conduit debt obligations by issuers and eliminate diversity in practice associated with (1) commitments extended by issuers, (2) arrangements associated with conduit debt obligations, and (3) related note disclosures. Management is currently evaluating the impact of the adoption of this statement on the Agency's financial statements.

In March 2022, GASB Statement No. 94, *Public-Private and Public-Public Partnerships and Availability Payment Arrangements*, will be effective for the Agency's year ending September 30, 2024. The primary objective of this Statement is to improve financial reporting by addressing issues related to public-private and public-public partnership arrangements. Management is currently evaluating the impact of the adoption of this statement on the Agency's financial statements.

In June 2023, GASB Statement No. 100, *Accounting Changes and Error Corrections-An Amendment of GASB Statement No. 62*, will be effective for the Agency's year ending September 30, 2024. The primary objective of this statement is to enhance accounting and financial reporting requirements for accounting changes and error corrections to provide more understanding, reliable, relevant, consistent,

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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

*Recently Issued Accounting Pronouncements (Continued)*

and comparable information for making decisions or assessing accountability. Management is currently evaluating the impact of the adoption of this statement on the Agency's financial statements.

In June 2023, GASB Statement No. 101, *Compensated Absences*, will be effective for the Agency's year ending September 30, 2025. The primary objective of this statement is to better meet the information needs of financial statement users by updating the recognition and measurement guidance for compensated absences. That objective is achieved by aligning the recognition and measurement guidance under a unified model and by amending certain previously required disclosures. Management is currently evaluating the impact of the adoption of this statement on the Agency's financial statements.

In December 2023, GASB Statement No. 102, *Certain Risk of Disclosure*, will be effective for the Agency's year ending September 30, 2025. The primary objective of this Statement requires a government to assess whether a concentration or constraint makes the primary government reporting unit or other reporting units that report a liability for revenue debt vulnerable to the risk of a substantial impact. Additionally, this Statement requires a government to assess whether an event or events associated with a concentration or constraint that could cause the substantial impact to have occurred, have begun to occur, or are more likely than not to begin to occur within 12 months of the date the financial statements are issued. Management is currently evaluating the impact of the adoption of this statement on the Agency's financial statements.

**S. Subsequent Events**

In preparing these financial statements the Agency has evaluated events and transactions for potential recognition or disclosure through February 14, 2024, the date the financial statements were available to be issued.

**Note 2. Cash and Cash Equivalents**

The Agency's policy is to follow the guidelines in Section 218.415, *Florida Statutes*, regarding the deposit of funds received and the investment of surplus funds. Section 218.415, *Florida Statutes*, authorizes the Agency to invest in the SBA Pool or any intergovernmental investment pool authorized pursuant to the Florida Interlocal Cooperation Act; Securities and Exchange Commission registered money market funds with the highest credit quality rating from a nationally recognized rating agency direct obligations of the United States Treasury; federal agencies and instrumentalities, or interest-bearing time deposits and savings account held in federal or state-chartered banks and savings and loan associations doing business in Florida, provided that any such deposits are secured by collateral as may be prescribed.

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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 2. Cash and Cash Equivalents (Continued)**

As of September 30, 2023, cash and cash equivalents included \$2,488,470 of cash on hand and cash deposited in banks and \$320,054 invested in Florida PRIME. Bank deposits are insured by the Federal Deposit Insurance Corporation or covered by the State of Florida collateral pool, a multiple financial pool with the ability to assess its members for collateral shortfalls if a member institution fails.

Effective July 21, 2010, the FDIC's insurance limits were permanently increased to \$250,000. As of September 30, 2023 the Agency had bank deposits in excess of the FDIC insurance in the amount of \$2,238,470.

The Agency's investments consist of money market funds in which shares are owned in the fund rather than the underlying investments. In accordance with GAAP, these amounts are reported at amortized cost. At the close of the fiscal year, the Agency held investments in the Local Government Surplus Funds Trust Fund ("Florida Prime") external investment pool. The Florida Prime is administered by the Florida State Board of Administration ("SBA"), who provides regulatory oversight. Florida Prime currently meets all of the necessary criteria set forth in GASB 79 to measure its investments at amortized cost; therefore, the Agency's account balance in the SBA is PRIME, although on the occurrence of an event that has a material impact on liquidity or operations of the fund, the fund's executive director may limit contributions or withdrawals from the trust fund for a period of 48 hours.

Florida PRIME was not exposed to any foreign currency risk during the period from October 1, 2022 through September 30, 2023. As of September 30, 2023 there were no redemption fees, maximum transaction amounts, or any other requirements that serve to limit a participant's daily access to 100 percent of their account value.

Interest Rate Risk Disclosure: The dollar weighted average days to maturity (WAM) of the Florida PRIME at September 30, 2023 is 35 days. Next interest rate reset dates for floating rate securities are used in the calculation of the WAM. The weighted average life (WAL) of Florida PRIME at September 30, 2023, is 75 days.

Credit risk: The SBA Florida PRIME is rated AAAM by Standard and Poor's. The Agency has an investment policy that limits investment credit risk by specifying authorized investments to be reviewed annually by the Agency's investment committee.

Custodial credit risk-investments: The Agency has an investment policy that limits custodial credit and interest rate risk by specifying authorized investments to be reviewed annually by the Agency's investment committee.

Concentration risk: 100% of investments are invested in the SBA. The Agency has an investment policy that limits investment concentration risk by specifying authorized investments to be reviewed annually by the Agency's investment committee.

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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 2. Cash and Cash Equivalents (Continued)**

Additional information regarding Florida Prime may be obtained from the Florida State Board of Administration at <https://www.sbafla.com/prime>.

**Note 3. Grant Receivable**

Grant receivable of \$1,716,260 is due from Palm Beach County relating only to the reimbursement of advance payments for the Belvedere Heights Phase I project. The project was funded by a pass-through grant from U.S. Department of Transportation through Florida Department of Transportation (FDOT). All project design and construction, including single audit reporting, are performed by Palm Beach County Engineering Department, per FDOT request.

**Note 4. Redevelopment Trust Fund**

The County, pursuant to Florida Statutes, Section 163.387 established a Community Redevelopment Trust Fund. Under terms of the enabling statute, each taxing authority not exempted by statute, which levies ad valorem taxes within the boundaries of the community redevelopment area as established by the County, must allocate to the trust fund a certain portion of tax revenue received from said area.

The amount is determined by levying the millage rate established by Agency against the increment between the assessment level in the year in which the trust fund was established and the current tax year.

During the year ended September 30, 2023, revenue of \$3,480,912 was recognized.



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**Notes to Financial Statements**  
**For the Fiscal Year Ended September 30, 2023**

**Note 5. Capital Assets**

Changes in capital assets during the year ended September 30, 2023 were as follows:

	Beginning Balance	Additions	Deletions	Ending Balance
Capital assets not being depreciated				
Land	\$ 3,924,003	\$ -	\$ -	\$ 3,924,003
<b>Total capital assets not         being depreciated</b>	<b>3,924,003</b>	<b>-</b>	<b>-</b>	<b>3,924,003</b>
Capital assets being depreciated:				
Office equipment and fixtures	131,330	15,252	(2,700)	143,882
Vehicle	12,831	-	-	12,831
Infrastructure	4,542,683	-	-	4,542,683
Lease Asset - Building	348,720	-	-	348,720
Lease Asset - Equipment*	44,042	-	-	44,042
Less accumulated amortization	(45,269)	(78,552)	-	(123,821)
Less accumulated depreciation	(1,034,740)	(123,508)	2,700	(1,155,548)
<b>Total capital assets         being depreciated, net</b>	<b>3,999,597</b>	<b>(186,808)</b>	<b>-</b>	<b>3,812,789</b>
<b>Total capital assets</b>	<b>\$ 7,923,600</b>	<b>\$ (186,808)</b>	<b>\$ -</b>	<b>\$ 7,736,792</b>

Depreciation and amortization expense for the year ended September 30, 2023 was \$123,508 and \$78,552, respectively.

**Note 6. Assets Held for Resale**

The Agency acquires for development property in economically depressed areas, for the intention of rendering the property suitable for economic development and then reselling it to private sector purchaser meeting certain criteria. Since these properties are acquired with the express intent of resale, they are reported at lower of cost or realizable value. Assets held for resale also include costs incurred to acquire the asset and prepare the assets for resale, such as purchase price, closing fees, surveys, lot

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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 6. Assets Held for Resale (Continued)**

cleaning, demolition, judgments levied through suits, cost of construction, permits and so on. Assets held for resale include land and buildings. Gains are recorded as charges for services in the government-wide statements and miscellaneous revenue in the fund financial statements and losses are recorded as community redevelopment expenses/expenditures.

During the year ended September 30, 2023, the year ended September 30, 2023, the Agency donated property held for resale to Palm Beach County. The cost of the donated property was \$923,500.

	Beginning Balance	Increase	Decrease	Ending Balance
Assets held for resale	\$ 4,080,449	\$ -	\$ (923,500)	\$ 3,156,949

**Note 7. Project Advances**

Project advances represent payments to Palm Beach County Engineering Department of \$11,075,904 for design and construction costs associated with four projects submitted for funding to the Transportation Planning Agency. Scope of work for projects include installation of streetlights, calming elements such as street parking, wider sidewalks, bike lanes, narrower lanes, and hardscape in the Belvedere Heights, Seminole Boulevard, Westgate Avenue Corridor and Cherry Road projects.

During the current year, \$9,447,935 of the total project advances were funded with the proceeds of the Series 2022, Tax Increment Revenue Note.

**Note 8. Compensated Absences**

The changes in long-term compensated absences for the year ended September 30, 2023 are summarized as follows:

	Beginning Balance	Additions	Deletions	Ending Balance
Compensated Absences	\$ 15,689	\$ 2,244	\$ (3,380)	\$ 14,553

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**Notes to Financial Statements  
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**Note 9. Lease Liabilities**

Lease agreements are summarized as follows:

<u>Lease Assets</u>	<u>Date</u>	<u>Payment Term</u>	<u>Monthly Payment</u>	<u>Implicit Interest Rate</u>	<u>Total Lease Liability</u>	<u>Balance Sept. 30</u>
Building	6/1/2022	5 years	\$ 5,396	4%	\$ 348,720	\$ 268,722
Equipment	3/20/2020	5.25 years	1,117	4%	44,041	19,733
Total Lease Liability						<u>\$ 288,455</u>

The building was leased with the terms noted above. This lease will not be renewed and the Agency will not acquire the building at the end of the lease.

The copier equipment was leased with the terms noted above. This lease is not renewable and the Agency will not acquire the equipment at the end of the lease.

Annual requirements to amortize long-term obligations and related interest are as follows:

<u>Fiscal Year Ending September 30:</u>	<u>Principal</u>	<u>Interest</u>
2024	\$ 76,345	\$ 6,551
2025	74,047	9,284
2026	66,450	10,615
2027	71,613	14,952
Total	<u>\$ 288,455</u>	<u>\$ 41,402</u>

**Note 10. Note Payable**

During the year, the Agency authorized the issuance of the Redevelopment Revenue Note, Series 2022 in the principal amount of \$11,000,000. Proceeds of the Note will be used to finance roadway improvement projects with the community redevelopment area established by Palm Beach County (the "County").

The Note will be repaid by tax increment revenue paid into the community redevelopment trust fund established by County ordinance. Interest rate on the principal amounts is 4.1%, and matures on May 1, 2037. As of September 30, 2023, principal balance was \$10,348,079.

**Westgate/Belvedere Homes Community Redevelopment Agency  
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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 10. Note Payable (Continued)**

The annual requirements to pay principal and interest on the note outstanding at September 30, 2023 are as follows:

Fiscal Year Ending September 30:	Principal	Interest	Total Required
2024	\$ 561,849	\$ 424,271	\$ 986,120
2025	584,885	401,235	986,120
2026	608,865	377,255	986,120
2027	633,829	352,291	986,120
2028	659,816	326,304	986,120
2029-2033	3,727,742	1,202,860	4,930,602
2034-2037	3,571,093	373,389	3,944,482
Total	<u>\$10,348,079</u>	<u>\$3,457,606</u>	<u>\$13,805,685</u>

Pledged Revenue -The tax increment revenue Note, Series 2022, is secured by a pledge of and first lien on the Pledged Increment Tax Revenue Funds. Revenue received from Palm Beach County, Florida in fiscal year 2023 was \$3,480,912.

**Note 11. Insurance Program**

**Risk Management**

The Agency is exposed to various risks of loss related to theft, damage to, and destruction of assets, errors and omissions; injuries to employees; and natural disasters. The Agency purchases commercial insurance for all material risks of loss to which the Agency is exposed, including general liability, property, automobile and workers compensation. A review of the last three years reveals that settled claims have not exceeded insurance coverage.

**Westgate/Belvedere Homes Community Redevelopment Agency  
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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 12. Commitments and Contingencies**

**Contingencies**

Grants – The Agency has received federal and local grants for specific purposes that are subject to audit by the grantor agencies. Entitlements to these resources are generally conditional upon compliance with the terms and conditions of grant agreements and applicable federal and state regulations, including the expenditure of resources for allowable purposes. Any disallowance resulting from a grantor audit may become a liability of the Agency. No provision for any liability that may result has been recognized in the Agency's financial statements.

**Note 13. Pension Plan**

As required by Governmental Accounting Standards Board Statement No. 68, *Accounting and Financial Reporting for Pensions* (GASB 68), this report includes the allocation of the collective net pension liability and associated pension expense, deferred outflows of resources and deferred inflows of resources for each of the participating employers in the system's cost-sharing, multiple employer defined benefit plans:

The Florida Retirement System (FRS) is a cost-sharing multiple-employer qualified defined benefit pension plan with a Deferred Option Program (DROP) available for eligible employees. The FRS was established, is administered, and may be amended in accordance with Chapter 121, Florida Statutes. Retirees receive a lifetime pension benefit with joint and survivor payment options. FRS membership is compulsory for employees filling regularly established positions in a state agency, county agency, state university, state community college, or district school board, unless restricted from FRS membership under sections 121.053 and 121.122, Florida Statutes, or allowed to participate in a non-integrated defined contribution plan in lieu of FRS membership. Participation by cities, municipalities, special districts, charter schools and metropolitan planning organizations is optional.

The Retiree Health Insurance Subsidy (HIS) Program is a non-qualified, cost-sharing, multiple-employer defined benefit pension plan established and administered in accordance with section 112.363, Florida Statutes. The Florida Legislature establishes and amends the contribution requirements and benefit terms of the HIS Program. The benefit is a monthly payment to assist eligible retirees and surviving beneficiaries of the state-administered retirement systems in paying their health insurance costs. Per Chapter 2023-193, Laws of Florida, the level of monthly benefits increased from \$5 times years of services to \$7.50, with an increased minimum of \$45 and maximum of \$225. This change applies to all years of service for both members currently in pay and members not yet in pay. To be eligible to receive a HIS benefit, a retiree under one of the state-administered retirement systems must provide proof of eligible health insurance coverage, which may include Medicare.

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**Notes to Financial Statements  
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**Note 13. Pension Plan (Continued)**

The Florida Department of Management Services, Division of Retirement (Division), is part of the primary government of the state of Florida and is responsible for administering the Florida Retirement System Pension Plan and Other State-Administered Systems (System). The Agency participated in two defined benefit plans administered by the Division. Beginning with the fiscal year ended June 30, 2014, the Division issued a publicly-available, audited comprehensive annual financial report (CAFR) on behalf of the System that includes financial statements, notes and required supplementary information for each of the pension plans. Detailed information about the plan is provided in the CAFR, which is available on line at:

[https://www.dms.myflorida.com/workforce\\_operations/retirement/publications](https://www.dms.myflorida.com/workforce_operations/retirement/publications)

The System's CAFR and actuarial reports may also be obtained by contacting the Division of Retirement at:

Department of Management Services  
Division of Retirement  
Research and Education Section  
P. O. Box 9000  
Tallahassee, FL 32315-9000  
850-907-6500 or toll free at 844-377-1888

**Benefits Provided**

Benefits under the Pension Plan are computed on the basis of age, average final compensation, and service credit. For Pension Plan members enrolled before July 1, 2011, Regular class members who retire at or after age 62 with at least six years of credited service or 30 years of service regardless of age are entitled to a retirement benefit payable monthly for life, equal to 1.6% of their final average compensation based on the five highest years of salary, for each year of credited service. Vested members with less than 30 years of service may retire before age 62 and receive reduced retirement benefits. Special Risk Administrative Support class members who retire at or after age 55 with at least six years of credited service or 25 years of service regardless of age are entitled to a retirement benefit payable monthly for life, equal to 1.6% of their final average compensation based on the five highest years of salary, for each year of credited service. Special Risk class members (sworn law enforcement officers, firefighters, and correctional officers) who retire at or after age 55 with at least six years of credited service, or with 25 years of service regardless of age, are entitled to a retirement benefit payable monthly for life, equal to 3.0% of their final average compensation based on the five highest years of salary for each year of credited service. Senior Management Service class members who retire at or after age 62 with at least six years of credited service or 30 years of service regardless of age are entitled to a retirement benefit payable monthly for life, equal to 2.0% of their final average compensation based on the five highest years of salary for each year of credited service. Elected Officers' class members who

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**Notes to Financial Statements  
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**Note 13. Pension Plan (Continued)**

retire at or after age 62 with at least six years of credited service or 30 years of service regardless of age are entitled to a retirement benefit payable monthly for life, equal to 3.0% (3.33% for judges and justices) of their final average compensation based on the five highest years of salary for each year of credited service.

For Plan members enrolled on or after July 1, 2011, the vesting requirement is extended to eight years of credited service for all these members and increasing normal retirement to age 65 or 33 years of service regardless of age for Regular, Senior Management Service, and Elected Officers' class members, and to age 60 or 30 years of service regardless of age for Special Risk and Special Risk Administrative Support class members. Also, the final average compensation for all these members will be based on the eight highest years of salary.

As provided in Section 121.101, Florida Statutes, if the member is initially enrolled in the Pension Plan before July 1, 2011, and all service credit was accrued before July 1, 2011, the annual cost-of-living adjustment is three percent per year. If the member is initially enrolled before July 1, 2011, and has service credit on or after July 1, 2011, there is an individually calculated cost-of-living adjustment. The annual cost-of-living adjustment is a proportion of three percent determined by dividing the sum of the pre-July 2011 service credit by the total service credit at retirement multiplied by three percent. Plan members initially enrolled on or after July 1, 2011, will not have a cost-of-living adjustment after retirement.

In addition to the above benefits, the DROP program allows eligible members to defer receipt of monthly retirement benefit payments while continuing employment with a FRS employer for a period not to exceed 60 months after electing to participate. Deferred monthly benefits are held in the FRS Trust Fund and accrue interest. There are no required contributions by DROP participants.

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**Notes to Financial Statements  
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**Note 13. Pension Plan (Continued)**

Contributions

The following membership classes and contribution rates, which apply to both the FRS Pension Plan and the FRS Investment Plan, were in effect at September 30, 2023:

<u>Membership Class</u>	<u>Employee Contribution Rate</u>	<u>Employer Contribution Rate*</u>
Regular	3.00%	13.57%
Special Risk	3.00%	32.67%
Senior Management	3.00%	34.52%
Deferred Retirement Option Program	N/A	21.13%

\* Employer contribution rates in the above table includes a 1.66% contribution for the Retiree Health Insurance Subsidy Program

The Agency's contributions to the FRS Plan totaled \$37,614 for the fiscal year ended September 30, 2023.

Pension Liabilities, Pension Expense, and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions

At September 30, 2023, the Agency reported a liability of \$259,306 for its proportionate share of the Pension Plan's net pension liability. The net pension liability was measured as of June 30, 2023, and the total pension liability used to calculate the net pension liability was determined by an actuarial valuation as of the valuation date. The Agency's proportionate share of the net pension liability was based on the Agency's 2022-23 fiscal year contributions relative to the 2021-22 fiscal year contributions of all participating members. At June 30, 2023, the Agency's proportionate share was .000650757 percent, which was an increase of .000015969 percent from its proportionate share measured as of June 30, 2022.



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**Notes to Financial Statements  
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**Note 13. Pension Plan (Continued)**

For the fiscal year ended September 30, 2023, the Agency recognized FRS pension expense adjustment of \$18,444. In addition, the Agency reported deferred outflows of resources and deferred inflows of resources related to pensions from the following sources:

Description	<u>Deferred Outflows of Resources</u>	<u>Deferred Inflows of Resources</u>
Differences between expected and actual experience	\$ 24,347	\$ -
Change of assumptions	16,904	-
Net difference between projected and actual earnings on Pension Plan investments	10,829	-
Changes in proportion and differences between Agency Pension Plan contributions and proportionate share of contributions	20,253	(18,519)
Agency's Pension Plan contributions subsequent to the measurement date	<u>8,694</u>	<u>-</u>
Total	<u>\$ 81,027</u>	<u>\$ (18,519)</u>

**Westgate/Belvedere Homes Community Redevelopment Agency  
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**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 13. Pension Plan (Continued)**

Deferred outflows of resources related to the FRS plan, resulting from contributions subsequent to the measurement date, will be recognized as a reduction of the net pension liability in the fiscal year ended September 30, 2023. The other amounts reported as deferred outflows of resources and deferred inflows of resources related to pensions will be recognized in pension expense in the following years:

Fiscal Year Ending September 30:	Amount
2024	\$ 7,334
2025	(2,905)
2026	44,008
2027	4,180
2028	1,197
Thereafter	-
Total	<u>53,814</u>

Actuarial Assumptions

The total pension liability in the June 30, 2023 actuarial valuation was determined using the following actuarial assumption, applied to all period included in the measurement:

Valuation date	July 1, 2023
Measurement date	June 30, 2023
Inflation	2.40 %
Salary increases	3.25%, including inflation
Long-term expected rate of return	6.70%, net of pension plan investment expense
Actuarial cost method	Individual entry age

Mortality rates were based on the PUB-2010 BASE table, projected generationally with scale MP-2018.

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**Notes to Financial Statements  
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**Note 13. Pension Plan (Continued)**

The actuarial assumptions used in the June 30, 2023 valuation were based on certain results of an actuarial experience study for the period July 1, 2013 through June 30, 2018.

The long-term expected rate of return on Pension Plan investments was not based on historical returns, but instead is based on a forward-looking capital market economic model. The allocation policy's description of each asset class was used to map the target allocation to the asset classes shown below.

Each asset class assumption is based on a consistent set of underlying assumptions and includes an adjustment for the inflation assumption. The target allocation and best estimates of arithmetic and geometric real rates of return for each major asset class are summarized in the following table:

Asset Class	Target Allocation (1)	Annual Arithmetic Return	Compound Annual (Geometric) Return	Standard Deviation
Cash	1.0%	2.9%	2.9%	1.1%
Fixed Income	19.8%	4.5%	4.4%	3.4%
Global Equity	54.0%	8.7%	7.1%	18.1%
Real Estate (Property)	10.3%	7.6%	6.6%	14.8%
Private Equity	11.1%	11.9%	8.8%	26.3%
Strategic Investments	3.8%	6.3%	6.1%	7.7%
Total	100.0%			
Assumed Inflation - Mean			2.4%	1.40%

(1) As outlined in the FRS Pension Plan's investment policy

**Discount Rate**

The discount rate used to measure the total pension liability was 6.70%. The Pension Plan's fiduciary net position was projected to be available to make all projected future benefit payments of current active and inactive employees. If future experience follows assumptions and the Actuarially Determined

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 13. Pension Plan (Continued)**

Contribution (ADC) is contributed in full each year. Therefore, the discount rate for calculation the total pension liability is equal to the long-term expected rate of return.

Sensitivity of the Agency's Proportionate Share of the Net Pension Liability to Changes in the Discount Rate

The following represents the Agency's proportionate share of the net pension liability calculated using the discount rate of 6.70%, as well as what the Agency's proportionate share of the net pension liability would be if it were calculated using a discount rate that is one percentage point lower (5.70%) or one percentage point higher (7.70%) than the current rate:

	1% Decrease (5.70%)	Current Discount Rate (6.70%)	1% Increase (7.70%)
Agency's proportionate share of the net positions liability	\$ 442,948	\$ 259,306	\$ 105,668

Pension Plan Fiduciary Net Position

Detailed information regarding the Pension Plan's fiduciary net position is available in the separately issued FRS Pension Plan and Other State-Administered Systems Comprehensive Annual Financial Report.

HIS Plan Contributions

The HIS Plan is funded by required contributions from FRS participating employers as set by the Florida Legislature. Employer contributions are a percentage of gross compensation for all active FRS members. For the fiscal year ended September 30, 2023, the HIS contribution for the period October 1, 2021 through June 30, 2022 and from July 1, 2022 through September 30, 2023 was 1.66%. The Agency contributed 100% of its statutorily required contributions for the current and preceding three years. HIS Plan contribution are deposited in a separate trust fund from which payments are authorized. HIS Plan benefits are not guaranteed and are subject to annual legislative appropriation. In the event legislative appropriation or available funds fail to provide full subsidy benefits to all participants, benefits may be reduced or cancelled.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 13. Pension Plan (Continued)**

The Agency's contributions to the HIS Plan totaled \$5,858 for the fiscal year ended September 30, 2023.

**Pension Liabilities, Pension Expense, and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions**

At September 30, 2023, the Agency reported a liability of \$138,195 for its proportionate share of the HIS Plan's net pension liability. The net pension liability was measured as of June 30, 2023, and the total pension liability used to calculate the net pension liability was determined by an actuarial valuation as of the valuation date. The Agency's proportionate share of the net pension liability was based on the Agency's 2022-23 fiscal year contributions relative to the 2021-22 fiscal year contributions of all participating members. At June 30, 2023, the Agency's proportionate share was .000870173 percent, which was an increase of .00000845 percent from its proportionate share measured as of June 30, 2022.

For the fiscal year ended September 30, 2023, the Agency recognized HIS pension expense adjustment of \$46,564. In addition the Agency reported deferred outflows of resources and deferred in flows of resources related to pensions from the following sources:

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 13. Pension Plan (Continued)**

Description	<u>Deferred Outflows of Resources</u>	<u>Deferred Inflows of Resources</u>
Differences between expected and actual experience	\$ 2,024	\$ (324)
Change of assumptions	3,633	(11,975)
Net difference between projected and actual earnings on HIS Plan investments	71	-
Changes in proportion and differences between Agency HIS Plan contributions and proportionate share of contributions	4,715	(3,796)
Agency Pension Plan contributions subsequent to the measurement date	<u>1,739</u>	<u>-</u>
Total	<u>\$ 12,182</u>	<u>\$ (16,095)</u>

Deferred outflows of resources related to the HIS Plan, resulting from the Agency's contributions to the HIS Plan subsequent to the measurement date, will be recognized as a reduction of the net pension liability in the fiscal year ended September 30, 2023. Other amounts reported as deferred outflows of resources and deferred inflows of resources related to the HIS Plan will be recognized in pension expense as follows:

Fiscal Year Ending September 30:	<u>Amount</u>
2024	\$ (988)
2025	(599)
2026	(996)
2027	(1,954)
2028	(1,035)
Thereafter	<u>(80)</u>
Total	<u>(5,652)</u>

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 13. Pension Plan (Continued)**

Actuarial Assumptions – The total pension liability in the July 1, 2023, actuarial valuation was determined using the following actuarial assumptions, applied to all periods included in the measurement:

Valuation date	July 1, 2023
Measurement date	June 30, 2023
Inflation	2.40%
Salary increases	3.25%, including inflation
Discount Rate	3.65%
Municipal bond rate	3.65%
Actuarial Cost Method	Individual Entry Age

Mortality rates were based on the Generational PUB-2010 with Projection Scale MP-2018.

Actuarial valuations for the HIS Program are conducted biennially. The July 1, 2023, HIS valuation is the most recent actuarial valuation and was used to develop the liabilities for the June 30, 2023, financial reporting. Liabilities originally calculated as of the actuarial valuation date have been recalculated as of a later GASB Measurement Date using standard actuarial roll forward procedures.

The actuarial assumptions that determined the total pension liability as of June 30, 2023 were based on certain results of an actuarial experience study for the period July 1, 2013 through June 30, 2018.

Discount Rate

The discount rate used to measure the total pension liability was 3.65%. In general, the discount rate for calculating the total pension liability under GASB 67 is equal to the single rate equivalent to discounting at the long-term expected rate of return for benefit payments prior to the projected depletion date. Because the HIS benefit is essentially funded on a pay-as-you-go basis, the depletion date is considered to be immediate. The single equivalent discount rate is equal to the municipal bond rate selected by the FRS Actuarial Assumption Conference. The change in discount rate is due to changes in the applicable municipal bond index.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Financial Statements  
For the Fiscal Year Ended September 30, 2023**

**Note 13. Pension Plan (Continued)**

Sensitivity of the Agency's Proportionate Share of the Net Position Liability to Changes in the Discount Rate

The following represents the Agency's proportionate share of the net pension liability calculated using the discount rate of 3.65%, as well as what the Agency's proportionate share of the net pension liability would be if it were calculated using a discount rate that is one percentage point lower (2.65%) or one percentage point higher (4.65%) than the current rate:

	1% Decrease (2.65%)	Current Discount Rate (3.65%)	1% Increase (4.65%)
Agency's proportionate share of the net positions liability	\$ 157,659	\$ 138,195	\$ 122,061

Pension Plan Fiduciary Net Position

Detailed information regarding the HIS Plan's fiduciary net position is available in the separately issued FRS Pension Plan and Other State-Administered Systems Comprehensive Annual Financial Report.



**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Required Supplementary Information**  
**Budget Comparison Schedule - (Unaudited)**  
**General Fund**  
**For the Fiscal Year Ended September 30, 2023**

	Budget Original/ Final	Actual	Variance Favorable (Unfavorable)
<b>Revenues:</b>			
Incremental property taxes	\$ 3,480,619	\$ 3,480,912	\$ 293
Grant	-	8,500	8,500
Interest	600	73,242	72,642
Rental income	25,000	32,340	7,340
Other	-	13,171	13,171
<b>Total revenues</b>	<u>3,506,219</u>	<u>3,608,165</u>	<u>101,946</u>
<b>Expenditures:</b>			
Current:			
General government	\$ 2,456,219	\$ 2,260,307	\$ 195,912
Debt Service:			
Principal	-	79,722	(79,722)
<b>Total expenditures</b>	<u>2,456,219</u>	<u>2,340,029</u>	<u>116,190</u>
Excess of revenues over expenditures	1,050,000	1,268,136	218,136
<b>Other financing sources (uses):</b>			
Investment in capital assets	-	(2,850)	(348,720)
Operating transfer in (out):	(1,250,000)	(3,595,858)	-
<b>Total other financing sources (uses)</b>	<u>(1,250,000)</u>	<u>(3,598,708)</u>	<u>-</u>
Net changes in fund balance	<u>\$ (200,000)</u>	<u>(2,330,572)</u>	<u>\$ 218,136</u>
Fund balance - beginning		<u>7,055,341</u>	
Fund balance - ending		<u>\$ 4,724,769</u>	

See Notes to Required Supplementary Information.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Required Supplementary Information  
Schedule of Proportionate Share of Net Pension Liability**

**For the Fiscal Year Ended September 30, 2023**

**Florida Retirement System**

	2023	2022	2021	2020	2019*	2018	2017**	2016	2015	2014
Proportion of the net pension liability (asset)	0.000650757	0.000634788	0.000614088	0.000528206	0.000742911	0.000763432	0.000741665	0.000714252	0.000751062	0.000756805
Proportionate share of the net pension liability (asset)	\$ 259,306	\$ 236,192	\$ 46,387	\$ 228,932	\$ 255,848	\$ 229,950	\$ 219,380	\$ 180,349	\$ 97,010	\$ 46,176
Covered-employee payroll	\$ 352,887	\$ 322,011	\$ 307,053	\$ 300,120	\$ 308,132	\$ 300,595	\$ 284,717	\$ 272,642	\$ 225,123	\$ 297,851
Proportionate share of the net pension liability (asset) as a percentage of its covered-employee payroll	73.48%	73.35%	15.11%	76.28%	83.03%	76.50%	77.05%	66.15%	43.09%	15.50%
Plan fiduciary net position as a percentage of the total pension liability	82.38%	82.89%	96.40%	78.85%	82.61%	84.26%	83.89%	84.88%	92.00%	96.09%

**Health Insurance Subsidy Program**

	2023	2022	2021	2020	2019	2018	2017	2016	2015	2014
Proportion of the net pension liability (asset)	0.000870173	0.000869328	0.000854184	0.000812188	0.000892173	0.000885052	0.000847238	0.000808229	0.000866528	0.001024079
Proportionate share of the net pension liability (asset)	\$ 138,195	\$ 92,076	\$ 104,779	\$ 99,167	\$ 99,825	\$ 93,675	\$ 90,591	\$ 94,196	\$ 88,372	\$ 95,754
Covered-employee payroll	\$ 352,887	\$ 322,011	\$ 307,053	\$ 300,120	\$ 308,132	\$ 300,595	\$ 284,717	\$ 272,642	\$ 225,123	\$ 297,851
Proportionate share of the net pension liability (asset) as a percentage of its covered-employee payroll	39.16%	28.59%	34.12%	33.04%	32.40%	31.16%	31.82%	34.55%	39.25%	32.15%
Plan fiduciary net position as a percentage of the total pension liability	4.12%	4.81%	3.56%	3.00%	2.63%	2.15%	1.64%	0.97%	0.50%	0.99%

Note 1: GASB 68 requires information for 10 years. However, until a full 10-year trend is compiled, information will be compiled for each year as it becomes available.

\*\* Net Pension Liability at 2017 was restated due to implementation of GASB 75.

See Notes to Required Supplementary Information.

**Westgate/Belvedere Homes Community Redevelopment Agency**  
**(A Component Unit of Palm Beach County, Florida)**

**Required Supplementary Information**  
**Schedule of Contributions - Pension Plans**

**For the Fiscal Year Ended September 30, 2023**

		Florida Retirement System									
		2023	2022	2021	2020	2019	2018	2017	2016	2015	2014
Contractually required contribution		\$ 37,614	\$ 35,484	\$ 26,228	\$ 20,522	\$ 22,094	\$ 21,757	\$ 19,307	\$ 17,418	\$ 18,312	\$ 16,577
Contributions in relation to the											
contractually required contribution		\$ (37,614)	\$ (35,484)	\$ (26,228)	\$ (20,522)	\$ (22,094)	\$ (21,757)	\$ (19,307)	\$ (17,418)	\$ (18,312)	\$ (16,577)
Contributions deficiency (excess)		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Agency's covered-employee payroll		\$ 352,887	\$ 322,011	\$ 307,053	\$ 300,120	\$ 308,132	\$ 300,595	\$ 284,717	\$ 272,642	\$ 225,123	\$ 297,851
Contributions as a percentage of covered-employee payroll		10.66%	11.02%	8.54%	6.84%	7.17%	7.24%	6.78%	6.39%	8.13%	5.57%

		Health Insurance Subsidy Program									
		2023	2022	2021	2020	2019	2018	2017	2016	2015	2014
Contractually required contribution		\$ 5,858	\$ 5,345	\$ 5,097	\$ 4,982	\$ 5,115	\$ 4,800	\$ 4,484	\$ 4,143	\$ 3,312	\$ 3,508
Contributions in relation to the											
contractually required contribution		\$ (5,858)	\$ (5,345)	\$ (5,097)	\$ (4,982)	\$ (5,115)	\$ (4,800)	\$ (4,484)	\$ (4,143)	\$ (3,312)	\$ (3,508)
Contributions deficiency (excess)		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Agency's covered-employee payroll		\$ 352,887	\$ 322,011	\$ 307,053	\$ 300,120	\$ 308,132	\$ 300,595	\$ 284,717	\$ 272,642	\$ 225,123	\$ 297,851
Contributions as a percentage of covered-employee payroll		1.66%	1.66%	1.66%	1.66%	1.66%	1.60%	1.57%	1.52%	1.47%	1.18%

Note 1: GASB 68 requires information for 10 years. However, until a full 10-year trend is compiled, information will be completed for each year as it becomes available. See Notes to Required Supplementary Information.

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

**Notes to Required Supplementary Information  
For the Fiscal Year Ended September 30, 2023**

**Budgetary Information**

The budget is adopted on a basis consistent with accounting principles generally accepted in the United States of America.

The Agency's Board of Directors adopts the ensuing year's operating budget prior to September 30th, each year. The budget includes proposed expenditures and the means of financing them. Budgets are adopted on a basis consistent with generally accepted accounting principles. The budget control is total expenditures since there are no departments.

**Pension Plan Schedules – See Note C:**

Benefit changes: There were no Florida Retirement System (FRS) benefit changes noted that affected the 2023 valuation.

Senate Bill 7024 increased the level of monthly benefits from \$5.00 time years of service to \$7.50, with an increased minimum of \$45.00 and maximum of \$225.00. This change applies to all years of service for both members currently in pay and members not yet in pay.

Changes in actuarial assumptions: The following change was noted that affected the 2023 assumptions:

- HIS: The municipal bond rate used to determine total pension liability was increased from 3.54% to 3.65%.



Zenora Kerr Ward, CPA

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### **Independent Auditor's Report on Internal Control Over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance with Government Auditing Standards**

To the Board of Directors  
of Westgate/Belvedere Homes  
Community Redevelopment Agency  
West Palm Beach, Florida

We have audited, in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in Government Auditing Standards, issued by the Comptroller General of the United States, the financial statements of the governmental activities and each major fund of Westgate/Belvedere Homes Community Redevelopment Agency (the "Agency"), a component unit of Palm Beach County, Florida, as of and for the year ended September 30, 2023, and the related notes to the financial statements, which collectively comprise the Agency's basic financial statements and have issued our report, thereon dated February 14, 2024.

#### ***Internal Control Over Financial Reporting***

In planning and performing our audit, we considered the Agency's internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinion on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the Agency's internal control. Accordingly, we do not express an opinion on the effectiveness of the Agency's internal control.

A deficiency in internal control exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A material weakness is a deficiency, or a combination of deficiencies, in internal control, such that there is a reasonable possibility that a material misstatement of the agency's financial statements will not be prevented, or detected and corrected, on a timely basis. A significant deficiency is a deficiency, or combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies and therefore, material weakness or significant deficiencies may exist that were not identified. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses may exist that have not been identified.

***Compliance and Other Matters***

As part of obtaining reasonable assurance about whether the Agency's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements, noncompliance with which could have a direct and material effect on the determination of financial statement amounts. However, providing an opinion on compliance with those provisions was not an objective of our audit and, accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

In addition, we issued a management letter to management of the agency dated February 14, 2024, as required by the rules of the Auditor General of the State of Florida.

***Purpose of this Report***

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the Agency's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the Agency's internal control and compliance. Accordingly, this communication is not suitable for any other purposes.

*Ward & Company, P.A.*

West Palm Beach, Florida  
February 14, 2024



Zenora Kerr Ward, CPA

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### MANAGEMENT LETTER OF INDEPENDENT AUDITOR'S REQUIRED BY CHAPTER 10.550, RULES OF THE AUDITOR GENERAL

To the Board of Directors  
of the Westgate/Belvedere Homes Community Redevelopment Agency:

#### ***Report on the Financial Statements***

We have audited the basic financial statements of the governmental activities and each major fund of Westgate/Belvedere Homes Community Redevelopment Agency, as of and for the fiscal year ended September 30, 2023, and have issued our report thereon dated February 14, 2024.

#### ***Auditor's Responsibility***

We conducted our audit in accordance with auditing standards generally accepted in the United States of America; the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States; and chapter 10.550, Rules of the Auditor General.

#### ***Other Reporting Requirements***

We have issued our Independent Auditor's Report on Internal Control over Financial Reporting and on Compliance and Other Matters based on an Audit of Financial Statements Performed in Accordance with Government Auditing Standards. Disclosures in that report, which is dated February 14, 2024, should be considered in conjunction with this management letter.

#### ***Prior Audit Findings***

- Section 10.554 (1)(i)1, The Rules of the Auditor General, requires that we determine whether or not corrective actions have been taken to address findings and recommendations made in the preceding annual financial audit report. There were no findings and recommendations made in the preceding annual financial audit report.

#### ***Official Title and Legal Authority***

- Section 10.554(1)(i)4, Rules of the Auditor General, requires that the name or official title and legal authority for the primary government and each component unit of the reporting entity be disclosed in this management letter, unless disclosed in the notes to the financial statement. Such disclosures are made in Note 1 of the Agency's Financial Statements. The official title of the entity is Westgate/Belvedere Homes Community Redevelopment Agency.

### ***Financial Condition and Management***

- Section 10.554(1)(i)5a and 10.556(7), Rules of the Auditor General, require us to apply appropriate procedures and communicate the results of our determination as to whether or not the Agency has met one or more of the conditions described in Section 218.503(1), Florida Statutes, and to identify the specific condition met. In connection with our audit, we determined that the Westgate/Belvedere Homes Community Redevelopment Agency did not meet any of the conditions described in Section 218.503(1), Florida Statutes.
- Pursuant to Sections 10.554 (1)(i)5b and 10.556(8), Rules of the Auditor General we applied financial condition assessment procedures for the Agency. It is management's responsibility to monitor the Westgate/Belvedere Homes Community Redevelopment Agency's financial condition, and our financial condition assessment was based in part on representations made by management and the review of financial information provided by the same. The financial condition assessment was done as of the fiscal year-end.
- Section 10.554 (1)(i)2, Rules of the Auditor General, requires that we communicate any recommendations to improve financial management. In connection with our audit, we did not have any such recommendations.

### ***Specific Information***

As required by Section 218.39(3)(c), Florida Statutes, and Section 10.554(1)(i)6, Rules of the Auditor General, the Agency reported:

- a. A total of 4 employees compensated in the last period of the Agency's fiscal year.
- b. A total of 7 independent contractors to whom nonemployee compensation was paid in the last month of the Agency's fiscal year.
- c. Compensation earned by or awarded to employees, whether paid or accrued, regardless of contingency totaled \$351,751 for the fiscal year.
- d. Compensation earned by or awarded to nonemployee independent contractors, whether paid or accrued, regardless of contingency totaled \$194,535 for the fiscal year.
- e. The following is a list of construction projects with a total cost of at least \$65,000 approved by the Agency that is scheduled to begin on or after October 1 of the fiscal year being reported:



Project Name	Project Expenditures for FYE 9/30/2023
Cherry Road - LAP	\$ 111,667

- f. A budget variance based on the budget adopted under Section 189.016(4), Florida Statutes, before the beginning of the fiscal year being reported on Required Supplementary Information Budget Comparison Schedule on page 46. There were no budget amendments during the fiscal year.

***Additional Matters***

- Section 10.554(1)(i)3., Rules of the Auditor General, requires us to communicate noncompliance with provisions of contracts or grant agreements, or abuse, that have occurred, or are likely to have occurred, that have an effect on the financial statements that is less than material but which warrants the attention of those charged with governance. In conjunction with our audit, we did not have any such findings.

***Purpose of This Letter***

Our management letter is intended solely for the information and use of the Legislative Auditing Committee, members of the Florida Senate and the Florida House of Representatives, the Florida Auditor General, Federal and other granting agencies and applicable management, and is not intended to be and should not be used by anyone other than these specified parties.

*Ward & Company, P.A.*

West Palm Beach, FL  
February 14, 2024

**Westgate/Belvedere Homes Community Redevelopment Agency  
(A Component Unit of Palm Beach County, Florida)**

Management Letter in accordance with the  
Rules of the Auditor General of the State of Florida

**Current Year Findings and Response**

**Current Year Findings:**

None noted.

**Prior Year Finding:**

None noted.

DRAFT



*Zenora Kerr Ward, CPA*

## **Ward & Company, P.A.**

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### **Independent Accountant's Report on Compliance Pursuant To Section 218.415 Florida Statutes**

The Board of Directors  
Westgate/Belvedere Homes  
Community Redevelopment Agency  
West Palm Beach, Florida

We have examined the policies, investment committee minutes and financial documents of Westgate Belvedere Homes Community Redevelopment Agency in compliance with Section 218.415, Florida Statutes, regarding the investment of public funds during the year ended September 30, 2023. Management is responsible for the Agency's compliance with those requirements. Our responsibility is to express an opinion on the Agency's compliance based on our examination.

Our examination was conducted in accordance with attestation standards established by the American Institute of Certified Public Accountants and, accordingly, included examining, on a test basis, evidence about the Agency's compliance with those requirements and performing such other procedures as we considered necessary in the circumstances. We believe that our examination provides a reasonable basis for our opinion. Our examination does not provide a legal determination on the Agency's compliance with specified requirements.

In our opinion, the Agency complied, in all material respects, with the aforementioned requirements for the year ended September 30, 2023.

This report is intended solely for the information and use of the Agency and the Auditor General, State of Florida, and is not intended to be and should not be used by anyone other than these specified parties.

*Ward & Company, P.A.*

West Palm Beach, Florida  
February 14, 2024



Zenora Kerr Ward, CPA

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### **Independent Accountant's Report on Compliance with Sections 163.387(6) and (7), Florida Statutes**

To the Board of Directors  
Westgate/Belvedere Homes Community  
Redevelopment Agency  
West Palm Beach, Florida

We have examined the Westgate/Belvedere Homes Community Redevelopment Agency (the Agency), a Component Unit of Palm Beach County, Florida compliance with Sections 163.387(6) and (7), Florida Statutes regarding the redevelopment trust fund during the year ended September 30, 2023. Management is responsible for the Agency's compliance with those requirements. Our responsibility is to express an opinion on the Agency's compliance based on our examination.

Our examination was conducted in accordance with attestation standards established by the American Institute of Certified Public Accountants and, accordingly, included examining, on a test basis, evidence about the Agency's compliance with those requirements and performing such other procedures as we considered necessary in the circumstances. We believe that our examination provides a reasonable basis for our opinion. Our examination does not provide a legal determination on the Agency's compliance with specified requirements.

In our opinion, the Agency complied, in all material respects, with the aforementioned requirements for the year ended September 30, 2023.

This report is intended solely for the information and use of the Florida Legislative Auditing Committee, members of the Florida Senate and the Florida House of Representatives, the Florida Auditor General, and the Board of Directors and management of the Agency, and is not intended to be and should not be used by anyone other than these specified parties.

*Ward & Company, P.A.*

West Palm Beach, Florida  
February 14, 2024

February 28, 2024

Elizee Michel, AICP, FRA-RA, HDFP  
Executive Director, Westgate CRA  
1280 North Congress Avenue  
West Palm Beach, FL 33409

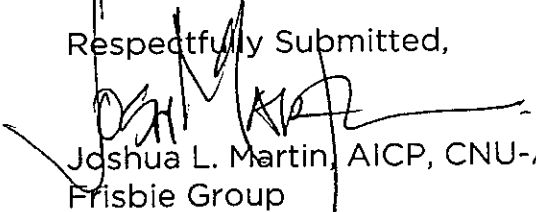
**RE: Project Lightspeed Central Lake Mitigation Bank Request**

Elizee:

I hope this letter finds you safe and well. Please accept this letter as our request to be placed on the March 11<sup>th</sup> Westgate CRA Board Meeting agenda to discuss a general update on the Conceptual Site Plans and Drainage Plans for Project Lightspeed. Per our recent communication with your team, it is our understanding that you recently received the modified permit from the South Florida Water Management District (SFWMD) regarding the Central Lake Mitigation Bank. It is our understanding that when the Central Lake Mitigation Bank was formed it was 23.6 acre-feet in capacity. Of that total, 17.3 acre-feet has been allocated to other redevelopment projects in the Westgate CRA—many of which are currently under construction. Today, 6.3 acre-feet remain in the Central Lake Mitigation Bank.

During the March 11<sup>th</sup> Westgate CRA Board Meeting, our team would like to discuss with the Board what portion of the remaining capacity of the Central Lake Mitigation Bank could be allocated to promote the redevelopment of Project Lightspeed. In order to facilitate this conversation, attached, please find the Conceptual Site and Drainage Plans for the subject property. In advance, we appreciate your assistance and thoughtful guidance in this matter.

Respectfully Submitted,



Joshua L. Martin, AICP, CNU-A  
Frisbie Group

Attachments

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Palm Beach, FL 33480

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removal and treatment such as exfiltration trench, dry detention area, grass swale, underground storage chambers and other facilities to accomplish the required removal rates.

### Compensating Storage

The site is located in the C-51 East Basin within SFWMD and Sub-Basins 39. This basin has an established flood plain elevation of 13.5' NAVD or 11.9' NAVD (also confirmed with the current FEMA base flood elevation). One of the requirements of the C-51 Basin is to review flood plain encroachment and provide compensating storage volumes for encroachment into the flood plain. Based on preliminary calculations, the project has been determined to be an exporter of stormwater discharge. Even though the project is an exporter, the development perimeter berms, site grading and on site and perimeter elevation transitions will benefit from utilizing any available basin storage that could be assigned to this property.

The Westgate CRA has been working with the SFWMD to inventory excess basin storage that was available and that could be justified through applications and studies prepared by the CRA consultants. Based on a recent meeting with the CRA's staff, they have indicated that the engineers for this project should work with the CRA's engineer to further pursue any additional storage that may be available or that could be allocated to this project. The amount of available storage will need to be determined in the future and a request to allocate this additional storage volume will need to be presented to the CRA board for approval.

### Discharge

The stormwater discharge rate for the project has been established by SFWMD for this basin. The C-51 Sub-Basin 39 establishes a maximum discharge rate of 35 CSM, based on the 10-year storm event. Based on the 42-acre project site, the discharge will be limited to 2.3 CFS. It is anticipated that the project will continue to discharge to the existing on-site ditch and to the existing drainage system on N. Congress Avenue via a 60" pipe running north-south on the west side of N. Congress Avenue.

### Finished Floor Elevation

The minimum finished floor elevation (FFE) is being established by FEMA elevation (11.9' NAVD or 13.5' NGVD) and by the SFWMD C-51 basin criteria (elevation 13.5' NGVD) for sub basin 39 based on the 100-year, 3-day storm event. Based on the results of the final drainage analysis, the final finished floor elevation may be higher than the minimum of 13.50' NGVD or 11.9' NAVD per the above criteria.

### FEMA Flood Zones

Parts of the site are located within Flood Zone AE, with a Base Flood Elevation of 11.9 NAVD. There is a small portion of the existing canal on the north side of the site that shows an elevation of 12.7 NAVD; however, the area is minimal in size and anticipated to be an error or applies to the land west of the existing ditch, refer to Appendix D for the latest FEMA flood map. The rest of the site is located within Zone X (Area of Minimal Flood Hazard) in accordance with the FEMA Flood Insurance Rate Maps for Palm Beach County, effective October 5<sup>th</sup>, 2017.

### The "Ditch"

The existing drainage ditch running along the west boundary will either need to remain or be piped. Preliminary calculations indicate that an 84" diameter Reinforced Concrete Pipe (RCP) may be installed to replace the north-south ditch. The pipe size has been estimated based on the size of the pipes connecting to the ditch from Belvedere Road, the two pipe crossings in the ditch and the size of the outfall pipe connecting to the existing drainage system on N. Congress Avenue. At locations where pipe crossings such as water main or sewer main are proposed, 2- 60" RCP diameter pipes may be required in order to cross over the pipes with shallow buried pipes and cross under with gravity sewer pipes. The installation may be located within the existing ditch and the ditch filled around the pipe. An alternative route could be considered that relocates the pipe elsewhere on site but the connections at Belvedere Road and at N. Congress Avenue would most likely need to remain at the present locations.

This analysis assumes that the ditch running east-west on the northern end of the 42-acre site would remain as a buffer between the 42-acres and the new PBKC site to the north. The east-west ditch could also be pipe.

All piping and/or changes to the conveyance system will need to be reviewed and approved by PBC since they have rights to the ditch within their existing 40' drainage easement and this conveyance system drains PBC roads and other off-site properties. Note that PBC may require additional access width beyond the 40' wide easement based on verbiage in the easement. The additional width will need to be reviewed with PBC in the future.

## Permits

The following civil permits/approvals are required for the project. Some permit reviews can run concurrently; however, other reviews are dependent on prior approvals from other jurisdictions. Below is a summary list of the required permits/approvals and anticipated review length based on our recent experience and subject to change.

### South Florida Water Management District (SFWMD)

- Master Conceptual Drainage Permit 5 – 6 Months
- Construction Environmental Resource Permit - Phase I 2 – 3 Months
- Construction Environmental Resource Permit - Phase II 2 – 3 Months
- Water Use Permit - Dewatering Permit 3 – 4 Months
- Water Use Permit – Irrigation 2 – 3 Months

### Florida Department of Environmental Protection (FDEP)

- State 404 Environmental Permit – Wetlands and WOTUS 5 – 6 Months
- Notice of Intent (NOI) – Phase I 1 Month
- Notice of Intent (NOI) – Phase II 1 Month

### Lake Worth Drainage District (LWDD)

- Drainage Connection Permit 2 – 3 Months

### Palm Beach County - Engineering

- Utility Permit – Phase I 2 – 3 Months
  - MOT Review
- Utility Permit – Phase II 2 – 3 Months
  - MOT Review
- Right-of-Way Permit – Phase I 2 – 3 Months
  - MOT Review
- Right-of-Way Permit – Phase II 2 – 3 Months
  - MOT Review

### Palm Beach County - Building

- Drainage Permit – Phase I 2 – 3 Months
- Drainage Permit – Phase II 2 – 3 Months
- Demolition Permit – Phase II 2 – 3 Months

### Palm Beach County - Fire Rescue

- Plan Review – Phase I 1 – 2 Months
- Plan Review – Phase II 1 – 2 Months

### Palm Beach County - Water Utilities Department (PBC WUD)

- Developer Agreement – Phase I (*a pre-requisite for permit approval*)
- Water and Sewer Plan Review – Phase I 3 – 4 Months
- Developer Agreement – Phase II (*a pre-requisite for permit approval*)
- Water and Sewer Plan Review – Phase II 3 – 4 Months

### Palm Beach County - Health Department (PBC HD)

- Water – Phase I 1 – 2 Months
- Water – Phase II 1 – 2 Months



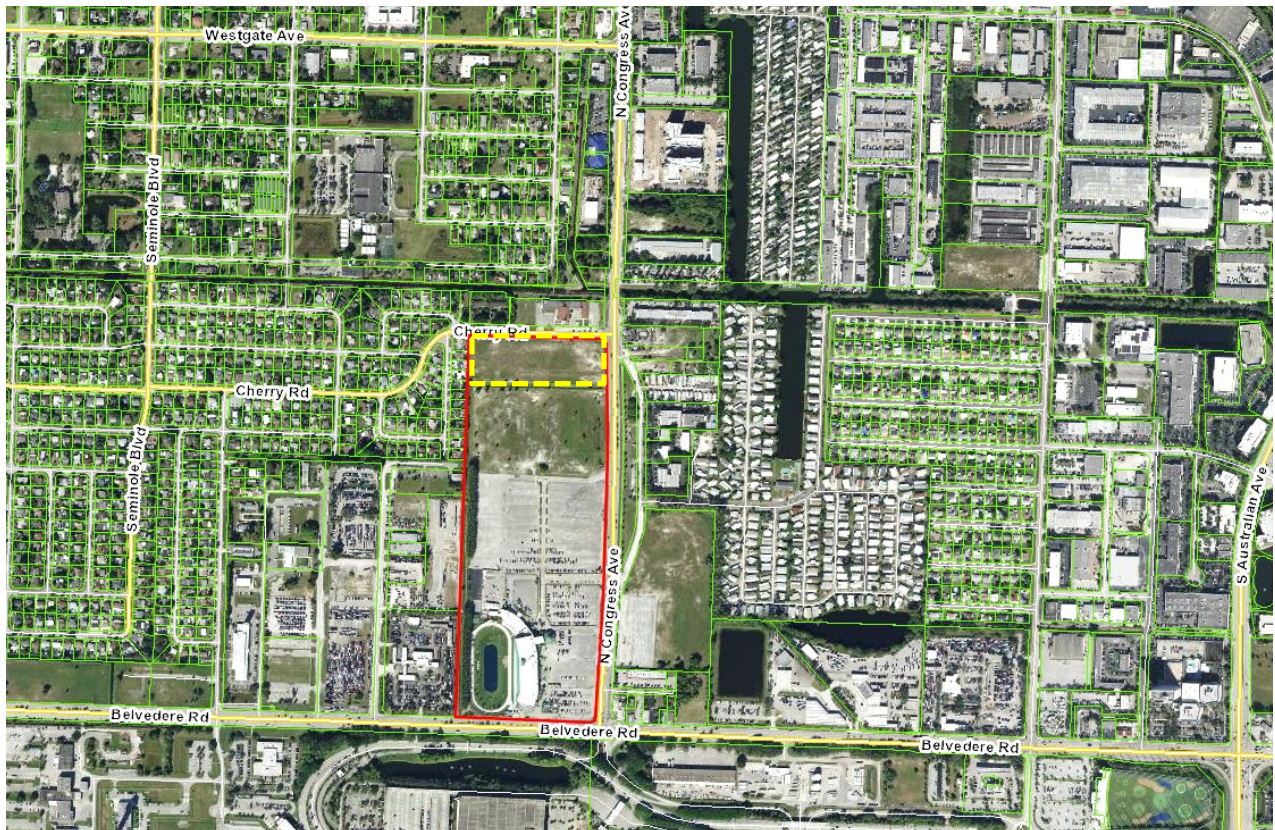
## Westgate CRA Board Meeting

November 13, 2023

### AGENDA ITEM SUMMARY

#### Palm Beach Kennel Club

Official Zoning Map Amendment (Rezoning), Class B Conditional Use for an Indoor Entertainment Use, DRO Approval for a Type 2 Restaurant Use, Concurrent Type 2 Variances, Subdivision Variance, Type 1 & 2 Waivers, Type 3 Kennel Use, WCRAO TCEA & Final DRO Site Plan Approval



#### Location Map

#### Site Background

The 47-acre Palm Beach Kennel Club site is located at 1111 N. Congress Ave., at the intersection of Congress Avenue at Belvedere Rd., directly north of the Palm Beach International Airport. The entire site, as it currently exists, extends along the west side of the Congress Avenue corridor

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from Belvedere Rd. to Cherry Rd. A plat waiver application to subdivide 5 acres from the northern portion of the site for the relocation of the Kennel Club facility is currently under review by the County. This newly subdivided 5-acre parcel is the subject of the application requests. The 42-acre balance of the overall site is under contract for residential/mixed-use redevelopment.



### Existing Conditions

The parcel is within the UG (Urban General) Sub-area of the WCRAO, and has a RH (Multifamily Residential) zoning district designation. The entire site has a Future Land Use designation (FLU) of CH/5 (commercial high with an underlying residential land use of 5 du's/acre). This portion of the Kennel Club site was never developed, and sits as a vacant greenfield. Zoning records indicate any existing approvals apply only to the CG-zoned portion of the larger 42-acre site. The parcel is the U/S (Urban/Suburban) Tier, the RRO (Revitalization and Redevelopment Overlay), the URA (Urban Redevelopment Area), and in the Westgate CCRT area.

To the north of the subject parcel is the Belvedere Baptist Church and a 6-building single-story multi-family apartment complex, respectively zoned RM/RH; the Place of Worship has an INST (Institutional) FLU and the multi-family use has an HR/12 FLU. The Belvedere Homes/Golfview Heights neighborhood, comprised of single-family homes, is to the west; several single-family homes fronting Hemlock Rd, back onto the subject parcel. The existing Kennel Club, Belvedere Rd., and beyond, PBIA, are to the south. The 42-acre Kennel Club property has a split zoning designation bisected just to the north of the second access road and parking lot. This northern portion, where the subject parcel lies, is roughly 1/3 of the site, and is within an RH (Multifamily

Residential) zoning district; to the south, the site has CG (Commercial General) zoning designation. Speedy's Tires is to the east, along Congress Avenue where it intersects the Old Congress slip Rd, is zoned CN/CG with a CH/8 FLU.

### **Proposed Development - Palm Beach Kennel Club Relocated New Facility**

The historic Palm Beach Kennel Club opened its doors in 1932, and has endured as a landmark institution in Palm Beach County for 92 years, owned and operated by the Rooney Family since 1970. Indoor entertainment, restaurant, gaming rooms, and simulcast and pari-mutuel betting operations continue today, however greyhound racing operations ceased in 2020. That same year, Camp Rusty, a Type 2 Kennel, and dog daycare use, was approved administratively. The grassy area of the site, just north of the parking lot, has been leased over the years to third party users for special events. Given its strategic location, the north parking lot was used to support a temporary uptick in local distribution needs during the pandemic. Today, the existing Kennel Club facility contains multiple uses within a 135,272 sf two story complex located at the southern end of the site, 93,450 sf without the dog track structure and grandstand. The complex is outdated, especially now, as the dog track itself is redundant. Surface parking dominates the site with 1,994 spaces provided to park each use plus additional overflow parking for employees, dog trainers, valet, and preferred guests. Perhaps half of the acreage that comprise the entire site are routinely actively used, leaving the remainder of the land vastly underutilized.

In the wake of the 2018 statewide referendum that banned greyhound racing, the owners of the Kennel Club began to reimagine their massive 58-acre land assemblage, which also included an 11-acre collateral parcel on the east side of Congress Avenue. In 2022, following the sale of this collateral land, entitlements were received to construct The Hangar & Airfield Business Park, "a unique private garage country club comprised of warehouse units for condominium ownership by automobile collectors", complemented by 84,000 sf of boutique car sales and auto repair uses in a separate warehouse. The project is currently under construction and scheduled for completion in summer 2024. The Kennel Club owners issued a closed solicitation in 2022 which invited select groups to envision the redevelopment of remaining 47-acre site. By the end of 2023, a proposer was selected, and two redevelopment projects emerged. Five acres are subdivided on the northern portion of the site for the relocation of the Kennel Club facility under the longtime ownership of the Rooney family, with 42 acres under contract for a separate redevelopment project by a local development group. The entitlements for both projects are proposed to run concurrently. But, the approval, and construction of the new, relocated Kennel Club facility is necessary to allow the larger redevelopment project to move forward with a phased development plan. The Kennel Club will maintain operations at its existing location while

the new facility is under construction. All 425 employees, with an estimated payroll of \$15 million annually, will be retained. The project has proposed build out of 2028.

The new Kennel Club facility will have a reduced footprint, with access points from Congress Ave and Cherry Rd. All existing operations will relocate into a 60,286 sf 2 story structure (Building 1) consisting of 33,425 sf of indoor entertainment (pari-mutuel and simulcast betting and game rooms), 21,922 sf of accessory office, and a 4,939 sf Type 2 restaurant. A public plaza and porte cochere provides an entry feature and covered access for valet service. 933 parking spaces are provided in a separate parking structure (Building 2), as well as a 5,271 sf Type 3 Dog Kennel, and a 1,733 sf dog run on the western edge of the building. Between both buildings is a memorial to mark the historic greyhound racing operations at the Kennel Club.

### **Summary of Petition**

To facilitate the development of the 5-acre property for the relocation of the Palm Beach Kennel Club facility, the agent for the applicant requests a recommendation of approval from the Westgate CRA for the following:

1. An Official Zoning Map Amendment (“Rezoning”) from the (RH) Multifamily Residential to a standard CG (Commercial General) zoning district;
2. Class B Conditional Use approval of +/- 33,425 sf of Indoor Entertainment Use;
3. DRO Administrative approval of a +/- 4,939 sf/108 seat Type 2 Restaurant Use;
4. Type 2 Variance relief from Table 3.B.14.F, WCRA Non-Residential & Mixed-Use PDRs:
  - a. A front setback of 72.4 ft, where 10-25 ft. is required, a variance of 47.4 ft;
  - b. A side street setback of 46.8 ft, where 10-25 is required, a variance of 21.8 ft; and,
  - c. Waive requirement to have longest side of building facing front façade, and placed at corner
5. A Subdivision Variance from Art. 11.E2.A.4 to allow access from Congress Avenue and Cherry Road, where access to the lower classification street is required;
6. Type 2 Waiver relief from Art. 5.E.5, Hours of Operation, to allow a 24-hour operation for a Type 3 Kennel, where hours are restricted when within 250 ft. of a residential use/FLU;
7. Type 1 Waiver relief from Art. 7.C.3.B, Foundation Planting and Dimensional Requirements to waive 40% of foundation planting on the south side of Building 1 to be relocated to east façade of Building 1; and,
8. A reallocation of 1,186 net daily trips, and 98 net pm peak hour trips, representing a reduction from vested daily and pm peak hour trips, to the WCRA Transportation Concurrency Exception Area (TCEA).





## **Staff Analysis & Review**

### **Consistency with the CRA Community Redevelopment Plan & WCRA Zoning Overlay UG Sub-area Intent**

The Palm Beach Kennel Club, relative to most other parcels in the redevelopment area, excepting those which are publicly owned and used for institutional or airport related uses, is the largest privately owned property within the CRA district boundaries. The Kennel Club site is a fixture in the Westgate/Golfview Heights neighborhood, pre-dating the creation of the Agency. The year-over-year economic impact on local tourism is an indicator of its enduring success. The Rooney's Golf Foundation is active within the community, generating nearly \$80,000 annually for local charities through various events. The PBKC has always been considered by the CRA and its Boards to be a 'redevelopment catalyst property', meaning the development or redevelopment of the site have the potential to define the trajectory and character of redevelopment not only along Congress Avenue, but in the district as a whole. The Kennel Club property is described in Section 3 of the CRA's 2017 Redevelopment Plan in the following manner: "The historic Palm Beach Kennel Club on Congress Avenue at Belvedere Road is the major landowner along the corridor holding a total of 58 acres of land...Future development and redevelopment of these large vacant parcels will dictate the future character of the corridor, and by ripple effect the entire redevelopment area." And again, in Section 4 of the Plan: "The expansion of the Kennel Club to include a casino, hotel, retail and residential is an ongoing objective of the owners, and an effort supported by the CRA. However, years of lobbying and attempts to amend State legislation that would loosen gambling regulations have, to date, proven unsuccessful. Looking to the future, the CRA must remain ever cognizant of the eventual development of Palm Beach Kennel Club lands

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when planning for housing, business recruitment, and streetscape design.” In the early 2000’s, the Kennel Club owners created a master planned vision for their site which included a mix of casino gambling and Jai-Lai entertainment areas, a hotel, high-density residential, and complimentary retail commercial and restaurant uses. Through this vision, the property which now under construction as The Hangar, would have been developed with an off-site parking structure to include a transit station and ancillary neighborhood commercial uses. Market forces and local demand dictated a different direction. The Hangar site was perfectly positioned to attract a light industrial developer, since no comparable land is generally available for such development in most areas of the County’s urban areas, and location is key for the end-user. To date, 80% of the ‘hangars’ available for purchase are reserved prior to construction completion.

The CRA’s Redevelopment Plan vision for the Congress Avenue corridor and the intent of the WCRAO UG Sub-area, establishes Congress Avenue as an “additional redevelopment area allowing for mixed use development with more intense commercial and residential uses, including multi-story towers where feasible”. The extraordinary redevelopment potential of the site given its location adjacent to PBIA, near I-95, and downtown West Palm Beach is captured and supported by the WCRAO zoning overlay. The UG Sub-area allows for the development of high intensity commercial and high-density residential land uses, with the availability of up to 150 DUs/ac of additional residential density through the WCRAO DBP, PDR’s that allow structures to reach heights not permitted elsewhere in unincorporated PBC, reduced landscape buffers, setbacks, and parking standards, and language that permits and encourages mixed use.

The relocation to a new modern facility on a smaller site with consolidated structured parking will allow the redevelopment of the larger 42-acre site as the type of residential/mixed use project the CRA’s Redevelopment Plan and the Zoning overlay has always envisioned. The relocated Kennel Club will bolster the CRA’s TIF, which allows the Agency to continue redevelopment activities that benefit the entire community. Following the public announcement of the redevelopment of the Kennel Club site, the CRA saw a sharp increase in interest and enthusiasm from real estate investment and development groups. This interest is shining a light on the redevelopment area and the potential it holds, and will ideally generate cascading economic development and ancillary uses.

### **Consistency with ULDC Standards for Official Zoning Map Amendments**

The proposed rezoning is generally consistent with the purposes, goals, objectives and policies of the Comprehensive Plan. The applicant has provided adequate justification for the rezoning request pursuant to the standards of ULDC Art. 2 and Art. 3.B.14.D.2. for location, proposed

design, site configuration, intensity or density to ensure the appropriateness, and compatibility of the use with its surrounding land uses. The project is also compatible with the ULDC, has no adverse impact on the natural environment, and is consistent with new Congress Avenue development patterns that support massing and height. The project complies with the maximum 0.85 FAR provided in TABLE 2.2-e.1 of the Future Land Use Element. Rezoning to CG is justified by the site's future land use and proposed intensity of uses and is generally consistent with policies for infill development outlined in the Comprehensive Plan. The project is also supported by FLUE Sub-Objective 1.2.3, WCRAO.

In rezoning to a standard zoning district, the site will be governed by WCRAO zoning overlay PDRs and standards. There is some benefit: building coverage may be expanded, landscape buffers are reduced, height may be increased. But, UG-Sub-area building placement requirements do not necessarily fit the operational design of the new Kennel Club facility, leading to the need for Type 2 Variance relief. A rezoning to Multiple Use Planned Development (MUPD) may be better suited to capture the impact to traffic, the mix of uses, and build in a more flexible development model for compatible uses, parking ratios, site design, access, and architecture. Rezoning to MUPD requires a site and proposed development to meet certain ULDC thresholds to qualify; the newly carved-out 5-acre parcel has a narrow frontage at just 188 linear feet, where an MUPD requires a lot frontage or width of 300 linear feet. The ULDC provides a path to allow an MUPD on narrow sites with sub-standard frontage that considers infill development: BCC approval of a Type 2 Waiver, and in the case of this site, a subsequent ZC approval of a Type 2 Variance to reduce the frontage requirement. The project does not neatly fit into either an MUPD or CG zoning, and waivers and variances are necessary to allow the site to be configured for the commercial uses to develop. At the time of CRA review for recommendation, the application proposes a rezoning to CG. CRA staff will review the project as it is designed, with WCRAO PDRs under the framework of the CG zoning district. Once formally submitted, the Zoning Division will determine the best direction for entitlements.

### **Consistency with WCRAO UG Sub-area Use Regulations**

Table 3.B.14.E, WCRAO Use Regulations, is silent on all proposed uses, so approvals processes revert to the Zoning District Use Matrices and Supplementary Standards of Art.4. All uses are permitted on the 1<sup>st</sup> and 2<sup>nd</sup> floor in the UG Sub-area. Indoor Entertainment, defined in the ULDC as, "an establishment offering recreational opportunities or games of skill to the general public for a fee in a wholly enclosed building." is the use classification proposed to encompass the Kennel Club's range of gaming rooms and e-betting seats, is considered a Class B Conditional use when square footage exceeds 3,000 sf.; the Kennel Club's indoor entertainment use is





and depth of 100 ft. is required in the UG Sub-area. A building footprint or coverage of 54% is provided. The UG Sub-area limits building coverage to 40%, unless all parking is provided curbside or in a parking structure. Since the site plan includes a 4-story parking structure to the rear of the principal building, the building coverage may be increased to 60%.

Building placement in the UG Sub-area requires a front and side street build to line (BTL) range of 10-25 ft. The site is configured to provide valet parking via one way access point on Cherry Rd. with driveway queuing and circulation to the front of Building 1 fronting Congress Avenue, where a porte cochere and public plaza creates a grand entry for patrons. The existing Kennel Club uses a similar front entry approach and layout, but a valet parking design prohibits compliance with front and side street setbacks. The front setback proposed is 72.4 ft, and the side street setback is 46.8 ft., requiring relief through a Type 2 Variance process. The applicant argues that historic operation of this use, which has always provided valet parking services from the front of the building, is special condition that is unique to the site and the use. The WCRAO offers relief from the build to line requirement through an optional public plaza or square, and while the applicant has attempted to meet the intent of this provision by providing this amenity to complement the indoor entertainment use, and although the edge of the porte cochere sits close to 25 ft from the new base building line, the plaza itself is not designed to allow the remainder of the façade to sit on the 25 ft maximum BTL. Further, the dimensional requirements for this provision are not met, so it is not applicable as an exception to the BTL. Another mechanism in the WCRAO that offers relief from the front build to line is a ROW/Easement Exception provision which would allow the build to line to be adjusted by the DRO to accommodate requirements such as ROW buffers, safe sight triangles, or utilities easements. However, the provision does not contemplate or exempt a valet parking queuing driveway, and so not a viable option.

The south side setback is 47 ft., where a minimum of 15 ft. is required, and a 55.9 ft. setback is provided at the rear, where 25 ft. is required. A minimum building frontage, meant to create building massing and presence is also required in most Sub-area. The UG Sub-area has a 60% building frontage requirement; a 74% building frontage provides ideal presence and massing. The UG Sub-area allows for a maximum building height of 240 ft. or 20 stories. The new Kennel Club facility is proposed at 2 stories, or 39.8 ft. in height. The parking structure is proposed to accommodate 4 levels of parking spaces, and house the Type 2 Kennel. The parking structure is designed to not exceed the building height of the primary structure at 39.8 ft. Building depth must be a minimum of 30 ft.; 215 ft. is proposed for the primary structure, and 457 ft. is proposed for the parking structure.



A landscape plan was not submitted to the CRA for review, but the site plan shows buffer locations and widths. Preliminary architecture includes renderings which depict lush groundcover and landscaping along the Congress Avenue frontage and within the public plaza feature. The site is adjacent to residential uses and residential zoning districts as well as commercial uses. WCRAO landscape deviations do extend to the UG Sub-area. Foundation planting may be deleted along any façade with a required build to line. The applicant is requesting Type 1 Waiver relief from Art. 7.C.3.B, Foundation Planting and Dimensional Requirements to waive 40% of foundation planting on the south side of Building 1, proposed to be relocated to the east or Congress Avenue façade. The reason is clear: the south side of the primary structure is where the ‘back of house’ loading areas and dumpster enclosures are located. Front and side street ROW buffers, and incompatibility buffers may be reduced by 50% in the UG Sub-area. The front ROW buffer is reduced to 10 ft. wide; the east ROW buffer, along Cherry Rd., is reduced to 7.5 ft. The south incompatibility buffer, which separates the 5-acre Kennel Club site from the larger 42-acre site is reduced. The west incompatibility buffer remains intact at 15 ft. to provide adequate buffering between the parking structure and the single-family residences to the west.

## Architecture & Design



**Preliminary Architectural Rendering - view from Congress Ave.**

The Palm Beach Kennel Club is well designed in all aspects, with attention to detail and, amenities, all meant to attract a specific end-user. Even though the new facility is not licensed as a casino, as no slot machines are offered, the design of the exterior of the building is meant to

mimic the grand architecture of casinos. Arcadis has designed a modern, minimalist building; a massive update to the character and style of the existing facility. The color palette is modern white and grey, accented with vertical standing lines on the façade that draw the eye up, and create visual interest. The porte cochere entry, oversized at 2,640 sf, is meant to command attention. The design speaks to the angles of historic original Kennel Club sign, which will be relocated to the new site. A wall mounted sign with the same architectural elements is also proposed. Spandrel windows provide the appearance of windows, yet the overall design does not include any real fenestration beyond what is located at the primary entrance. In designing casinos, museums, galleries, or even big-box stores, architects use the exclusion of daylight, and the absence of interior clocks, to create a sense of ‘temporal distortion’ in guests that encourages continued consumption.



**Kennel Club signage -historic existing monument sign (left); proposed new wall signage (right)**

Building entrance orientation in the UG Sub-area requires the 1<sup>st</sup> floor principal entrance to be oriented towards the street used for the primary frontage. The Kennel Club facility is using Congress Avenue as the primary frontage, and the building is designed with a grand porte cochere entrance along the Congress Avenue, so the main entrance orientation complies. A secondary entrance at the rear of the building is provided for those utilizing the parking structure. A third entry is provided on the north façade. A public plaza, proposed along Congress Avenue, promotes

community involvement, and connection to the pedestrian public realm. No preliminary architecture for the parking structure was provided for CRA review.

### **Access & Parking**

Main access to the site is from Cherry Rd. The first access point is a one-way ingress just west of the of Chery Rd. median which serves as an entry to the Belvedere Homes/Golfview Heights neighborhood, to the valet queuing lane. This driveway circulates around the front of the primary structure to an egress point on Congress Ave., or along the south side of the primary structure towards parking. The second Cherry Rd. access point is an ingress/egress linking directly to the parking structure. The majority of traffic trips will utilize this access point. A third access point is proposed at the south end of the site from Congress Ave. which will allow dedicated access for deliveries. A driveway circulates along the entire southern property line, with access at three locations to the parking structure. This driveway eventually loops around the west side of the parking structure to a one-way egress onto Cherry Rd. The applicant is requesting a Subdivision Variance from Art. 11.E2.A.4 to allow access from Congress Avenue and Cherry Road, where access to the lower classification street is required. This request would allow access to the site and one-way egress on Congress Avenue to reduce the impact of traffic on the surrounding residential area. In requiring all access to and from the property on Cherry Rd., the amount of traffic into the residential neighborhood is increased. Allowing an access point on Congress Avenue for the new Kennel Club facility creates a more efficient traffic distribution and allows the both redevelopment projects to have individual access. The site is over-parked with 439 spaces required, and 993 provided. All parking is contained within the 4-level parking structure.

### **Drainage & Traffic Considerations**

All properties along Congress Avenue in the CRA district are within the C-51 drainage basin, and all development projects must comply with SFWMD requirements for historical compensating storage. The site is a vacant greenfield, and 100% pervious. The drainage study provided with the application documents summaries the plan for legal positive outfall in the following way: “The site appears to receive stormwater from the adjacent properties to the north, south, and west. The overall basin draining to the property is about 0.91 acres. In order to avoid creating drainage issues along these property lines, swales and yard drains will be proposed to incorporate this offsite flow from the adjacent properties into the onsite stormwater management system. The proposed outfall location for development of the property is the existing drainage canal on the property to the south.” Compensating storage is to be addressed through exfiltration trench, dry detention, and possible underground storage vaults. No onsite retention is provided on the site plan.

When the WCRA Transportation Concurrency Exception Area (TCEA) was created, daily and pm peak hour trips for existing development, including those for the Kennel Club, were vested in the base analysis. TCEA thresholds for daily and pm peak trips only apply to development that occurred following the creation of the traffic concurrency exception area as TE Policy 1.2-r. in the County's Comprehensive Plan. A traffic study is submitted with the application documents. No ITE trip generation data exists that best categories the Kennel Club use, so a trip generation study was performed at existing site, based on current square footage and use mix. Daily trips for the existing facility are 3,973 with 328 pm peak hour trips. When the Kennel Club operations included daily dog racing, those daily traffic counts would have been much higher. This traffic data is also based on an existing building footprint that is larger than what is proposed at the relocated facility, where operations are scaled down and consolidated. The anticipated traffic impact the new facility is 2,787 daily and 230 pm peak hour trips. This represents a reduction of 1,186 daily and 98 pm peak hour which will be reallocated to the WCRA TCEA trip pool. Since the reduction derived from the original use on the same site, CRA staff will set aside the returned trips for use by larger 42-acre redevelopment project.

### **Staff Recommendation**

Staff supports a CRA Board recommendation of **approval** for the following application requests:

1. An Official Zoning Map Amendment ("Rezoning") from the (RH) Multifamily Residential to a standard CG (Commercial General) zoning district;
2. Class B Conditional Use approval of +/- 33,425 sf of Indoor Entertainment Use;
3. DRO Administrative approval of a +/- 4,939 sf/108 seat Type 2 Restaurant Use;
4. Type 2 Variance relief from Table 3.B.14.F, WCRA Non-Residential & Mixed-Use PDRs:
  - a. A front setback of 72.4 ft, where 10-25 ft. is required, a variance of 47.4 ft;
  - b. A side street setback of 46.8 ft, where 10-25 is required, a variance of 21.8 ft; and,
  - c. Waive requirement to have longest side of building facing front façade, and placed at corner
5. A Subdivision Variance from Art. 11.E2.A.4 to allow access from Congress Avenue and Cherry Road, where access to the lower classification street is required
6. Type 2 Waiver relief from Art. 5.E.5, Hours of Operation, to allow a 24-hour operation for a Type 3 Kennel, where hours are restricted when within 250 ft. of a residential use/FLU;
7. Type 1 Waiver relief from Art. 7.C.3.B, Foundation Planting and Dimensional Requirements to waive 40% of foundation planting on the south side of Building 1 to be relocated to east façade of Building 1;

8. A reallocation of 1,186 net daily trips, and 98 net pm peak hour trips, representing a reduction from vested daily and pm peak hour trips, to the WCRA Transportation Concurrency Exception Area (TCEA); and,
9. Any additional waivers or variances needed to bring the site into compliance with the ULDC, and allow the project to move forward.





Palm Beach County Zoning Division  
2300 N. Jog Road  
West Palm Beach, Florida 33411  
Phone: (561) 233-5200  
Fax: (561) 233-5165

GENERAL APPLICATION  
PUBLIC HEARING AND DRO ADMINISTRATIVE PROCESSES

1. REQUEST(S)

✓ Check Type(s) of Application Request(s) and complete as applicable:

PUBLIC HEARING REQUESTS:

- ☐ Official Zoning Map Amendment from \_\_\_\_\_ Zoning District to \_\_\_\_\_ Zoning District
- ☐ With a Concurrent Land Use Amendment from \_\_\_\_\_ Land Use to \_\_\_\_\_ Land Use
- ☐ Class A Conditional Use (CA) for \_\_\_\_\_
- ☐ Class B Conditional Use (CB) for: \_\_\_\_\_
- ☐ Development Order Abandonment (ABN) of Resolution No: \_\_\_\_\_ which allowed \_\_\_\_\_
- ☐ Expedited Application Consideration (EAC) for: \_\_\_\_\_
- ☐ Development Order Amendment (DOA) to a previously approved:

☐ COZ    ☐ PDD/TDD    ☐ Class A    ☐ Class B    ☐ Other: \_\_\_\_\_

☐ To modify and/or delete Conditions of Approval;

☐ To reconfigure Plan(s)    ☐ Master    ☐ Site    ☐ Subdivision

☐ Landscape    ☐ Regulating    ☐ Sign Plan

☐ To add and/or delete square footage;

☐ Other: \_\_\_\_\_

☐ To add and/or delete land area;

☐ To add and/or delete units;

☐ To add, delete, or modify Uses;

☐ To add access points;
- ☐ Type 2 Variance: (Submit Form #43 Variance Supplemental)    Concurrent ☐    Standalone ☐
- ☐ Subdivision Variance: (Submit Form #43 Variance Supplemental)    Concurrent ☐    Standalone ☐
- ☐ PO Deviations: (Submit Form #92 PO Deviation) from Article(s) \_\_\_\_\_
- ☐ Pre-Application Conference (PAC) IRO or PRA:    With Questions?    ☐ Yes    ☐ No
- ☐ Type 2 Waiver: (Submit Form #19 Waiver Supplemental)    Concurrent ☐    Standalone ☐
- ☐ Unique Structure: \_\_\_\_\_
- ☐ Other: \_\_\_\_\_

DRO ADMINISTRATIVE REQUESTS:

- ☐ Expedited Development Review Officer approval (DROE) (within 2 months of BCC/ZC approval)
- ☐ Use subject to Development Review Officer (DRO) approval for \_\_\_\_\_
- ☐ Pre-Application Conference (PAC) - Concurrent Review:    With Questions?    ☐ Yes    ☐ No
- ☐ Type 2 Concurrent Review:    ☐ with Building Permit # \_\_\_\_\_ or ☐ with Plat, Name/No. \_\_\_\_\_
- ☐ Type 3 Concurrent Review (Zoning, Land Development and Building)
- ☐ Administrative Modification to a Plan approved by the ZC / BCC / DRO for \_\_\_\_\_
- ☐ Administrative Abandonment (ABN) of a DRO Approval \_\_\_\_\_
- ☐ Subdivision \_\_\_\_\_
- ☐ Transfer of Development Rights (TDR) (Submit Form #16 TDR Supplemental) \_\_\_\_\_
- ☐ Type 1 Waiver (Submit Form #19 Waiver Supplemental) from Article \_\_\_\_\_ for \_\_\_\_\_
- ☐ Other \_\_\_\_\_

2. APPLICANT INFORMATION

Current Property Owner(s) Name: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_  
State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

Applicant’s name (if other than property owner(s): \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_  
State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_  
Email Address: \_\_\_\_\_

☐ Check (✓) here if Applicant is a contract purchaser. Consent is required from the contract purchaser if a contract is pending to purchase the subject property. Home Owners Association (HOA) or Property Owners Association (POA) consent will be required if subject property is under common ownership or request is to modify any aspect of the project which applies to the entire development (i.e. condition of approval, internal roadway, etc.)

Agent:\* \_\_\_\_\_ Name of Firm: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell Phone #: \_\_\_\_\_  
Email Address: \_\_\_\_\_

Agent:\* \_\_\_\_\_ Name of Firm: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Cell Phone #: \_\_\_\_\_  
Email Address: \_\_\_\_\_

\* All correspondence will be sent to the Agent(s) unless otherwise specified.

3. PROPERTY INFORMATION (\* Required Fields)

A. *Property Control Number (PCN): <i>(List additional PCN(s) on separate sheet)</i>	
B. *Control Number:	
C. *Control Name :	
D. Application Number:	
E. *Application Name:	
F. Project Number:	
G. *Gross Acreage:	
H. Gross Acreage of affected area:	
I. *Location of subject property: <i>(proximity to closest major intersection/ road)</i>	
J. *Address:	
K. *BCC District:	
L. Overlay (Special Study Area):	
M. Tier	<input type="checkbox"/> U/S <input type="checkbox"/> R/EX <input type="checkbox"/> AGR <input type="checkbox"/> GLADES

4. LAND USE AND ZONING INFORMATION

Current Future Land Use designation:		Proposed Future Land Use designation:	
Current Zoning District:		Proposed Zoning District:	
Existing Use(s):		Proposed Use(s):	
Existing Square Footage:		Proposed Square Footage:	
Existing Number of Units:		Proposed Number of Units:	

5. ARCHITECTURAL REVIEW

*This application is subject to the requirements of Article 5.C, Design Standards and request review of the proposed elevations concurrent with:*

- ☐ Type 1 Projects Requiring BCC Approval
- ☐ Type 2 Projects Requiring ZC Approval
- ☐ Type 3 Projects Requiring DRO or Site Plan Approval
- ☐ Type 4 Projects Requiring Building Permit Approval

**This application also includes request(s) for Elevation review and consideration, as indicated below:**

- ☐ Revise previously approved Elevations;
- ☐ Non-conforming structures that are subject to Article 5.C, Percentage of Renovations;
- ☐ Approval for Green Architecture (*Type 1 Waiver*, Art.5.C.1.E.3)
- ☐ Approval for Unique Structure (Art.5.C.1.E.2)

**Note:** *All application documents shall be consistent with the current Technical Manual, refer to the Zoning Web Page.*

6. ADJACENT PROPERTIES								
Complete the chart below to identify the Use and Zoning information for the surrounding properties to the project.								
Adjacent Property	FLU	Zoning District	Existing Use (Res, Comm, Ind, etc.)	Approved Use (Res, Comm, Ind, etc.)	Existing Sq. ft. or DU/AC	Approved Sq. ft. or DU/AC	Control # (FKA Petition #)	Resolution # R _
EAST								
NORTH								
SOUTH								
WEST								

7. COMPLIANCE		
YES <input type="checkbox"/>	NO <input type="checkbox"/>	Is the property in compliance with all previous Conditions of Approval and applicable Code Requirements? <i>If no, please explain in the Justification Statement.</i>
YES <input type="checkbox"/>	NO <input type="checkbox"/>	Is the property currently the subject of Code Enforcement action? <i>If yes, provide Code Enforcement Case Number: _____</i>
YES <input type="checkbox"/>	NO <input type="checkbox"/>	Will the request require modification(s) to a recorded plat or plat with Technical Compliance? <i>If yes, explain in the Justification Statement.</i>
YES <input type="checkbox"/>	NO <input type="checkbox"/>	Is the subject property an existing legal lot of record? <i>If no, submit Legal Lot Review Application to the Land Development Division.</i>
YES <input type="checkbox"/>	NO <input type="checkbox"/>	Does the proposed improvements exceed the allowable improvement value of the existing structure as identified in ULDC, Article 1? <i>If yes, comply with Article 1.F – Nonconformities.</i>

8. PROPOSED USE DETAILS					
Building Name	Use(s) (as per ULDC)	Square Footage	Number of Units	Phase Name	Outparcel



9. CONCURRENCY			
Concurrency Reservation <input type="checkbox"/>		Concurrency Equivalency <input type="checkbox"/>	
Concurrency Exemption <input type="checkbox"/>			
A. Water Provider:			
B. Waste Water Provider:			
C. Drainage District:			
D. Traffic Provider:		Traffic Trips Existing:	
E. Mass Transit Provider:		Traffic Trips Proposed:	
F. Traffic Capacity:		Number of Gross Peak Hour Trips = <i>(If greater than 30; a traffic study will be required)</i>	
G. Public School:			
H. Public Health Provider:		Well /Septic tank :	
I. Parks			
J. Fire Rescue			
K. Solid Waste:			
L. Check the proposed means of achieving access from the development site to a point of Legal Positive Outfall for storm water discharged from the site: <input type="checkbox"/> Property is contiguous to a natural waterway, or a canal owned and operated by a water control district. <input type="checkbox"/> Property owner has legally established drainage rights to convey storm water through all intervening properties between the development site and natural waterway or water control district canal. <input type="checkbox"/> Property abuts a road with a functioning drainage system, and property owner has obtained written confirmation from the entity responsible for maintaining the road that the proposed development is eligible to utilize the road drainage system, subject to meeting all permit requirements for drainage connection. <input type="checkbox"/> Other (specify): _____			

10. ENVIRONMENTAL ANALYSIS	
ENVIRONMENTAL RESOURCE MANAGEMENT (ERM) – Art. 14.B.8.C	
Is there Native Vegetation on Site?	<input type="checkbox"/> Yes <input type="checkbox"/> No If yes; a <b>Pre-Application Appointment</b> with ERM is required; Enter date of PAA meeting with ERM _____;
General Vegetation Statement:	
Existing and Proposed Grade/Elevation where existing Native Vegetation is to be preserved:	
Is site in a Wellfield protection zone?	<input type="checkbox"/> Yes <input type="checkbox"/> No If yes; submit <b>Wellfield Protection Affidavit</b> , available from ERM
HEALTH DEPARTMENT – Art.15	
In Justification Statement, under heading “Hazardous Material”, address type(s) and amount of: <b>1)</b> all industrial, manufacturing, special or hazardous waste that may be generated; <b>2)</b> airborne pollutants that may be generated (i.e. dust or other unconfined particulates such as NOx, SOx, CO, VOC’s, heavy metals, etc.); and, <b>3)</b> any special handling of solid waste that may be required.	

**This application is not complete without the following documents as attachments:**

1. **Justification Statement:** to address the purpose, project history, intent and design objectives of this request, refer to Art.2.A.6.A.1 for the required information.
2. **Status of Conditions of Approval (COA):**

a. Provide letter/document which includes the status of all current Conditions of Approval;

b. Include the exact language for any modification(s) to any Condition of Approval;

c. If the application request requires time extension for Commencement of Development or recording a Plat, then provide further explanation. (This explanation may be added to the Justification Statement.)

**Note:** Please refer to PZB Zoning Website for all ULDC Articles <http://www.pbcgov.com/uldc/index.htm> referenced in this document and the Technical Manual for helpful information <http://www.pbcgov.com/techmanual/index.htm>



TYPE 2 VARIANCE SUPPLEMENTAL APPLICATION

Variance applications may be submitted separately or concurrently with a request for a Development Order (DO) unless determined by the DRO that the variance is subject to a Standalone Application, and must be approved prior to the submittal of the DO application.

☐ To allow **TYPE 2 VARIANCE:**

☐ Concurrent☐ Standalone

☐ for the reduction or increase in \_\_\_\_\_

☐ for the elimination of \_\_\_\_\_

☐ for \_\_\_\_\_

☐ To allow **SUBDIVISION VARIANCE:**

☐ Concurrent☐ Standalone

☐ for \_\_\_\_\_

Applicant must complete the chart below with the information requested for each variance. If there are more than five (5) variances requested, please provide the information on a separate sheet of paper.

ULDC CODE SECTION	REQUIRED	PROPOSED	VARIANCE

Building Permit # (If applicable): \_\_\_\_\_

Code Violation Notice # (If applicable): \_\_\_\_\_

TYPE 2 VARIANCE STANDARDS (Art.2.B.7.E.6)

The Palm Beach County Unified Land Development Code (ULDC) Article 2.B.7.E.6, requires a statement of special reason or the basis for the variance(s) required. Article 2.B.7.E states that in order to authorize a variance, the Zoning Commission shall and must find that all seven criteria listed in Art.2.B.7.E.6 have been satisfied by the Applicant prior to making a motion for approval of a Zoning or Subdivision Variance. These seven Standards are one of the factors staff uses in formulating their recommendations and opinions. **The Applicant must address each standard separately and completely in the Justification Statement and submit as an attachment.** (Refer to Art.2.B.7.E.6, Standards for Zoning or Subdivision Variance).





1

RENDERING VIEW – CORNER OF CONGRESS AVE AND CHERRY ROAD

A3.00

SCALE: N.T.S.



2

RENDERING VIEW – CORNER OF CONGRESS AVE AND CHERRY ROAD – EVENING

A3.00

SCALE: N.T.S.

CLIENT  
**PALM BEACH KENNEL CLUB**  
1111 CONGRESS AVENUE  
WEST PALM BEACH, FLORIDA 33409

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ISSUES		
No.	DESCRIPTION	DATE

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Boca Raton FL 33487 USA  
tel 248 936 8000  
www.arcadis.com

PROJECT  
**P.B.K.C - GAMING BUILDING & PARKING GARAGE**  
1111 CONGRESS AVENUE  
WEST PALM BEACH, FLORIDA 33409

PROJECT NO:  
145907

DRAWN BY: <b>BRE</b>	CHECKED BY: ---
PROJECT MGR: <b>BRE</b>	APPROVED BY: ---

SHEET TITLE  
**RENDERINGS**

SHEET NUMBER  
**A3.00**

ISSUE





1 RENDERING VIEW – DROPP-OFF  
A3.01 SCALE: N.T.S.



2 RENDERING VIEW – CHERRY ROAD  
A3.01 SCALE: N.T.S.

CLIENT

PALM BEACH KENNEL CLUB

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WEST PALM BEACH, FLORIDA 33409

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ISSUES

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PROJECT

P.B.K.C - GAMING BUILDING & PARKING GARAGE

1111 CONGRESS AVENUE  
WEST PALM BEACH, FLORIDA 33409

PROJECT NO:  
145907

DRAWN BY:  
BRE

CHECKED BY:  
---

PROJECT MGR:  
BRE

APPROVED BY:  
---

SHEET TITLE

RENDERINGS

SHEET NUMBER  
A3.01

ISSUE





1 RENDERING VIEW – CONGRESS AVENUE

A3.02 SCALE: N.T.S.



2 RENDERING VIEW – CONGRESS AVENUE – EVENING

A3.02 SCALE: N.T.S.

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ISSUES		
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**PROJECT**  
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1111 CONGRESS AVENUE  
WEST PALM BEACH, FLORIDA 33409

PROJECT NO:  
145907

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PROJECT MGR: <b>BRE</b>	APPROVED BY: ---

SHEET TITLE  
**RENDERINGS**

SHEET NUMBER  
**A3.02**

ISSUE





1 RENDERING VIEW – MAIN ENTRY

A3.03 SCALE: N.T.S.

CLIENT

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PROJECT NO:

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DRAWN BY:

BRE

CHECKED BY:

---

PROJECT MGR:

BRE

APPROVED BY:

---

SHEET TITLE

RENDERINGS

SHEET NUMBER

A3.03

ISSUE



# HISTORICAL DRAINAGE STUDY

*Prepared for*

## **Palm Beach Kennel Club**

SWC Congress Ave & Cherry Rd, West Palm Beach, FL 33409

*Prepared by*

# **BOHLER //**

1900 NW Corporate Boulevard Suite 101E  
Boca Raton, FL 33431

THIS ITEM HAS BEEN DIGITALLY SIGNED AND  
SEALED BY ANDREW RONALD SAVAGE, PE, ON THE  
DATE ADJACENT TO THE SEAL. PRINTED COPIES OF  
THIS DOCUMENT ARE NOT CONSIDERED SIGNED  
AND SEALED AND THE SIGNATURE MUST BE  
VERIFIED ON ANY ELECTRONIC COPIES.

---

Andrew Savage, P.E.  
Florida Professional Engineer License No. 82408

February 22, 2024

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## 1. Introduction

The site is located at the SEC of Congress Ave & Cherry Rd, West Palm Beach, FL 33409 in unincorporated Palm Beach County. The proposed project will include development of a 2-story, 60,195 SF indoor gaming facility. All elevations shown on plans and calculations are based on the North American Vertical Datum 1988.

The site resides in sub-basin 30 of the C-51 basin, with a 10-year/72-hour peak discharge of 63 cfs and a 100-year/72-hour peak canal stage of 14.1' NGVD (~12.6 NAVD). Development of the site shall conform to these requirements as set forth by the SFWMD C-51 Basin Rule Re-evaluation (see Appendix E for more information). The post development, 3-year/24-hour peak discharge rate to the right-of-way may not exceed the pre-development peak discharge rate. The peak discharge rate for the 25-year/72-hour peak discharge may not exceed the lesser of the existing peak discharge from the same area and the allowable discharge established by SFWMD (see Appendix D for more information). Additionally, South Florida Water Management District and Palm Beach County will require a perimeter berm at or above the 25-year/72-hour zero-discharge stage.

## 2. Existing Conditions

The site is 5.00 acres and is currently undeveloped. The site is bounded by County-maintained Congress Ave to the east, County-maintained Cherry Road to the north, residential properties to the west, and vacant area to the south. The existing site is approximately 0.0% impervious area and 100.0% pervious area. The existing site topography is primarily between 10.5' and 13.0' NAVD, with low points at 10.0' NAVD and high points at about 13.5' NAVD. The perimeter elevation of the site varies from about 10.0' to 13.5' NAVD.

The site does not have an onsite stormwater management system and does not have a permitted discharge. The site's seasonal-high water table is estimated based on the preliminary geotechnical report and site conditions to be at an approximate elevation of 8.5' NAVD. Based on the existing site topography, it appears the site does have stormwater inflow from the adjacent properties. Areas from Cherry Road to the north, the residential area to the west, and the vacant land to the south contribute to stormwater inflow into the site. The overall basin draining to the property is about 0.91 acres. Please see Appendix B for Cross Sections.

## 3. FEMA Flood Zone

A portion of the site is located within FEMA Flood Zone AE with a Base Flood Elevation of 11.9' NAVD.

#### 4. Results and Conclusion

The site is approximately 5.00 acres and is currently undeveloped, and approximately 0.0% impervious area and 100.0% pervious area. The existing site elevations are between 10.5' and 13.0' NAVD. The site appears to receive stormwater from the adjacent properties to the north, south, and west. The overall basin draining to the property is about 0.91 acres. In order to avoid creating drainage issues along these property lines, swales and yard drains will be proposed to incorporate this offsite flow from the adjacent properties into the onsite stormwater management system. The proposed outfall location for development of the property is the existing drainage canal on the property to the south.

As the site is located within the C-51 basin, it will be subject to the additional storage via exfiltration trench, dry detention, and if necessary underground storage vaults, and discharge requirements via on-site control structure set forth by the SFWMD Applicant Handbook. Additionally, portions of the site are located within FEMA Flood Zone AE with a Base Flood Elevation of 11.9' NAVD, and any development of the site may be required to provide floodplain compensation. The site will conform to all stormwater requirements for quality and quantity as set forth by both SFWMD and Palm Beach County Land Development.

*A. FEMA MAP*



NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded tenth-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations (BFEs)** shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Transverse Mercator State Plane Florida East FIPS Zone 0901 Feet. The **horizontal datum** was NAD83 HARN, GRS1980 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NNGS12  
National Geodetic Survey  
SSMC-3, #9202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242 or visit its website at <http://www.ngs.noaa.gov/>.

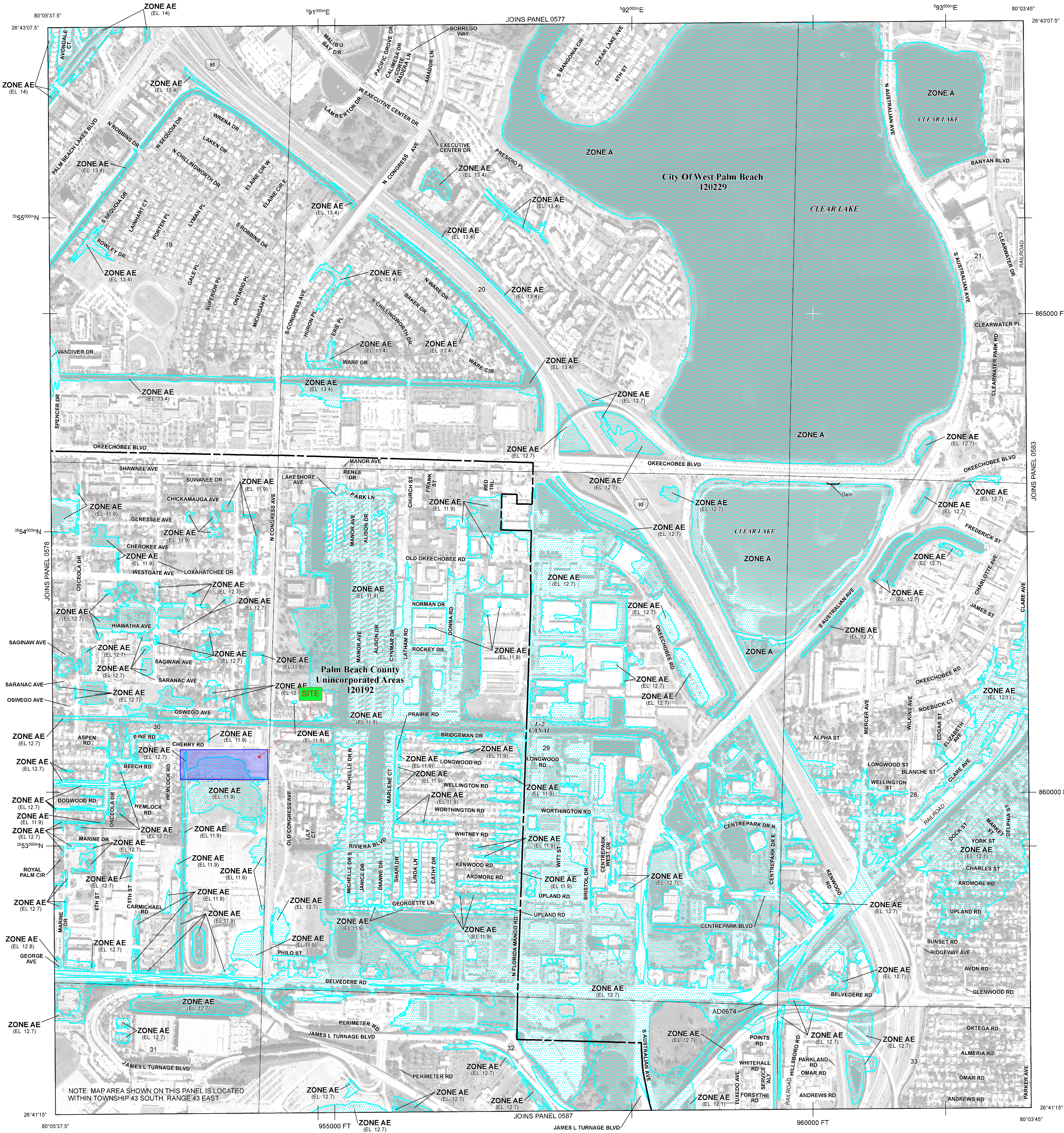
**Base map** information shown on this FIRM was provided in digital format by Palm Beach County. The original orthophotographic base imagery was provided in color with a one-foot pixel resolution at a scale of 1" = 200' from photography flown November 2010 - January 2011.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information and questions about this map, available products associated with this FIRM including historic versions of this FIRM, how to order products or the National Flood Insurance Program in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA Map Service Center website at <http://msc.fema.gov/>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website. Users may determine the current map date for each FIRM panel by visiting the FEMA Map Service Center website or by calling the FEMA Map Information eXchange.



LEGEND

**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Areas to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

**FLOODWAY AREAS IN ZONE AE**

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**

**ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**

**ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.

**ZONE D** Areas in which flood hazards are undetermined, but possible.

**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**

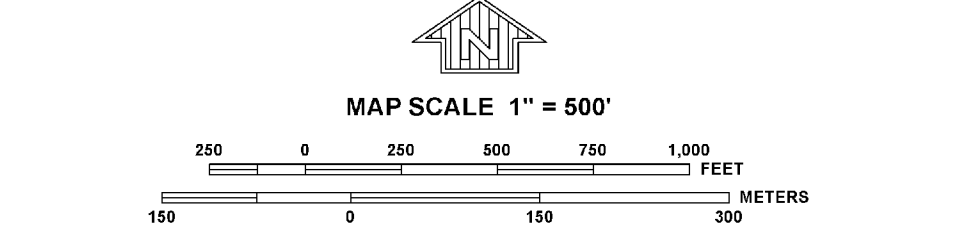
**OTHERWISE PROTECTED AREAS (OPAs)**

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

- 1% annual chance floodplain boundary
  - 0.2% annual chance floodplain boundary
  - Floodway boundary
  - Zone D boundary
  - CBRS and OPA boundary
  - Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities
  - Base Flood Elevation line and value; elevation in feet\*
  - Base Flood Elevation value where uniform within zone; elevation in feet\*
- \* Referenced to the North American Vertical Datum of 1988
- Cross section line**
- Transect line
- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
- 1000-meter Universal Transverse Mercator grid ticks, zone 17
- 5000-foot grid values: Florida State Plane coordinate system, East Zone (FIPS2000 = 901), Transverse Mercator projection
- Bench mark (see explanation in Notes to Users section of this FIRM panel)
- MAP REPOSITORIES**
- Refer to Map Repositories List on Map Index
- EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP**
- OCTOBER 5, 2017
- EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL**

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.



**NATIONAL FLOOD INSURANCE PROGRAM**

**PANEL 0579F**

**FIRM**

**FLOOD INSURANCE RATE MAP**

**PALM BEACH COUNTY, FLORIDA**

**AND INCORPORATED AREAS**

**PANEL 579 OF 1200**

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

**CONTAINS:**

COMMUNITY	NUMBER	PANEL	SUFFIX
PALM BEACH COUNTY	120192	0579	F
WEST PALM BEACH, CITY OF	120229	0579	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER**

**12099C0579F**

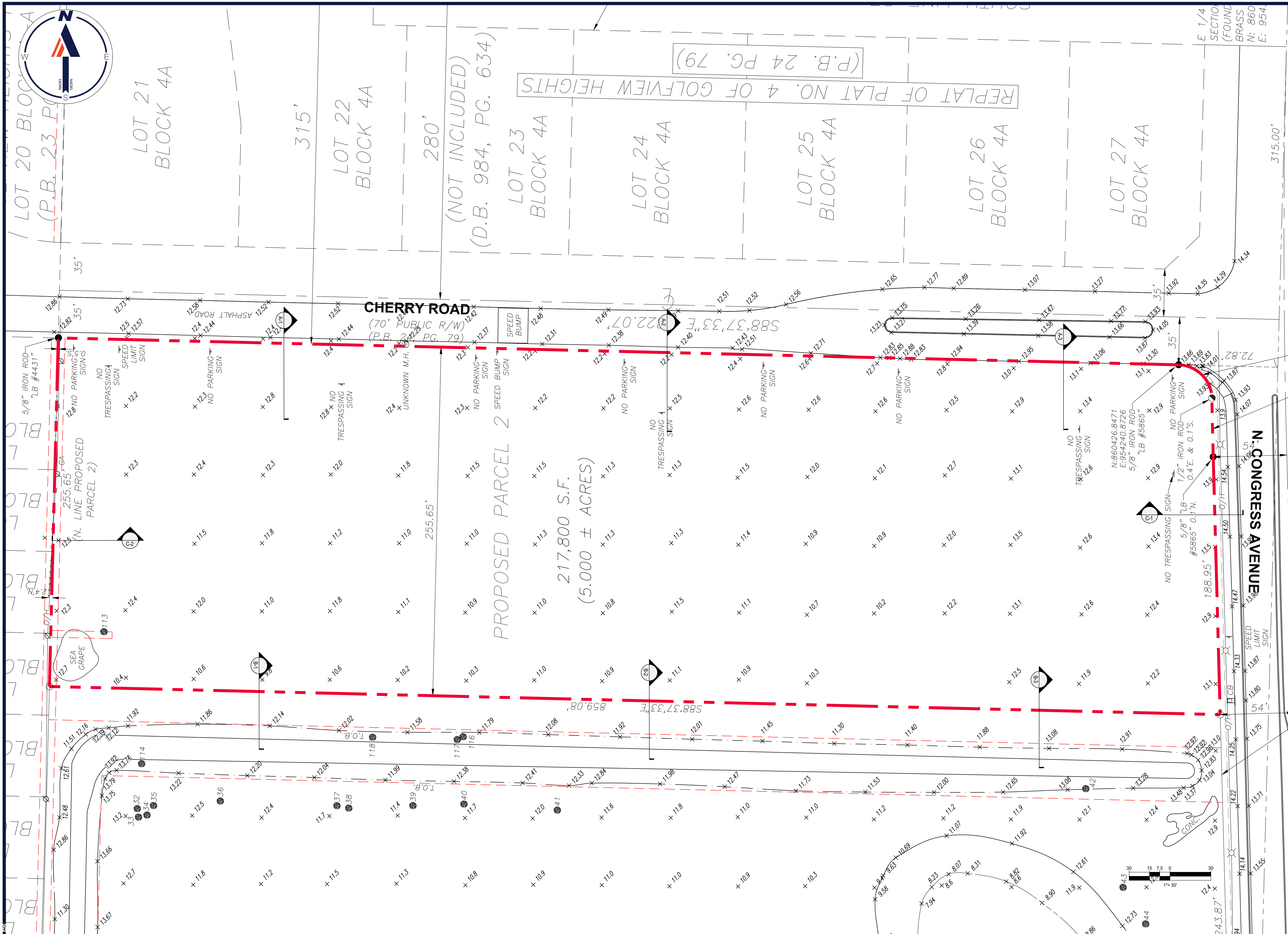
**EFFECTIVE DATE**

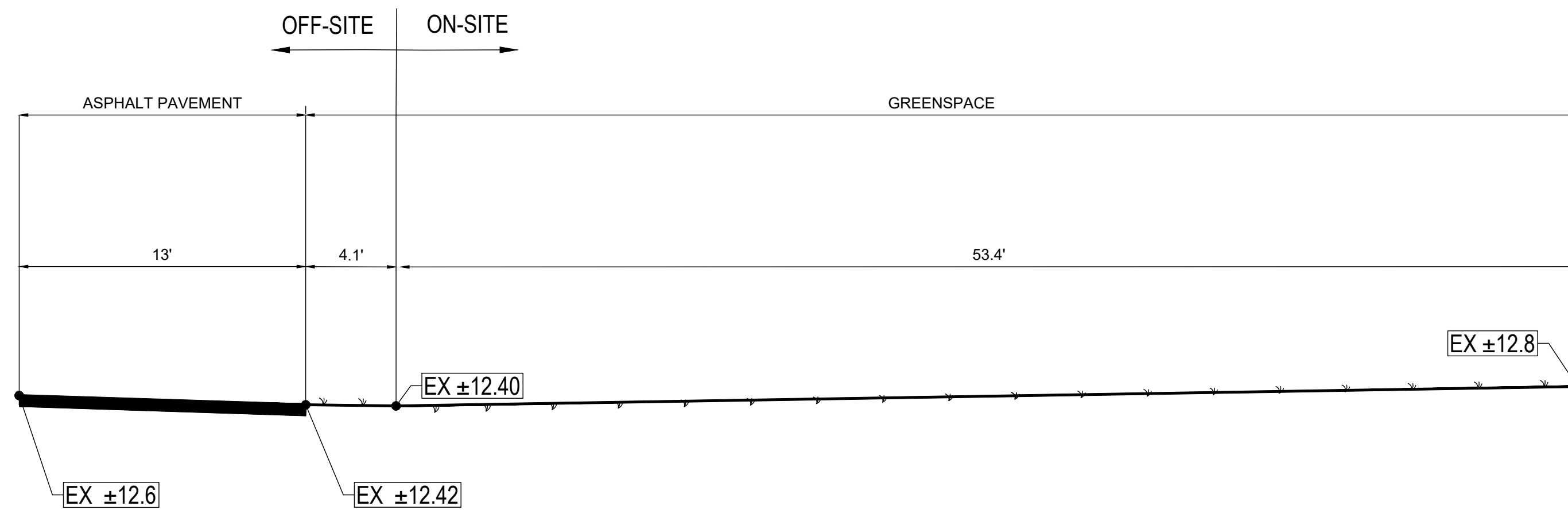
**OCTOBER 5, 2017**

**Federal Emergency Management Agency**



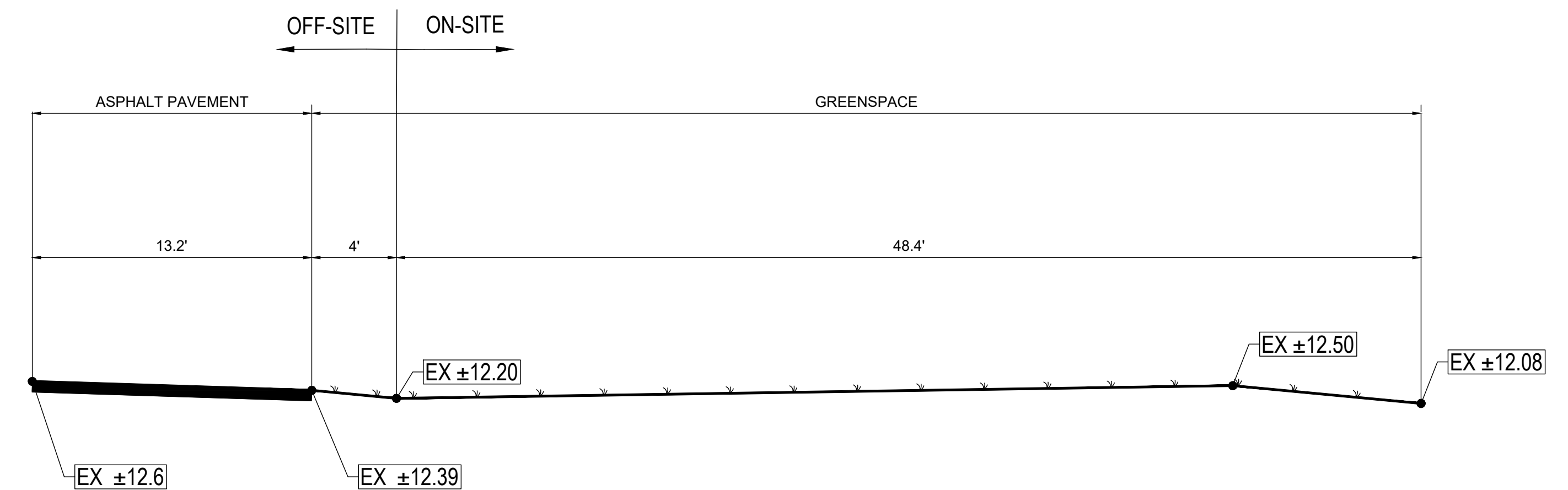
## *B. PERIMETER CROSS SECTIONS*





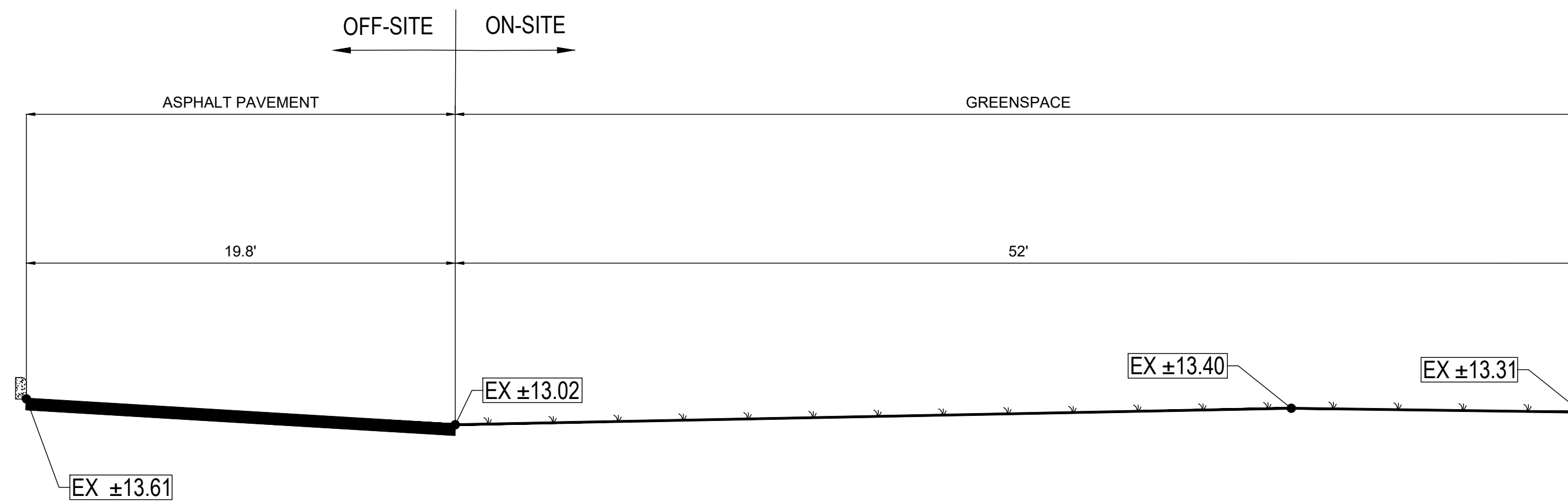
## SECTION A-1

SCALE H: 1" = 5', V: 1" = 10'



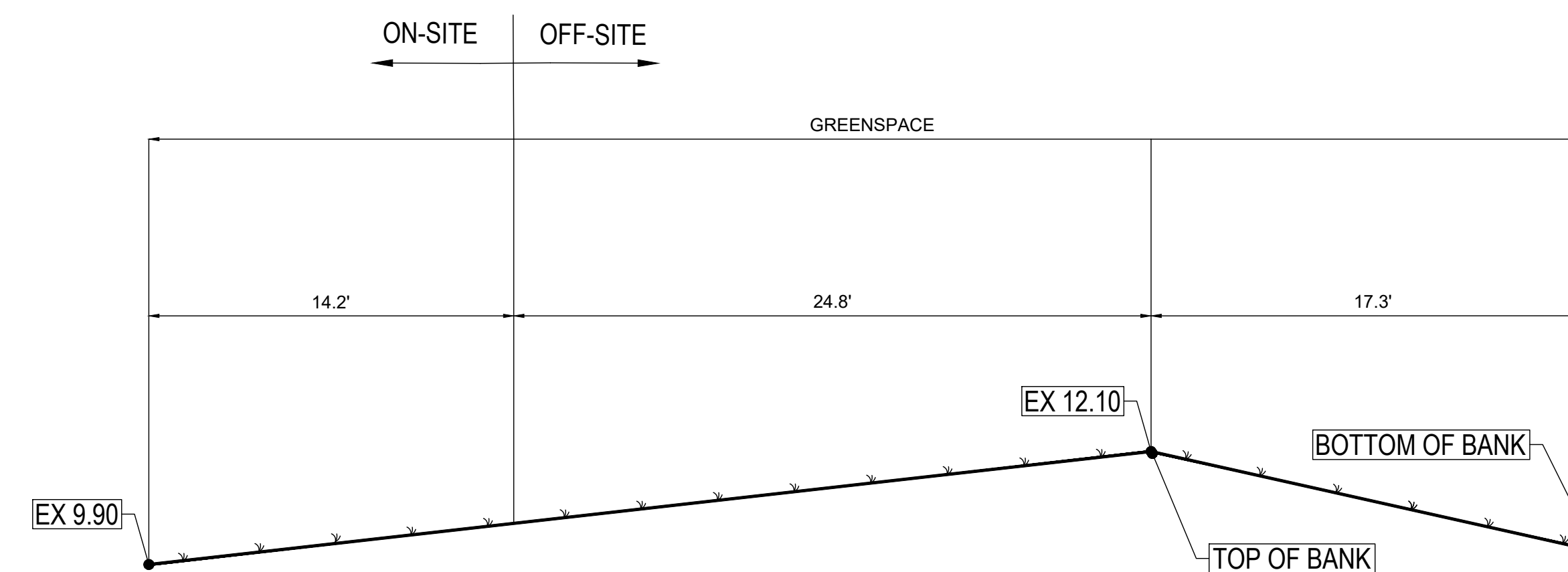
## SECTION A-2

SCALE H: 1" = 5', V: 1" = 10'



## SECTION A-3

SCALE H: 1" = 5', V: 1" = 10'



## SECTION B-1

SCALE H: 1" = 5', V: 1" = 10'

[illegible]

Know what's below.  
Call before you dig.

ALWAYS CALL 811

s fast. It's free. It's the law.

FOR CONCEPT  
PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY  
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION  
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	FLB230142
DRAWN BY:	AO
CHECKED BY:	ML
DATE:	02/22/2024
CAD I.D.:	

PROJECT:

**PROP.**  
**SITE PLAN**  
**DOCUMENTS**  
\_\_\_\_\_ FOR \_\_\_\_\_

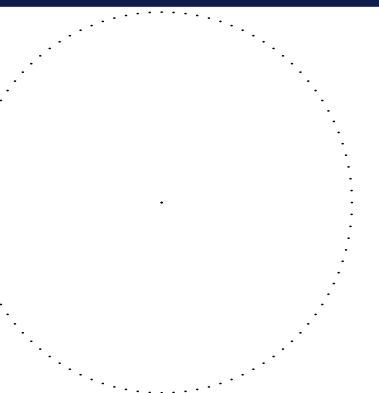


PROPOSED  
DEVELOPMENT

1111 CONGRESS AVE  
PALM BEACH COUNTY  
WEST PALM BEACH, FL 33409

**BOHLER //**

1900 NW CORPORATE BOULEVARD  
SUITE 101E  
BOCA RATON, FLORIDA 33431  
Phone: (561) 571-0280  
Fax: (561) 571-0281  
FLORIDA BUSINESS CERT. OF AUTH. NO. 30780



SHEET TITLE:

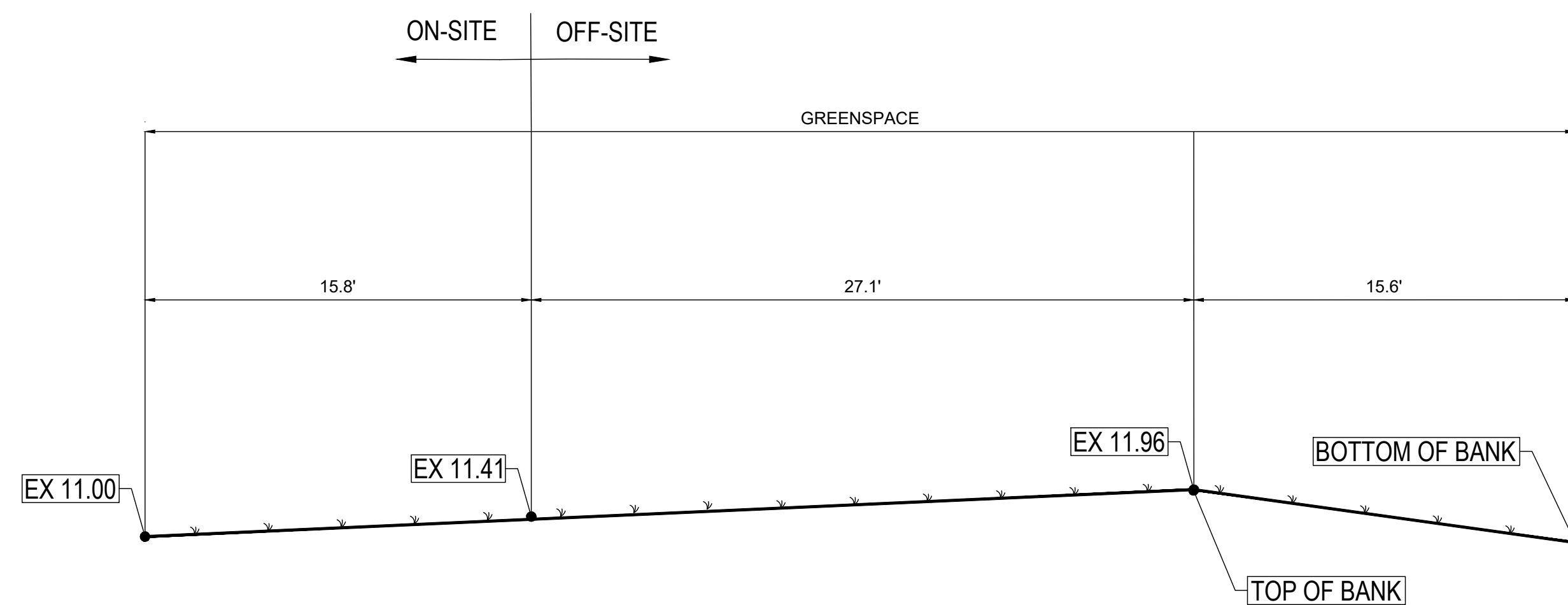
## CROSS SECTION

SHEET NUMBER:

C-410

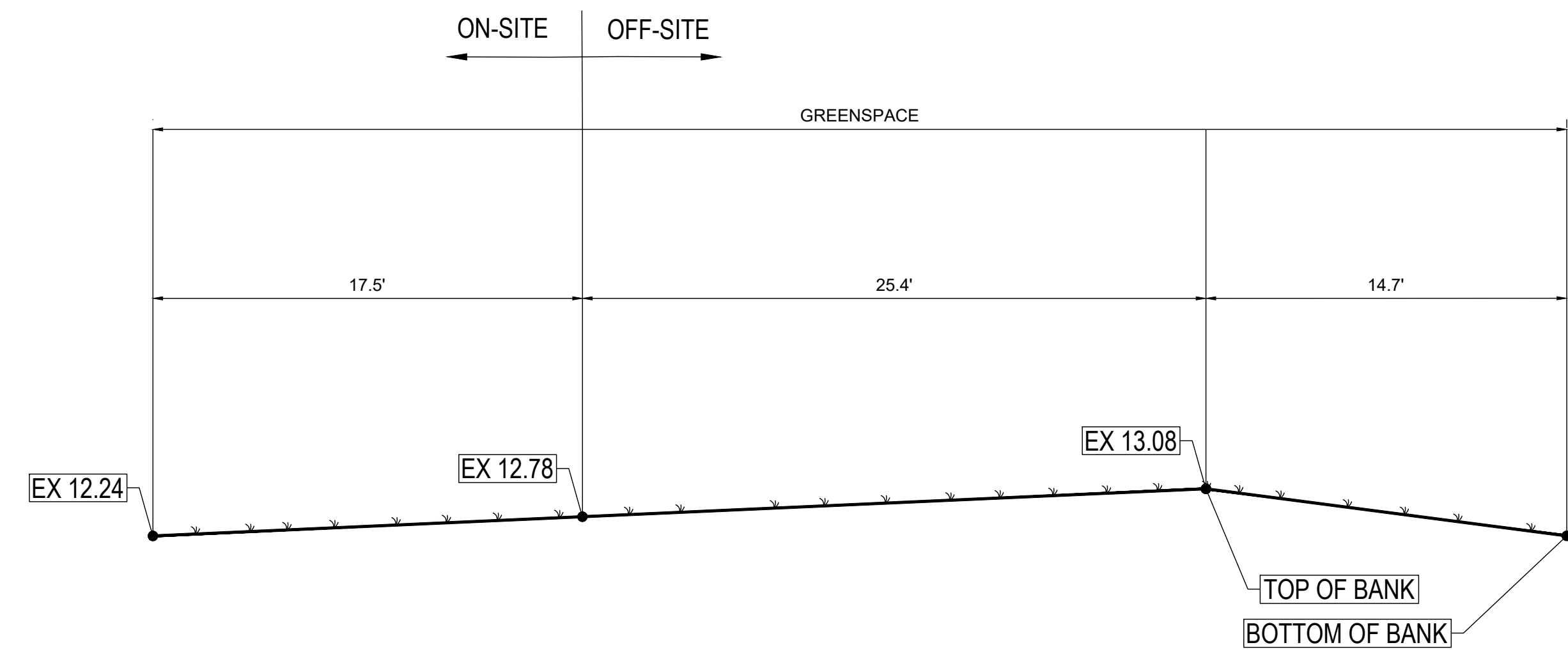
RG. DATE - 02/22/2024





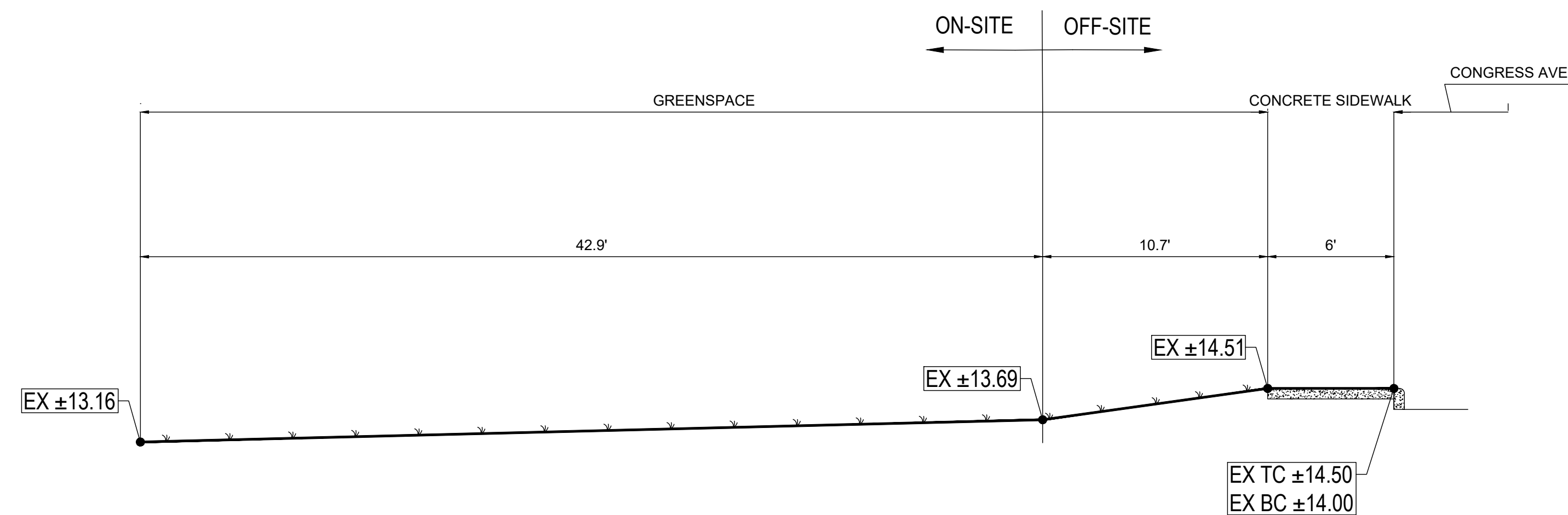
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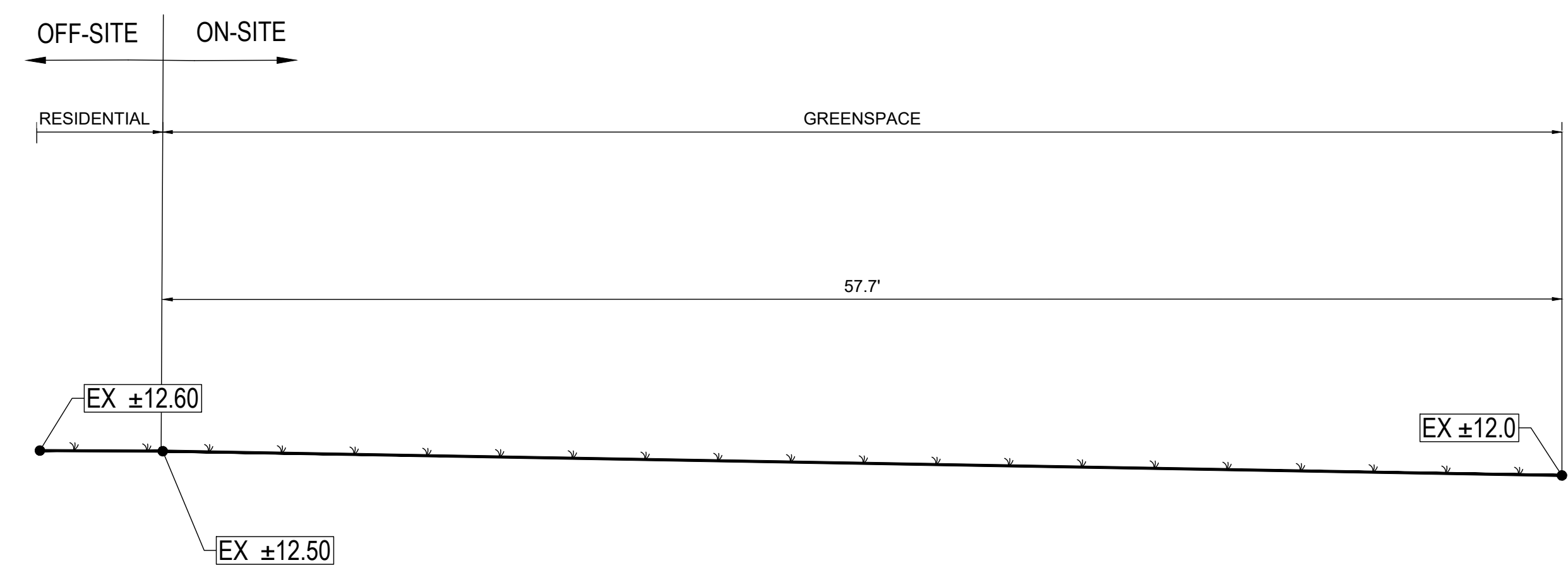
## SECTION B-3

SCALE H: 1" = 5', V: 1" = 10'



## SECTION C-1

SCALE H: 1" = 5', V: 1" = 10'



## SECTION C-2

SCALE H: 1" = 5', V: 1" = 10'

## REVISIONS

[illegible]

Now what's below.  
**Call before you dig.**

WAYS CALL 811

s fast. It's free. It's the law.

FOR CONCEPT  
PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY  
VIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION  
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	FLB230142
DRAWN BY:	AO
CHECKED BY:	ML
DATE:	02/22/2024
AD I.D.:	

PROJECT:

**PROP.  
SITE PLAN  
DOCUMENTS**

R —

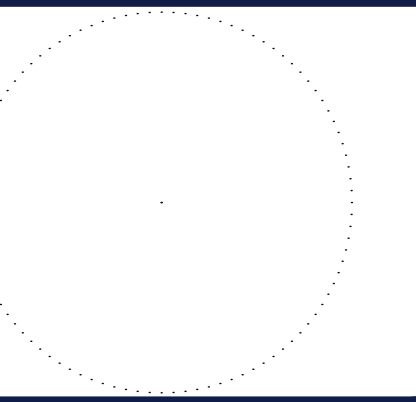


## PROPOSED DEVELOPMENT

1111 CONGRESS AVE  
PALM BEACH COUNTY  
EAST PALM BEACH, FL 33409

BOHLER//

0 NW CORPORATE BOULEVARD  
SUITE 101E  
OCA RATON, FLORIDA 33431  
Phone: (561) 571-0280  
Fax: (561) 571-0281  
FLORIDA BUSINESS CERT. OF AUTH. No. 30780



SHEET TITLE:

## CROSS SECTION

SHEET NUMBER: \_\_\_\_\_

C-411

G. DATE - 02/22/2024



### *C. GEOTECHNICAL REPORT*

# GFA INTERNATIONAL

FLORIDA'S LEADING ENGINEERING SOURCE

## Preliminary Geotechnical Exploration Report

### Palm Beach Kennel Club

West Palm Beach, Florida

October 18, 2019

GFA Project No.: 19-5889.00

Prepared for: Avison Young as an agent for Investment Corporation of Palm Beach





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October 18, 2019

Mr. Eric D. Swanson

**Avison Young as an agent for Investment Corporation of Palm Beach**

1875 NW Corporate Road, Suite 105

Boca Raton, FL 33431

Phone: (954) 903-3898

**RE: Preliminary Geotechnical Exploration for  
Palm Beach Kennel Club  
1111 & 1050 N. Congress Avenue  
West Palm Beach, FL  
GFA Project No. 19-5889.00**

Dear Mr. Swanson:

In accordance with your authorization, GFA International, Inc. (GFA) has completed a preliminary subsurface exploration for the above referenced project in accordance with the signed geotechnical service agreement for this project dated January 9, 2017.

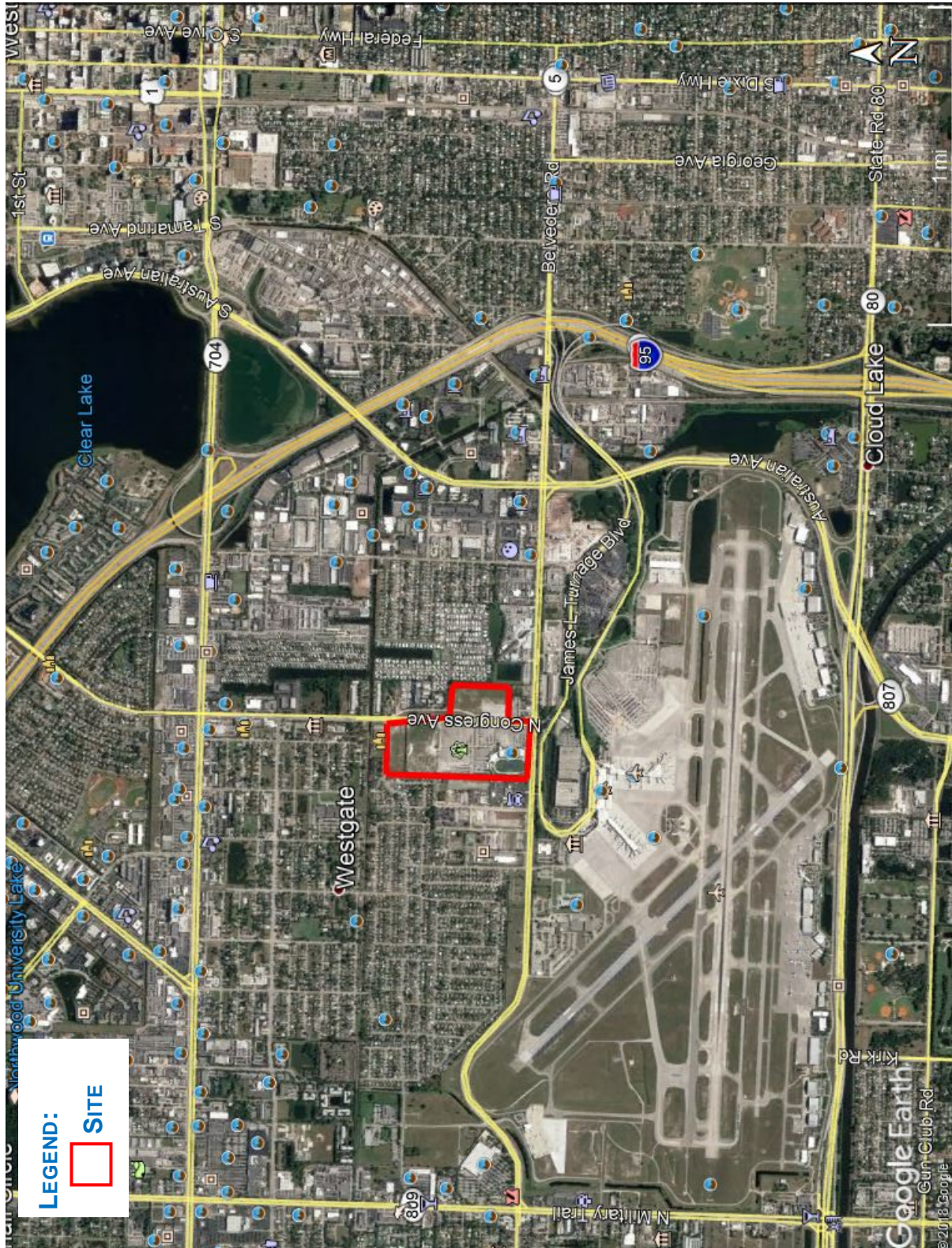
The purpose of GFA's preliminary subsurface exploration was to classify the nature of the subsurface soils and general geomorphic conditions and to evaluate their impact upon the proposed construction. A determination of sinkhole potential at the site was outside the scope of this investigation. If a determination is requested, GFA can propose and perform this service utilizing the appropriate geophysical methods. This report contains the results and GFA's engineering interpretation of subsurface conditions of the site with respect to the project characteristics as described to GFA including recommendations for foundation design, hydro-geological concerns, and site preparation procedures.

### **PROJECT DESCRIPTION**

The proposed site is located at 1111 & 1050 North Congress Avenue in West Palm Beach, FL. **Figure 1** – Site Location Plan – shows the location of the project. The northmost parcel is currently vacant and lightly vegetated. The southern parcel is currently a kennel club including a racetrack and paved parking areas. The east-most parcel is mostly vegetated with a paved parking area on the southwest corner of the parcel. The proposed development will include industrial, office and potential retail, with a potential multi-family development. No plans or structural information were provided at this time. For purpose of this report and analysis, maximum column and wall loads are estimated on the order of **120 kips** and **5 klf**, respectively.

As part of the due diligence process, it was requested from GFA to perform a preliminary investigation to determine existing subsoil conditions.





PALM BEACH KENNEL CLUB  
 1111 & 1050 N. CONGRESS AVENUE  
 WEST PALM BEACH, FL  
 GFA PROJECT NO.: 19-5889.00

**FIGURE 1 – SITE LOCATION PLAN**

## **FIELD INVESTIGATION**

GFA's scope of work consisted of drilling eleven (11) SPT borings to depths of 20 feet below ground surface (BGS) at the locations shown in **Figure 2**. GFA performed a visual-manual description of the samples obtained and submit a preliminary geotechnical report with the boring logs. The SPT boring method was used as the investigative tool within the borings. Penetration tests were performed in substantial accordance with ASTM Procedure D-1586, "Penetration Test and Split-Barrel Sampling of Soils". This test procedure consists of driving a 1.4-inch I.D. split-tube sampler into the soil profile using a 140-pound manual hammer falling 30 inches. The number of blows per foot, for the second and third 6-inch increment, is an indication of soil strength. The SPT borings were performed using a CME-45 truck mounted drill rig equipped with a manual hammer. The soil samples recovered from the soil borings were classified and stratified by a geotechnical engineer. Following completion of the field services, all boreholes were backfilled with excavated soil/rock, and the site generally cleaned, as required.

The results of the classification and stratification encountered during the exploration are presented in **Appendix A: "Record of Test Borings"**. It should be noted that soil conditions might vary between the strata interfaces, which are shown. The soil boring data reflect information from a specific test location only. Site specific survey staking for the test locations was not provided for the field exploration. Boring locations were determined in the field by an engineering representative by measuring distances and estimating right angles from existing site features. The boring locations should, therefore, be considered approximate. The boring depths were confined to the zone of soil likely to be stressed by the proposed construction.

The boring logs depict the observed soils in graphic detail. The Standard Penetration Test borings indicate the penetration resistance, or N-values logged during the drilling and sampling activities. Please refer to **Appendix B "Notes Related to the Test Borings"** for further clarification of the field exploration. The classifications and descriptions shown on the logs are generally based upon visual characterizations of the recovered soil samples. All soil samples reviewed have been depicted and classified in accordance with the Unified Soil Classification System symbols (i.e. SP, SP-SM, SC etc.). See **Appendix C: "Discussion of Soil Groups"**, for a detailed description of various soil groups.

## **SUBSURFACE CONDITIONS**

The soils sampled at the explored locations consist of very loose to medium dense, fine to medium grained sand from the ground surface to termination depth at 20 feet BGS. Borings B03, B05, B09 were performed on existing paved parking areas, where typical asphalt thickness was approximately 3" to 4". The results of the standard penetration tests yielded N-values ranging from 1 to 23 blows per foot.

For detailed information on subsurface conditions encountered in the borings, please refer to the "Record of Test Boring" sheets attached to this report.





**FIGURE 2 – BORING LOCATION PLAN**

NOTE: BORING LOCATIONS WERE LOCATED USING A MEASURING TAPE AND EXISTING LANDMARKS AS REFERENCE POINTS. IN ADDITION, THE LATITUDE, LONGITUDE, AND ELEVATION NOTED ON THE BORING LOGS WERE TAKEN FROM GOOGLE EARTH. THEREFORE, LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE.

### Geomorphic Conditions

The geology of the immediate vicinity, based on the USDA Soil Survey, is representative of **Basinger fine sand, 0 to 2 percent slopes, Basinger fine sand-Urban land complex 0 to 2 percent slopes, Basinger and Myakka sands, depressional and Urban land, 0 to 2 percent slopes**, which consists of mostly sandy soils.

See **Appendix D** for the USDA Soil Survey.

### Site Observation & Historical Data

The subject property is located at 1111 & 1050 North Congress Avenue in West Palm Beach, FL. The northmost parcel is currently vacant and lightly vegetated. The southern parcel is currently a kennel club including a racetrack and paved parking areas. The east-most parcel is mostly vegetated with a paved parking area on the southwest corner of the parcel. No soil staining or visual evidence of chemical or petroleum spillage was apparent. The recovered samples were not examined, either visually or analytically, for chemical composition or environmental hazards. GFA would be pleased to perform these services, if required.

GFA reviewed historical data from 1958 to 2019. The aerials showed that the kennel club and racetrack were under construction since 1958, with the parking lot area being developed sometime in the mid 1960's. No construction or development was observed on the northmost parcel. On the east-most parcel, the existing parking lot appears to be the only development on this parcel which appears to have been built sometime after 1979.

### Hydrogeological Conditions

Groundwater at the time of testing (October 2019) was found to approximate depths of 4'6" to 6'3" below ground surface. However, it should be noted that groundwater levels fluctuate seasonally depending upon local rainfall and other site-specific influences. Brief ponding of stormwater may occur across the site after heavy rain events. No additional investigation was conducted in relation to any existing well field in the vicinity. Well fields can influence water table levels and cause significant fluctuations. If a more comprehensive water table analysis is necessary, GFA recommends contacting a registered professional specialized in hydrogeology.

### **PRELIMINARY FOUNDATION RECOMMENDATIONS**

Based on the scope of the proposed project and once ground improvement techniques discussed herein have been completed, it is GFA's opinion that the soils are generally suitable for support of proposed structure using a shallow foundation system. **Please note that the ground improvement techniques include over-excavation of the soils to a depth of 1 foot and densifying the loose superficial sands.**



The allowable amount of settlement that a structure may tolerate is dependent on several factors including uniformity of settlement, time rate of settlement, structural dimensions and properties of the structural materials. Generally, total or uniform settlement does not damage a structure but may affect drainage and utility connections. These can generally tolerate movements of several inches for building construction. In contrast, differential settlement affects a structure's frame and is limited by the structural flexibility. Shallow foundations appear to be suitable for the proposed project and can be used to support the proposed structure at this site, provided that the existing ground surfaces and any fill soils are properly prepared as discussed herein. Shallow foundations can consist of conventional shallow continuous strip footings and isolated spread footings, or a monolithic turned down footing and slab type foundation.

The following steps shall be incorporated in the construction plans in order to prepare the subgrade soils for construction of spread footings and/or isolated footings to support the proposed structure:

1. After final site stripping, the loose soil conditions noted herein must be densified by excavating 1 foot of existing soils within the building footprint and extending a minimum of 5 feet outside of the building lines. The excavated surface should be densified with a loaded front-end loader or 20-ton vibratory roller. Each section of the excavated subgrade should be subjected to repeated, overlapping (minimum 20% overlap) coverages of the loader/roller. Densification should continue until no further settlement can be visually discerned at the subgrade surface. No section of the subgrade should receive less than 4 passes of the roller or loader tire or until at least 98% maximum density (ASTM D 1557) is achieved for a depth of at least 1 foot below the excavated surface. **Additional borings should be performed to verify the densification process and corroborate the recommended bearing capacity.**
2. The excavated site soils that do not contain organics or other deleterious material should be suitable for use as engineered fill. The fill material should be inorganic (classified as SP, SW, GP or GW) containing not more than 5 percent (by weight) organic materials. The excavated area should be backfilled to final grades. Backfill/fill should be placed in maximum 12-inch loose lifts and compacted to a minimum density of **98 percent** of the Modified Proctor maximum dry density (ASTM D-1557) with a vibratory roller as mentioned in item #1.
3. Perform compliance tests within the fill at a frequency of not less than one test per 2,500 square feet per lift in the building areas, or at a minimum of 2 test locations per lift, whichever is greater.
4. The bottom of all footing excavations shall be examined by the engineer/ geologist or his representative to determine if the soil is free of all organic and/or deleterious material, and that compaction and the recommended allowable soil bearing pressures are achieved. GFA recommends density tests be performed approximately every 50 lineal feet along continuous strip footings and at isolated column footings.



5. The contractor shall take into account the final contours and grades as established by the plan when executing his backfilling and compaction operations.
6. **It is likely that proof-rolling and any subsequent backfill compaction with the aforementioned equipment may induce ground vibrations that can affect the existing nearby structures. A representative from GFA's office can monitor the vibration disturbance using seismograph equipment capable of recording ground velocities that can be used to determine if construction activity at the site is exceeding tolerable vibration levels on adjacent structures as established by the project structural engineer.**

Using vibratory compaction equipment can disturb adjacent structures. If vibration related disturbance to nearby structures may be of concern, vibration levels should be monitored during compaction operations. A representative from this office can monitor the vibration disturbance of adjacent structures; and a proposal for these services can be provided upon your request.

Provided the column/wall footing subgrade is prepared in accordance with the above guidelines, GFA preliminary recommends a **bearing capacity of 2,500 psf** for foundation design. In addition, column footings bearing on the recommended subgrade will yield settlement values less than 1-inch total and ½-inch differential between adjacent columns or a horizontal distance of 20 feet. Footing dimensions shall be determined in accordance with the aforementioned soil bearing capacity, the Florida Building Code (latest edition), and any local municipal ordinance. Shallow foundations should be embedded a minimum of 12 inches into the bearing soils. The embedment shall be measured from the lowest adjacent grade. Isolated column footings should be at least 30 inches in width and continuous strip footings should have a width of at least 18 inches, regardless of contact pressure. All footings and columns should be structurally separated from the floor slab, as they will be loaded differently and at different times.

The ground floor slab may be supported directly on the granular fill pad following the foundation site preparation procedures depicted in this report. For purposes of design, a modulus of subgrade reaction of 150 pounds per cubic inch may be used. The ground floor slab should be structurally separated from all walls and columns to allow for differential vertical movement.

Water vapor is likely to rise through the granular fill building pad and condense beneath the base of the floor slab. If moisture entry into the floor slab is not desirable, an Impermeable membrane should be installed at the slab bottom - subgrade interface.

### **FUTURE INVESTIGATION**

The findings and recommendations provided in this report were based on subsurface information collected from a limited number of test borings. As the project moves forward and once the existing structure has been demolished and site plans are available, a confirmation geotechnical investigation will be required to obtain specific subsurface soil information within the proposed building location

**and use that information to assess the recommendations of this report and potential future development changes.**

### **REPORT LIMITATIONS**

This consulting report has been prepared for the exclusive use of the current project owners. This report has been prepared in accordance with generally accepted local geotechnical engineering practices; no other warranty is expressed or implied. The evaluation submitted in this report, is based in part upon the data collected during a field exploration, however, the nature and extent of variations throughout the subsurface profile may not become evident until the time of construction. If variations then appear evident, it may be necessary to reevaluate information and professional opinions as provided in this report. In the event changes are made in the nature, design, or locations of the proposed structure, the evaluation and opinions contained in this report shall not be considered valid, unless the changes are reviewed, and conclusions modified or verified in writing by GFA International. Lastly, in accepting this report, the client understands that the data obtained from the soil borings is intended for foundation analysis only and is not to be used for excavating or backfilling pricing estimates.

**Due to the limited project information, this investigation is preliminary in nature and was limited to minimal site investigation. The recommendations contained herein are extrapolated from the limited soils information gathered. They should not be used for final design until further investigations are made, and the recommendations are determined to be valid for the proposed structures.**

**In addition, an environmental assessment regarding the potential for contaminated soil and/or groundwater on this site has not been performed as part of this study.**

### **BASIS FOR RECOMMENDATIONS**

The analysis and recommendations submitted in this report are based on the data obtained from the tests performed at the locations noted on the attached boring logs. While the boring is representative of the subsurface conditions at its respective location and for its vertical reach, local variations characteristic of the subsurface soils of the region are anticipated and may be encountered. The delineation between soil types shown on the soil log is approximate and the description represents GFA's interpretation of the subsurface conditions at the designated boring location on the particular date drilled.

GFA should be provided the opportunity to review the final foundation specifications and review foundation design drawings, in order to determine whether GFA's recommendations have been properly interpreted, communicated and implemented. If GFA is not afforded the opportunity to participate in construction related aspects of foundation installation as recommended in this report or any report addendum, GFA will accept no responsibility for the interpretation of GFA's recommendations made in this report or on a report addendum for foundation performance.

Any third-party reliance of GFA's geotechnical report or parts thereof is strictly prohibited without the expressed written consent of GFA International. The methodology (ASTM D-1586) used in performing GFA's borings and for determining penetration resistance is specific to the sampling tools utilized and does not reflect the ease or difficulty to advance other tools, materials or equipment.

### **CLOSURE**

GFA appreciates the opportunity to be a part of the project team and looks forward to a continued association. Please do not hesitate to contact the undersigned if you have any questions or comments, or if GFA can provide further assistance as your project proceeds.

Respectfully Submitted,

**GFA INTERNATIONAL, INC.**  
FBPE Certificate No. 4930

Estela G. León Aguilar, M.S. P.E.  
Professional Engineer #83307  
State of Florida

This item has been digitally signed and sealed by [Estela G. León Aguilar] on the date adjacent to the seal.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

### **Appendices**

Appendix A    Record of Test Boring  
Appendix B    Notes Related to Test Borings  
Appendix C    Discussion of Soil Groups  
Appendix D    USDA Soil Survey

**APPENDIX A**  
Record of Test Borings





GFA International  
1215 Wallace Drive  
Delray Beach, FL 33444  
(561) 347-0070  
(561) 347-5805

# LOG OF BORING B01

PAGE 1 OF 1

**CLIENT** Avison Young **PROJECT NAME** Palm Beach Kennel Club  
**PROJECT NUMBER** 19-5889.00 **PROJECT LOCATION** 1111 & 1050 N. Congress Ave., West Palm Beach  
**DRILLING CONTRACTOR** GFA International **HOLE DEPTH** 20 ft **HOLE DIAMETER** \_\_\_\_\_  
**DRILLER** Alex Bartolotta **DATE STARTED** 10/11/19 **COMPLETED** 10/11/19  
**DRILL RIG** CME-45 **GROUND WATER LEVEL:** ▽ **AT TIME OF DRILLING** 4.67 ft / Elev 6.33 ft  
**METHOD** SPT **LATITUDE** 26.697606 **LONGITUDE** -80.08839  
**NOTE:** \_\_\_\_\_ **HAMMER TYPE** 140# with 30 in Drop - Manual Hammer

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲			
										20	40	60	80
										PL	MC	LL	
										20	40	60	80
										□ FINES CONTENT (%) □			
										20	40	60	80
0.5	10		Loose, brown to gray, fine to medium grained SAND (SP).	1	90	1 2 3	5						
1.5			Loose, light gray, fine to medium grained SAND (SP).										
			Loose, brown, fine to medium grained SAND (SP).	2	90	2 2 2	4						
3.5			Loose, light tan to light gray, fine to medium grained SAND (SP).	3	90	2 3 2	5						
5	5			4	90	2 2 2	4						
				5	90	2 2 3	4						
10	0												
				6	90	4 4 5	9						
15	-5												
				7	90	5 6 7	12						
20													

Medium dense, light tan to light gray, fine to medium grained SAND (SP).

Bottom of borehole at 20.0 feet.



GFA International  
1215 Wallace Drive  
Delray Beach, FL 33444  
(561) 347-0070  
(561) 347-5805

# LOG OF BORING B02

PAGE 1 OF 1

**CLIENT** Avison Young **PROJECT NAME** Palm Beach Kennel Club  
**PROJECT NUMBER** 19-5889.00 **PROJECT LOCATION** 1111 & 1050 N. Congress Ave., West Palm Beach  
**DRILLING CONTRACTOR** GFA International **HOLE DEPTH** 20 ft **HOLE DIAMETER** \_\_\_\_\_  
**DRILLER** Alex Bartolotta **DATE STARTED** 10/11/19 **COMPLETED** 10/11/19  
**DRILL RIG** CME-45 **GROUND WATER LEVEL:** ▽ **AT TIME OF DRILLING** 4.67 ft / Elev 3.33 ft  
**METHOD** SPT **LATITUDE** 26.696428 **LONGITUDE** -80.087478  
**NOTE:** \_\_\_\_\_ **HAMMER TYPE** 140# with 30 in Drop - Manual Hammer

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲			
										20	40	60	80
										PL	MC	LL	
										20	40	60	80
										□ FINES CONTENT (%) □			
										20	40	60	80
			Loose, brown to dark brown, fine to medium grained SAND (SP).	1	90	2 3 3 4	6						
			Loose, gray, fine to medium grained SAND (SP).										
			Medium dense, gray, fine to medium grained SAND (SP).	2	90	5 6 4 3	10						
			Loose, brown, fine to medium grained SAND (SP).	3	90	3 3 2 2	5						
			Loose, light brown, fine to medium grained SAND (SP).	4	90	3 3 3 3	6						
				5	90	5 4 4 5	8						
				6	90	5 4 3 5	7						
			Medium dense, light brown, fine to medium grained SAND (SP)	7	90	6 6 5 6	11						

Bottom of borehole at 20.0 feet.



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# LOG OF BORING B03

PAGE 1 OF 1

<b>CLIENT</b> <u>Avison Young</u>	<b>PROJECT NAME</b> <u>Palm Beach Kennel Club</u>
<b>PROJECT NUMBER</b> <u>19-5889.00</u>	<b>PROJECT LOCATION</b> <u>1111 &amp; 1050 N. Congress Ave., West Palm Beach</u>
<b>DRILLING CONTRACTOR</b> <u>GFA International</u>	<b>HOLE DEPTH</b> <u>20 ft</u> <b>HOLE DIAMETER</b> _____
<b>DRILLER</b> <u>Alex Bartolotta</u>	<b>DATE STARTED</b> <u>10/15/19</u> <b>COMPLETED</b> <u>10/15/19</u>
<b>DRILL RIG</b> <u>CME-45</u>	<b>GROUND WATER LEVEL:</b> <u>▽</u> <b>AT TIME OF DRILLING</b> <u>5.00 ft / Elev 8.00 ft</u>
<b>METHOD</b> <u>SPT</u>	<b>LATITUDE</b> <u>26.694115</u> <b>LONGITUDE</b> <u>-80.087945</u>
<b>NOTE:</b> _____	<b>HAMMER TYPE</b> <u>140# with 30 in Drop - Manual Hammer</u>

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲			
										20	40	60	80
										PL	MC	LL	
										20	40	60	80
										□ FINES CONTENT (%) □			
										20	40	60	80
			0.3-4" asphalt atop.										
			Medium dense, tan, fine to medium grained SAND (SP) with some limestone fragments, some shell fragments, trace asphalt fragments.	1	90	28 15 8 7	23						
			Medium dense, brown, fine to medium grained SAND (SP).	2	90	6 6 3 3	9						
			Very loose, brown, fine to medium grained SAND (SP).	3	90	1 0 1 2	1						
				4	90	1 2 1 2	3						
			Loose, brown, fine to medium grained SAND (SP).	5	90	2 3 3 3	6						
			Loose, tan, fine to medium grained SAND (SP).										
				6	90	4 4 5 4	9						
				7	90	5 4 5 5	9						
20			Bottom of borehole at 20.0 feet.										



## PAGE 1 OF 1

**PROJECT NAME** Palm Beach Kennel Club

**PROJECT LOCATION** 1111 & 1050 N. Congress Ave., West Palm Beach

**HOLE DEPTH** 20 ft

**HOLE DIAMETER**

**DATE STARTED** 10/15/19

**COMPLETED** 10/15/19

**GROUND WATER LEVEL:**  **AT TIME OF DRILLING** 8.00 ft / Elev 6.00 ft

**LATITUDE** 26.691828

**LONGITUDE** -80.089579

**HAMMER TYPE** 140# with 30 in Drop - Manual Hammer

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲			
										20 40 60 80			
										PL MC LL			
										20 40 60 80			
□ FINES CONTENT (%) □													
20 40 60 80													
0	0		Medium dense, gray, fine to medium grained SAND (SP) with some limestone fragments.	1	90	3 6 12	12			▲			
1.0			Medium dense, tan, fine to medium grained SAND (SP) with SHELL fragments.	2	90	11 8 7 6	15			▲			
2.0			Medium dense, light brown, fine to medium grained SAND (SP).	3	90	6 6 6 6	12			▲			
10			Loose, light brown, fine to medium grained SAND (SP).	4	90	5 5 3 2	8			▲			
5				5	90	3 3 2 4	5			▲			
10													
15	0			6	90	4 4 4 6	8			▲			
20.0	-5		Medium dense, light brown, fine to medium grained SAND (SP).	7	90	5 5 5 5	10			▲			
Bottom of borehole at 20.0 feet.													

Bottom of borehole at 20.0 feet.



**CLIENT** Avison Young

**PROJECT NAME** Palm Beach Kennel Club

**PROJECT NUMBER** 19-5889.00

**PROJECT LOCATION** 1111 & 1050 N. Congress Ave., West Palm Beach

**DRILLING CONTRACTOR** GFA International

HOLE DEPTH 20 ft

**HOLE DIAMETER**

**DRILLER** Alex Bartolotta

**DATE STARTED** 10/15/19

**COMPLETED** 10/15/19

DRILL RIG CME-45

**GROUND WATER LEVEL: V AT TIME OF DRILLING 5.00 ft / Elev 7.00 ft**

**METHOD** SPT

**LATITUDE** 26.691628

**LONGITUDE** -80.087464

**NOTE:**

**HAMMER TYPE** 140# with 30 in Drop - Manual Hammer

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲						
										20 40 60 80						
										PL MC LL						
										20 40 60 80						
□ FINES CONTENT (%) □											20 40 60 80					
			0.3-3" asphalt atop.													
			Medium dense, tan, fine to medium grained SAND (SP) with some shell fragments, some limestone fragments.	1	90	20 10 8 5	18									
10			Very loose, brown, fine to medium grained SAND (SP).													
			Very loose, black, fine to medium grained SAND (SP).	2	90	3 2 1 2	3		4.2							
			Loose, brown, fine to medium grained SAND (SP).	3	90	3 4 4 4 3	8									
5			Medium dense, brown, fine to medium grained SAND (SP).	4	90	4 4 5 5 4	9									
			Loose, brown, fine to medium grained SAND (SP).													
			Loose, tan, fine to medium grained SAND (SP).	5	90	4 3 3 4	6									
0			Medium dense, tan, fine to medium grained SAND (SP).	6	90	4 5 5 6	10									
15				7	90	5 6 6 7	12									
-5																
20			20.0													
Bottom of borehole at 20.0 feet.																

Bottom of borehole at 20.0 feet.



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# LOG OF BORING B06

PAGE 1 OF 1

<b>CLIENT</b> <u>Avison Young</u>	<b>PROJECT NAME</b> <u>Palm Beach Kennel Club</u>
<b>PROJECT NUMBER</b> <u>19-5889.00</u>	<b>PROJECT LOCATION</b> <u>1111 &amp; 1050 N. Congress Ave., West Palm Beach</u>
<b>DRILLING CONTRACTOR</b> <u>GFA International</u>	<b>HOLE DEPTH</b> <u>20 ft</u> <b>HOLE DIAMETER</b> _____
<b>DRILLER</b> <u>Alex Bartolotta</u>	<b>DATE STARTED</b> <u>10/15/19</u> <b>COMPLETED</b> <u>10/15/19</u>
<b>DRILL RIG</b> <u>CME-45</u>	<b>GROUND WATER LEVEL:</b> <u>▽</u> <b>AT TIME OF DRILLING</b> <u>4.83 ft / Elev 7.17 ft</u>
<b>METHOD</b> <u>SPT</u>	<b>LATITUDE</b> <u>26.694682</u> <b>LONGITUDE</b> <u>-80.085434</u>
<b>NOTE:</b> _____	<b>HAMMER TYPE</b> <u>140# with 30 in Drop - Manual Hammer</u>

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲ 20 40 60 80 PL MC LL 20 40 60 80 □ FINES CONTENT (%) □ 20 40 60 80
			0.5 Medium dense, gray, fine to medium grained SAND (SP) with trace of grass.							
			Medium dense, tan, fine to medium grained SAND (SP).	1	90	3 4 7 2	11			
			Loose, tan, fine to medium grained SAND (SP).	2	90	5 3 1 2	4			
			4.0 Loose, brown, fine to medium grained SAND (SP).	3	90	2 2 2 3	4			
			Very loose, brown, fine to medium grained SAND (SP).	4	90	2 1 1 2	2			
			8.0 Very loose, tan, fine to medium grained SAND (SP).	5	90	2 1 1 2	2			
			13.0 Medium dense, brown, fine to medium grained SAND (SP).	6	90	5 5 6 6	11			
			18.0 Medium dense, tan, fine to medium grained SAND (SP).	7	90	6 6 5 6	11			
			20.0							

Bottom of borehole at 20.0 feet.



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# LOG OF BORING B07

PAGE 1 OF 1

<b>CLIENT</b> <u>Avison Young</u>	<b>PROJECT NAME</b> <u>Palm Beach Kennel Club</u>
<b>PROJECT NUMBER</b> <u>19-5889.00</u>	<b>PROJECT LOCATION</b> <u>1111 &amp; 1050 N. Congress Ave., West Palm Beach</u>
<b>DRILLING CONTRACTOR</b> <u>GFA International</u>	<b>HOLE DEPTH</b> <u>20 ft</u> <b>HOLE DIAMETER</b> _____
<b>DRILLER</b> <u>Alex Bartolotta</u>	<b>DATE STARTED</b> <u>10/15/19</u> <b>COMPLETED</b> <u>10/15/19</u>
<b>DRILL RIG</b> <u>CME-45</u>	<b>GROUND WATER LEVEL:</b> <u>▽</u> <b>AT TIME OF DRILLING</b> <u>4.83 ft / Elev 8.17 ft</u>
<b>METHOD</b> <u>SPT</u>	<b>LATITUDE</b> <u>26.692722</u> <b>LONGITUDE</b> <u>-80.085498</u>
<b>NOTE:</b> _____	<b>HAMMER TYPE</b> <u>140# with 30 in Drop - Manual Hammer</u>

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲ 20 40 60 80 PL MC LL 20 40 60 80 □ FINES CONTENT (%) □ 20 40 60 80
			Loose, gray, fine to medium grained SAND (SP).			2 3 4 5	7			
	1.5		Loose, brown, fine to medium grained SAND (SP).			4 3 3 3	6			
10	3.0		Loose, light brown, fine to medium grained SAND (SP).	2	90	2 1 1 2	2			
5	▽		Very loose, light brown, fine to medium grained SAND (SP).	3	90	2 1 2 2	3			
5				4	90	2 1 2 1	3			
9.0			Very loose, tan, fine to medium grained SAND (SP).	5	90	4 4 5 4	9			
10										
0			Medium dense, tan, fine to medium grained SAND (SP).	6	90	5 6 6 6	12			
15										
-5										
20										

Bottom of borehole at 20.0 feet.



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# LOG OF BORING B08

PAGE 1 OF 1

<b>CLIENT</b> <u>Avison Young</u>	<b>PROJECT NAME</b> <u>Palm Beach Kennel Club</u>
<b>PROJECT NUMBER</b> <u>19-5889.00</u>	<b>PROJECT LOCATION</b> <u>1111 &amp; 1050 N. Congress Ave., West Palm Beach</u>
<b>DRILLING CONTRACTOR</b> <u>GFA International</u>	<b>HOLE DEPTH</b> <u>20 ft</u> <b>HOLE DIAMETER</b> _____
<b>DRILLER</b> <u>Alex Bartolotta</u>	<b>DATE STARTED</b> <u>10/15/19</u> <b>COMPLETED</b> <u>10/15/19</u>
<b>DRILL RIG</b> <u>CME-45</u>	<b>GROUND WATER LEVEL:</b> <u>▽</u> <b>AT TIME OF DRILLING</b> <u>4.67 ft / Elev 8.33 ft</u>
<b>METHOD</b> <u>SPT</u>	<b>LATITUDE</b> <u>26.693583</u> <b>LONGITUDE</b> <u>-80.085548</u>
<b>NOTE:</b> _____	<b>HAMMER TYPE</b> <u>140# with 30 in Drop - Manual Hammer</u>

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲			
										20	40	60	80
										PL	MC	LL	
										20	40	60	80
										□ FINES CONTENT (%) □			
										20	40	60	80
0.5			Loose, brown, fine to medium grained SAND (SP)			2							
			Loose, tan, fine to medium grained SAND (SP).	1	90	3 3 5	6						
2.0													
			Loose, tan, fine to medium grained SAND (SP).	2	90	4 3 3 3	6						
10													
			▽										
5				3	90	3 2 3 4	5						
			Very loose, tan, fine to medium grained SAND (SP).										
				4	90	2 1 2 2	3						
5													
			Loose, tan, fine to medium grained SAND (SP).										
				5	90	2 2 2 3	4						
10													
0													
			Medium dense, tan, fine to medium grained SAND (SP).										
				6	90	5 6 5 6	11						
15													
-5													
				7	90	5 5 6 5	11						
20													

Bottom of borehole at 20.0 feet.

**CLIENT** Avison Young

**PROJECT NAME** Palm Beach Kennel Club

**PROJECT NUMBER** 19-5889.00

**PROJECT LOCATION** 1111 & 1050 N. Congress Ave., West Palm Beach

**DRILLING CONTRACTOR** GFA International

HOLE DEPTH 20 ft

**HOLE DIAMETER**

**DRILLER** Alex Bartolotta

**DATE STARTED** 10/15/19

**COMPLETED** 10/15/19

DRILL RIG CME-45

GROUND WATER LEVEL: ✓ AT TIME OF DRILLING 8.00 ft / Elev 5.00 ft

**METHOD** SPT

**LATITUDE** 26.694662

**LONGITUDE** -80.089447

**NOTE:**

**HAMMER TYPE** 140# with 30 in Drop - Manual Hammer

[illegible]

Bottom of borehole at 20.0 feet.



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# LOG OF BORING B10

PAGE 1 OF 1

<b>CLIENT</b> <u>Avison Young</u>	<b>PROJECT NAME</b> <u>Palm Beach Kennel Club</u>
<b>PROJECT NUMBER</b> <u>19-5889.00</u>	<b>PROJECT LOCATION</b> <u>1111 &amp; 1050 N. Congress Ave., West Palm Beach</u>
<b>DRILLING CONTRACTOR</b> <u>GFA International</u>	<b>HOLE DEPTH</b> <u>20 ft</u> <b>HOLE DIAMETER</b> _____
<b>DRILLER</b> <u>Alex Bartolotta</u>	<b>DATE STARTED</b> <u>10/11/19</u> <b>COMPLETED</b> <u>10/11/19</u>
<b>DRILL RIG</b> <u>CME-45</u>	<b>GROUND WATER LEVEL:</b> <u>▽</u> <b>AT TIME OF DRILLING</b> <u>5.00 ft / Elev 7.00 ft</u>
<b>METHOD</b> <u>SPT</u>	<b>LATITUDE</b> <u>26.696467</u> <b>LONGITUDE</b> <u>-80.08944</u>
<b>NOTE:</b> _____	<b>HAMMER TYPE</b> <u>140# with 30 in Drop - Manual Hammer</u>

DEPTH (ft)	ELEVATION (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS	N VALUE	MOISTURE CONTENT (%)	ORGANIC CONTENT (%)	▲ SPT N VALUE ▲ 20 40 60 80 PL MC LL 20 40 60 80 □ FINES CONTENT (%) □ 20 40 60 80
10			1.0 Medium dense, brown to gray, fine to medium grained SAND (SP).	1	90	3 6 5 5	11			
			2.0 Medium dense, light gray, fine to medium grained SAND (SP).							
			Loose. brown, fine to medium grained SAND (SP).	2	90	4 3 2 3	5			
5			Very loose, brown, fine to medium grained SAND (SP).	3	90	2 2 1 2	3			
			6.0 Very loose, light tan to light gray, fine to medium grained SAND (SP).	4	90	2 1 1 2	2			
			Loose, light tan to light gray, fine to medium grained SAND (SP).	5	90	2 2 2 3	4			
10										
0										
			Medium dense, light tan to light gray, fine to medium grained SAND (SP).	6	90	3 4 5 5	9			
15										
-5										
20				7	90	6 5 5 6	10			
20.0			Bottom of borehole at 20.0 feet.							

**CLIENT** Avison Young

**PROJECT NAME** Palm Beach Kennel Club

**PROJECT NUMBER** 19-5889.00

**PROJECT LOCATION** 1111 & 1050 N. Congress Ave., West Palm Beach

**DRILLING CONTRACTOR** GFA International

HOLE DEPTH 20 ft

**HOLE DIAMETER**

**DRILLER** Alex Bartolotta

**DATE STARTED** 10/11/19

**COMPLETED** 10/11/19

DRILL RIG CME-45

**GROUND WATER LEVEL: V AT TIME OF DRILLING 4.50 ft / Elev 4.50 ft**

**METHOD** SPT

LATITUDE 26.697221

**LONGITUDE** -80.087469

**NOTE:**

**HAMMER TYPE** 140# with 30 in Drop - Manual Hammer

[illegible]

Bottom of borehole at 20.0 feet.



## **APPENDIX B**

### Notes Related to Test Borings



## NOTES RELATED TO RECORDS OF TEST BORING AND GENERALIZED SUBSURFACE PROFILE

1. Groundwater level was encountered and recorded (if shown) following the completion of the soil test boring on the date indicated. Fluctuations in groundwater levels are common; consult report text for a discussion.
2. The boring location was identified and located in the field based on measured and estimated distances from existing site features.
3. The borehole was backfilled to site grade following boring completion, patched with asphalt cold patch mix when pavement was encountered.
4. The Record of Test Boring represents our interpretation of field conditions based on engineering examination of the soil samples.
5. The Record of Test Boring is subject to the limitations, conclusions, and recommendations presented in the report text.
6. The Standard Penetration Test (SPT) was performed in accordance ASTM Procedure D-1586. SPT testing procedure consists of driving a 1.4-inch I.D. split-tube sampler into the soil profile using a 140-pound hammer falling 30 inches.
7. On the Record of Test Boring listed as "Blow Counts", the N-value is the sum of the SPT hammer blows required to drive the split-tube sampler through the second and third 6-inch increment of the sampling layer, and is an indication of soil strength.
8. Shown on the Record of Test Boring an SPT N-value expressed as 50/2" is descriptive of the fact that 50 hammer blows were required to drive the split-spoon sampler a distance of approximately 2 inches.
9. The soil/rock strata interfaces shown on the Records of Test Boring are approximate and may vary from those in the field. The soil/rock conditions shown on the Records of Test Boring refer to conditions at the specific location tested; soil/rock conditions may vary between test locations.

10. Relative density and consistency for sands/gravels, silts/clays, and limestone are described as follows:

Cohesionless Soils		Silts and Clays		Limestone	
SPT (N-Value)	Relative Density	SPT (N-Value)	Consistency	SPT (N-Value)	Relative Density
0 – 3	Very Loose	0 – 1	Very Soft	0 – 19	Very Soft
4 – 8	Loose	2 – 4	Soft	20 – 49	Soft
9 – 24	Medium Dense	4 – 6	Firm	50 – 100	Medium Hard
25 – 40	Dense	7 – 12	Stiff	50 for 3 to 5"	Moderately Hard
Over 40	Very Dense	13 – 24	Very Stiff	50 for 0 to 2"	Hard
		Over 24	Hard		

11. Definition of descriptive terms of modifiers for silts/clays/shells/gravels are described as follows:

Percentage of Modifier Material	First Qualifier	Second Qualifier
0 – 5	With a Trace of + Silt, Clay, Shell	With a Trace
5 – 12	Slightly + Silty, Clayey, Shelly	With Some
12 – 30	Silty, Clayey, Shelly	With
30 – 50	Very + Silty, Clayey, Shelly	And

12. Descriptive characteristics for organic content percentages are described as follows:

Percentage of Organic Material	Descriptor
0 – 5	With a Trace
5 – 20	With Organics
20 – 75	Highly Organic
75 – 100	Peat

## **APPENDIX C**

### Discussion of Soil Groups



## **DISCUSSION OF SOIL GROUPS**

### **COARSE GRAINED SOILS**

**GW and SW GROUPS.** These groups comprise well-graded gravelly and sandy soils having little or no plastic fines (less than 5 percent passing the No. 200 sieve). The presence of the fines must not noticeably change the strength characteristics of the coarse-grained fraction and must not interface with its free-draining characteristics.

**GP and SP GROUPS.** Poorly graded gravels and sands containing little or no plastic fines (less than 5 percent passing the No. 200 sieve) are classed in GP and SP groups. The materials may be called uniform gravels, uniform sands or non-uniform mixtures of very coarse material and very fine sands, with intermediate sizes lacking (sometimes called skip-graded, gap-graded or step-graded). This last group often results from borrow pit excavation in which gravel and sand layers are mixed.

**GM and SM GROUPS.** In general, the GM and SM groups comprise gravels or sands with fines (more than 12 percent passing the No. 200 sieve) having low or no plasticity. The plasticity index and liquid limit of soils in the group should plot below the "A" line on the plasticity chart. The gradation of the material is not considered significant and both well and poorly graded materials are included.

**GC and SC GROUPS.** In general, the GC and SC groups comprise gravelly or sandy soils with fines (more than 12 percent passing the No. 200 sieve), which have a fairly high plasticity. The liquid limit and plasticity index should plot above the "A" line on the plasticity chart.

### **FINE GRAINED SOILS**

**ML and MH GROUPS.** In these groups, the symbol M has been used to designate predominantly silty material. The symbols L and H represent low and high liquid limits, respectively, and an arbitrary dividing line between the two is set at a liquid limit of 50. The soils in the ML and MH groups are sandy silts, clayey silts or inorganic silts with relatively low plasticity. Also included are loess type soils and rock flours.

**CL and CH GROUPS.** In these groups the symbol C stands for clay, with L and H denoting low or high liquid limits, with the dividing line again set at a liquid limit of 50. The soils are primarily inorganic clays. Low plasticity clays are classified as CL and are usually lean clays, sandy clays or silty clays. The medium and high plasticity clays are classified as CH. These include the fat clays, gumbo clays and some volcanic clays.



**APPENDIX D**  
USDA Soil Survey





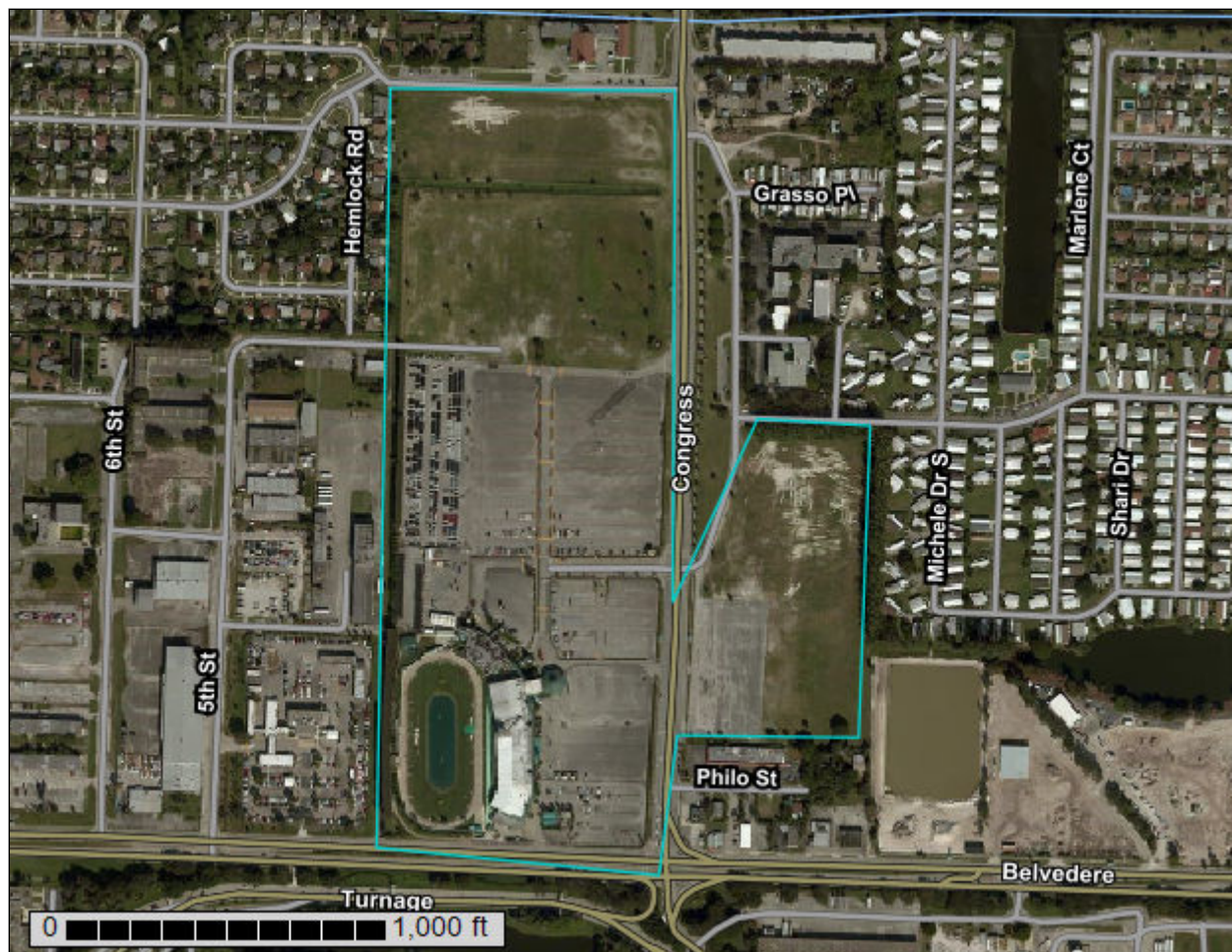
United States  
Department of  
Agriculture

**NRCS**

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for **Palm Beach County Area, Florida**



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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# How Soil Surveys Are Made

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Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

## Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

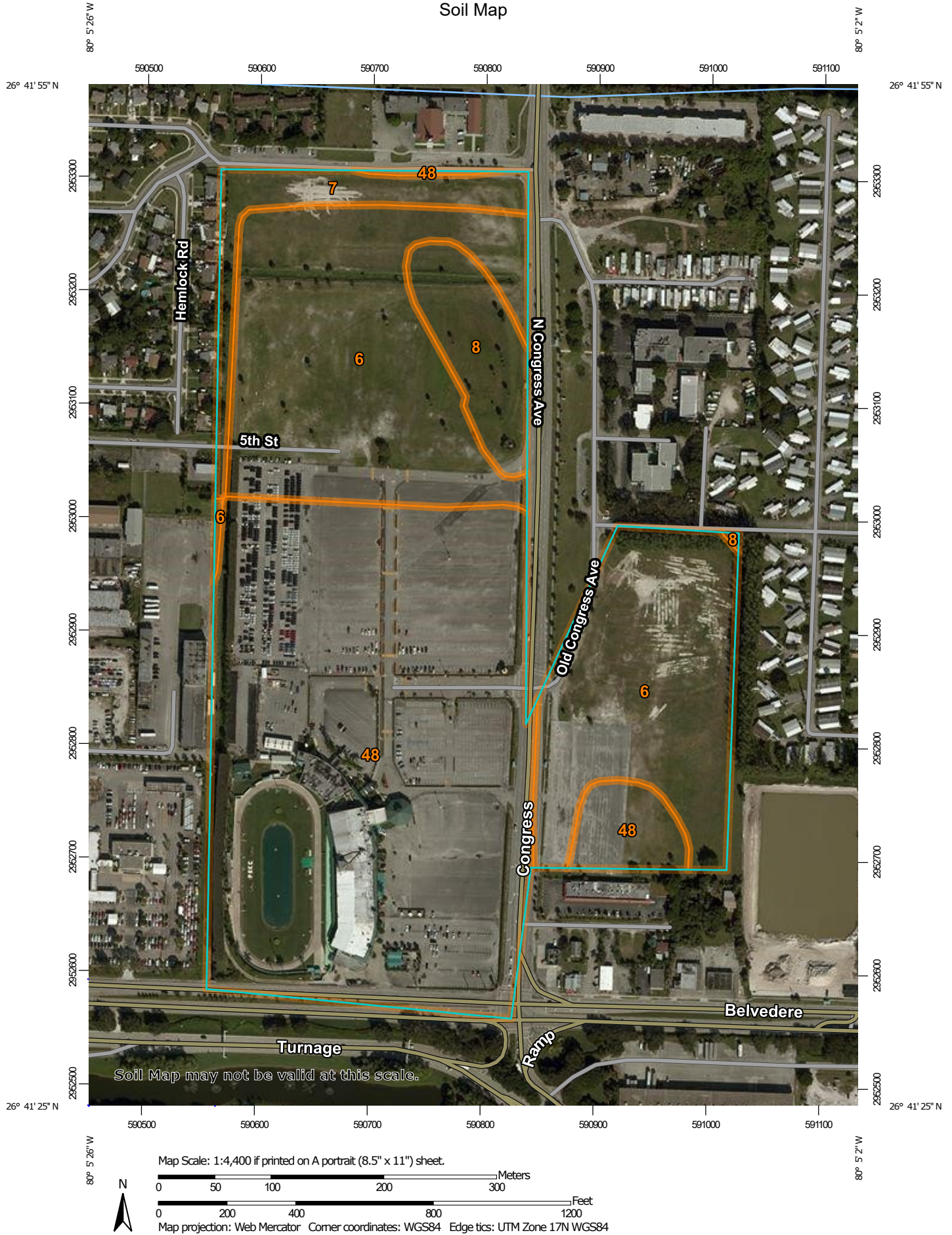


# Soil Map

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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features

 Blowout

 Borrow Pit

 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water

 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot

 Sinkhole

 Slide or Slip

 Sodic Spot

 Spoil Area

 Stony Spot

 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

### Water Features

 Streams and Canals

### Transportation

 Rails

 Interstate Highways

 US Routes

 Major Roads

 Local Roads

### Background

 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Palm Beach County Area, Florida  
Survey Area Data: Version 15, Sep 17, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Nov 13, 2014—Dec 11, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
6	Basinger fine sand, 0 to 2 percent slopes	23.8	38.2%
7	Basinger fine sand-Urban land complex, 0 to 2 percent slopes	2.9	4.7%
8	Basinger and Myakka sands, depressional	3.2	5.1%
48	Urban land, 0 to 2 percent slopes	32.5	52.1%
<b>Totals for Area of Interest</b>		<b>62.3</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.



The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Palm Beach County Area, Florida

### 6—Basinger fine sand, 0 to 2 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2svym

*Elevation:* 0 to 20 feet

*Mean annual precipitation:* 42 to 68 inches

*Mean annual air temperature:* 68 to 79 degrees F

*Frost-free period:* 350 to 365 days

*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Basinger and similar soils:* 85 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Basinger

##### Setting

*Landform:* Flats on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, dip

*Down-slope shape:* Linear, convex

*Across-slope shape:* Linear, concave

*Parent material:* Sandy marine deposits

##### Typical profile

*Ag - 0 to 2 inches:* fine sand

*Eg - 2 to 18 inches:* fine sand

*Bh/E - 18 to 36 inches:* fine sand

*Cg - 36 to 80 inches:* fine sand

##### Properties and qualities

*Slope:* 0 to 2 percent

*Depth to restrictive feature:* More than 80 inches

*Natural drainage class:* Poorly drained

*Runoff class:* Very high

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)

*Depth to water table:* About 3 to 18 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

*Sodium adsorption ratio, maximum in profile:* 4.0

*Available water storage in profile:* Low (about 5.9 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 4w

*Hydrologic Soil Group:* A/D

*Forage suitability group:* Sandy soils on flats of mesic or hydric lowlands (G155XB141FL)

*Other vegetative classification:* Slough (R155XY011FL)

*Hydric soil rating:* Yes

## Minor Components

### Myakka

*Percent of map unit:* 5 percent

*Landform:* Flatwoods on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, talf, dip

*Down-slope shape:* Linear

*Across-slope shape:* Linear, concave

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* No

### Placid

*Percent of map unit:* 4 percent

*Landform:* Depressions on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, dip

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Other vegetative classification:* Freshwater Marshes and Ponds (R155XY010FL)

*Hydric soil rating:* Yes

### Immokalee

*Percent of map unit:* 4 percent

*Landform:* Flatwoods on marine terraces

*Landform position (three-dimensional):* Riser, talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* No

### Margate

*Percent of map unit:* 1 percent

*Landform:* Flats on marine terraces

*Landform position (three-dimensional):* Tread, dip

*Down-slope shape:* Linear

*Across-slope shape:* Concave

*Hydric soil rating:* Yes

### Felda

*Percent of map unit:* 1 percent

*Landform:* Flats on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, talf, dip

*Down-slope shape:* Linear

*Across-slope shape:* Linear, concave

*Ecological site:* Slough (R155XY011FL)

*Other vegetative classification:* Slough (R155XY011FL)

*Hydric soil rating:* Yes

## 7—Basinger fine sand-Urban land complex, 0 to 2 percent slopes

### Map Unit Setting

*National map unit symbol:* 2x9fl

*Elevation:* 0 to 150 feet

*Mean annual precipitation:* 42 to 68 inches

*Mean annual air temperature:* 68 to 77 degrees F

*Frost-free period:* 350 to 365 days

*Farmland classification:* Not prime farmland

### Map Unit Composition

*Basinger and similar soils:* 42 percent

*Urban land:* 36 percent

*Minor components:* 22 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### Description of Basinger

#### Setting

*Landform:* Flats on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, dip

*Down-slope shape:* Linear, convex

*Across-slope shape:* Linear, concave

*Parent material:* Sandy marine deposits

#### Typical profile

*Ag - 0 to 2 inches:* fine sand

*Eg - 2 to 18 inches:* fine sand

*Bh/E - 18 to 36 inches:* fine sand

*Cg - 36 to 80 inches:* fine sand

#### Properties and qualities

*Slope:* 0 to 2 percent

*Depth to restrictive feature:* More than 80 inches

*Natural drainage class:* Poorly drained

*Runoff class:* Very high

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)

*Depth to water table:* About 3 to 18 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Salinity, maximum in profile:* Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)

*Sodium adsorption ratio, maximum in profile:* 4.0

*Available water storage in profile:* Low (about 5.9 inches)

#### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 4w

*Hydrologic Soil Group:* A/D



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*Forage suitability group:* Sandy soils on flats of mesic or hydric lowlands  
(G155XB141FL)  
*Other vegetative classification:* Slough (R155XY011FL)  
*Hydric soil rating:* Yes

### Description of Urban Land

#### Setting

*Landform:* Flatwoods on marine terraces  
*Landform position (three-dimensional):* Riser, talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* No parent material

### Minor Components

#### Myakka

*Percent of map unit:* 5 percent  
*Landform:* Drainageways on marine terraces, flatwoods on marine terraces  
*Landform position (three-dimensional):* Tread, dip, talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear, concave  
*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)  
*Hydric soil rating:* No

#### Placid

*Percent of map unit:* 4 percent  
*Landform:* Drainageways on marine terraces, depressions on marine terraces  
*Landform position (three-dimensional):* Tread, dip  
*Down-slope shape:* Concave  
*Across-slope shape:* Concave  
*Other vegetative classification:* Freshwater Marshes and Ponds (R155XY010FL)  
*Hydric soil rating:* Yes

#### Immokalee

*Percent of map unit:* 4 percent  
*Landform:* Flatwoods on marine terraces  
*Landform position (three-dimensional):* Riser, talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)  
*Hydric soil rating:* No

#### Matlacha

*Percent of map unit:* 3 percent  
*Landform:* Flats on marine terraces  
*Landform position (three-dimensional):* Tread, talf  
*Down-slope shape:* Convex, linear  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

#### Margate

*Percent of map unit:* 3 percent  
*Landform:* Flats on marine terraces  
*Landform position (three-dimensional):* Tread, dip  
*Down-slope shape:* Linear  
*Across-slope shape:* Concave

*Hydric soil rating:* Yes

**Basinger**

*Percent of map unit:* 2 percent

*Landform:* Flats on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, dip

*Down-slope shape:* Convex, linear

*Across-slope shape:* Linear, concave

*Other vegetative classification:* Slough (R155XY011FL)

*Hydric soil rating:* No

**Felda**

*Percent of map unit:* 1 percent

*Landform:* Drainageways on marine terraces, flats on marine terraces

*Landform position (three-dimensional):* Tread, dip, talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear, concave

*Ecological site:* Slough (R155XY011FL)

*Other vegetative classification:* Slough (R155XY011FL)

*Hydric soil rating:* Yes

## **8—Basinger and Myakka sands, depressional**

**Map Unit Setting**

*National map unit symbol:* 1j7ct

*Elevation:* 10 to 100 feet

*Mean annual precipitation:* 48 to 56 inches

*Mean annual air temperature:* 70 to 77 degrees F

*Frost-free period:* 358 to 365 days

*Farmland classification:* Not prime farmland

**Map Unit Composition**

*Basinger, depressional, and similar soils:* 47 percent

*Myakka, depressional, and similar soils:* 47 percent

*Minor components:* 6 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

**Description of Basinger, Depressional**

**Setting**

*Landform:* Depressions on marine terraces

*Landform position (three-dimensional):* Dip

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Parent material:* Sandy marine deposits

**Typical profile**

*A - 0 to 4 inches:* sand

*Eg - 4 to 29 inches:* sand

*Bh/Eg - 29 to 36 inches:* sand

*Cg - 36 to 72 inches: sand*

**Properties and qualities**

*Slope: 0 to 2 percent*

*Depth to restrictive feature: More than 80 inches*

*Natural drainage class: Very poorly drained*

*Runoff class: Negligible*

*Capacity of the most limiting layer to transmit water (Ksat): Very high (19.98 to 39.96 in/hr)*

*Depth to water table: About 0 inches*

*Frequency of flooding: None*

*Frequency of ponding: Frequent*

*Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)*

*Sodium adsorption ratio, maximum in profile: 4.0*

*Available water storage in profile: Very low (about 2.9 inches)*

**Interpretive groups**

*Land capability classification (irrigated): None specified*

*Land capability classification (nonirrigated): 7w*

*Hydrologic Soil Group: A/D*

*Forage suitability group: Sandy soils on stream terraces, flood plains, or in depressions (G156AC145FL)*

*Hydric soil rating: Yes*

**Description of Myakka, Depressional**

**Setting**

*Landform: Depressions on marine terraces*

*Landform position (three-dimensional): Dip*

*Down-slope shape: Concave*

*Across-slope shape: Concave*

*Parent material: Sandy marine deposits*

**Typical profile**

*A - 0 to 6 inches: sand*

*E - 6 to 26 inches: sand*

*Bh - 26 to 47 inches: sand*

*C - 47 to 72 inches: sand*

**Properties and qualities**

*Slope: 0 to 2 percent*

*Depth to restrictive feature: More than 80 inches*

*Natural drainage class: Very poorly drained*

*Runoff class: Negligible*

*Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 5.95 in/hr)*

*Depth to water table: About 0 inches*

*Frequency of flooding: None*

*Frequency of ponding: Frequent*

*Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)*

*Sodium adsorption ratio, maximum in profile: 4.0*

*Available water storage in profile: Low (about 4.9 inches)*

**Interpretive groups**

*Land capability classification (irrigated): None specified*

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*Land capability classification (nonirrigated): 7w*

*Hydrologic Soil Group: A/D*

*Forage suitability group: Sandy soils on stream terraces, flood plains, or in depressions (G156AC145FL)*

*Hydric soil rating: Yes*

### Minor Components

#### Anclote

*Percent of map unit: 2 percent*

*Landform: Drainageways on marine terraces, flats on marine terraces*

*Landform position (three-dimensional): Dip, talf*

*Down-slope shape: Linear*

*Across-slope shape: Concave*

*Hydric soil rating: Yes*

#### Sanibel

*Percent of map unit: 2 percent*

*Landform: Depressions on marine terraces*

*Landform position (three-dimensional): Dip*

*Down-slope shape: Concave*

*Across-slope shape: Concave*

*Hydric soil rating: Yes*

#### Pompano

*Percent of map unit: 2 percent*

*Landform: Drainageways on marine terraces*

*Landform position (three-dimensional): Dip*

*Down-slope shape: Linear*

*Across-slope shape: Concave*

*Hydric soil rating: Yes*

## 48—Urban land, 0 to 2 percent slopes

### Map Unit Setting

*National map unit symbol: 2x9fc*

*Elevation: 0 to 200 feet*

*Mean annual precipitation: 40 to 68 inches*

*Mean annual air temperature: 68 to 79 degrees F*

*Frost-free period: 345 to 365 days*

*Farmland classification: Not prime farmland*

### Map Unit Composition

*Urban land: 85 percent*

*Minor components: 15 percent*

*Estimates are based on observations, descriptions, and transects of the mapunit.*



## Description of Urban Land

### Setting

*Landform:* Rises on marine terraces, hills on marine terraces, knolls on marine terraces, flatwoods on marine terraces, ridges on marine terraces  
*Landform position (two-dimensional):* Summit, backslope  
*Landform position (three-dimensional):* Interfluve, side slope, riser, rise, talf  
*Down-slope shape:* Convex, linear  
*Across-slope shape:* Linear  
*Parent material:* No parent material

## Minor Components

### St. augustine

*Percent of map unit:* 3 percent  
*Landform:* Marine terraces  
*Landform position (three-dimensional):* Tread, rise  
*Down-slope shape:* Linear  
*Across-slope shape:* Convex  
*Hydric soil rating:* No

### Matlacha

*Percent of map unit:* 3 percent  
*Landform:* Flats on marine terraces  
*Landform position (three-dimensional):* Tread, talf  
*Down-slope shape:* Convex, linear  
*Across-slope shape:* Linear  
*Hydric soil rating:* No

### Adamsville

*Percent of map unit:* 1 percent  
*Landform:* Knolls on marine terraces, rises on marine terraces  
*Landform position (three-dimensional):* Tread, rise  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Other vegetative classification:* Upland Hardwood Hammock (R155XY008FL)  
*Hydric soil rating:* No

### Apopka

*Percent of map unit:* 1 percent  
*Landform:* Hills on marine terraces, ridges on marine terraces  
*Landform position (two-dimensional):* Summit, backslope  
*Landform position (three-dimensional):* Interfluve, side slope, riser  
*Down-slope shape:* Convex  
*Across-slope shape:* Linear  
*Other vegetative classification:* Longleaf Pine-Turkey Oak Hills (R155XY002FL)  
*Hydric soil rating:* No

### Paola

*Percent of map unit:* 1 percent  
*Landform:* Knolls on marine terraces, ridges on marine terraces  
*Landform position (two-dimensional):* Backslope, summit  
*Landform position (three-dimensional):* Side slope, interfluve, riser  
*Down-slope shape:* Linear, convex  
*Across-slope shape:* Linear  
*Other vegetative classification:* Sand Pine Scrub (R155XY001FL)

## Custom Soil Resource Report

*Hydric soil rating:* No

### **Hallandale**

*Percent of map unit:* 1 percent

*Landform:* Flatwoods on marine terraces

*Landform position (three-dimensional):* Tread, talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* Yes

### **Eaugallie**

*Percent of map unit:* 1 percent

*Landform:* Flatwoods on marine terraces

*Landform position (three-dimensional):* Tread, talf

*Down-slope shape:* Convex

*Across-slope shape:* Linear

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* No

### **Pomello**

*Percent of map unit:* 1 percent

*Landform:* Knolls on marine terraces, ridges on marine terraces

*Landform position (two-dimensional):* Backslope, summit

*Landform position (three-dimensional):* Side slope, interfluve, riser

*Down-slope shape:* Linear, convex

*Across-slope shape:* Linear

*Other vegetative classification:* Sand Pine Scrub (R155XY001FL)

*Hydric soil rating:* No

### **Immokalee**

*Percent of map unit:* 1 percent

*Landform:* Flatwoods on marine terraces

*Landform position (three-dimensional):* Riser, talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* No

### **Boca**

*Percent of map unit:* 1 percent

*Landform:* Flats on marine terraces, drainageways on marine terraces

*Landform position (three-dimensional):* Tread, talf, dip

*Down-slope shape:* Convex, linear

*Across-slope shape:* Linear, concave

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* Yes

### **Myakka**

*Percent of map unit:* 1 percent

*Landform:* Drainageways on flatwoods on marine terraces

*Landform position (three-dimensional):* Tread, dip, talf

*Down-slope shape:* Linear

*Across-slope shape:* Linear, concave

*Other vegetative classification:* South Florida Flatwoods (R155XY003FL)

*Hydric soil rating:* No



# References

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- American Society for Testing and Materials (ASTM). 2005. Standard classification of soils for engineering purposes. ASTM Standard D2487-00.
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- Soil Survey Staff. 1999. Soil taxonomy: A basic system of soil classification for making and interpreting soil surveys. 2nd edition. Natural Resources Conservation Service, U.S. Department of Agriculture Handbook 436. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2\\_053577](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053577)
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- United States Department of Agriculture, Natural Resources Conservation Service. National forestry manual. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/home/?cid=nrcs142p2\\_053374](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/home/?cid=nrcs142p2_053374)
- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>



## Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2\\_054242](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242)

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2\\_053624](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624)

United States Department of Agriculture, Soil Conservation Service. 1961. Land capability classification. U.S. Department of Agriculture Handbook 210. [http://www.nrcs.usda.gov/Internet/FSE\\_DOCUMENTS/nrcs142p2\\_052290.pdf](http://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_052290.pdf)

*D. PALM BEACH COUNTY DESIGN STANDARDS MANUAL SECTION 600*



## **Section 600**

### **Roadside Drainage**

## 600 ROADSIDE DRAINAGE

### 1. Drainage Structure Locations

Storm sewer inlets, manholes, and junction boxes installed along local and residential access streets shall be located adjacent to lot corners, or approximately midway between side lot lines or otherwise placed so as to not conflict or coincide with existing and future construction of driveway connections.

Structures proposed to be located within the pavement area shall be outside the vehicle wheel path.

### 2. Stormwater Service Connections to County Drainage Facilities

The following standards shall apply to the design, construction, and operation of all private stormwater service connections to County maintained roadway drainage systems permitted pursuant to PPM No. EL-O-3601, Right of Way Construction Permit Process and PPM No. EL-O-3604 Stormwater Service Connection to County Drainage Facilities. These publications can be found in the "Policies and Procedures Manual" of the Palm Beach County Department of Engineering and Public Works.

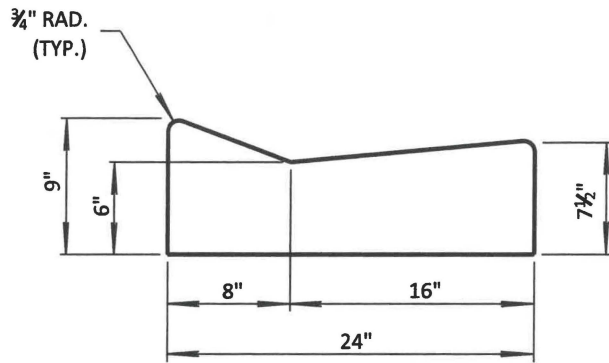
- a. Stormwater service connections shall be permitted only for projects connecting to a County-maintained roadway system for which positive drainage to a point of positive outfall exists. The permitting of the stormwater connection may require construction of all necessary conveyance facilities and establishment of any easements necessary for the operation and maintenance of the drainage facilities, as determined by the County Engineer.
- b. Discharges to County drainage systems shall consist solely of stormwater and shall contain no oil, grease, floating solids, settleable soils, flammable liquids, or domestic or industrial wastewater which would cause or contribute to contravention of State water quality standards in the receiving water bodies.
- c. Onsite stormwater inlets shall include a 2-foot slump at the base to prevent sedimentation downstream.
- d. All discharge structures shall include a baffle system to encourage discharge from the center of the water column rather than the top or bottom. The baffle system shall include a skimmer or other approved mechanism suitable for preventing oil and grease from discharging from retention and detention areas, as required. Any required baffle systems shall be designed so as to not impact the discharge structure's hydraulic capacity.



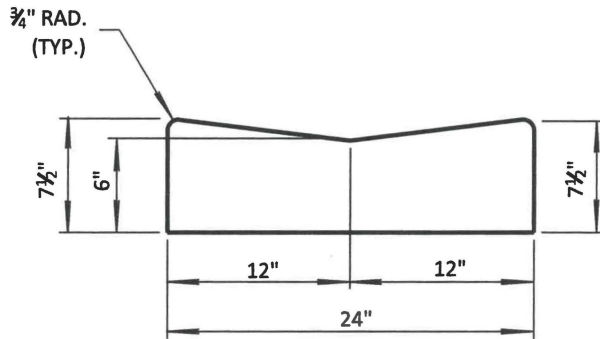
- e. All discharge to the County right-of-way up to the 25-year / 3-day storm shall be through an approved, onsite control structure with a piped connection to either an adjacent storm sewer or roadside drainage ditch.
- f. No discharge of stormwater runoff to roadside swales by overland flow, open channel flow or pipe connection shall be permitted. This prohibition includes the use of "bubble-up" structures.
- g. Unless the permittee provides satisfactory evidence of a specific allocation of discharge from the lot in the County-approved design of an existing roadway drainage system, the following onsite storage requirements and discharge limits shall apply:
  - i. The peak discharge rate from the 3-year / 24-hour storm shall not exceed the existing peak discharge to the right-of-way. The peak discharge shall be based upon the total site area and shall be based upon an assumed tailwater elevation equal to the static water surface elevation (i.e. elevation at zero inflow) in the roadway storm sewer at the point of connection;
  - ii. The peak discharge rate for the 25-year / 3-day storm shall not exceed the lesser of the existing peak discharge from the total side area for the same storm or the allowable peak discharge rate established by the agency with jurisdiction over the receiving water body providing outfall to the County roadway drainage system. The discharge rate shall be based upon a tailwater elevation equal to the static water surface elevation (i.e. elevation at zero inflow) in the roadway storm sewer at the point of connection;
  - iii. The onsite peak elevation due to a 3-year / 24-hour storm shall be no higher than the design hydraulic grade line elevation of the roadway system for the same storm, at the point of connection.
  - iv. Where design information is not available from the Department of Engineering and Public Works Roadway Production Division for a particular reach of storm sewer at the point of connection, the design hydraulic grade line shall be assumed to be 1-foot below the inlet (grate or throat) elevation of the inlet structure immediately upstream from the point of connection;
  - v. The proposed stormwater management system shall be designed to recover the runoff volume generated by the 25-year / 3-day storm event within 5 days after the cessation of the storm event. Unless otherwise dictated by a drainage district having authority over the site, the system

shall also be designed to recover the required water quality volume within 3 days after the cessation of a storm event.

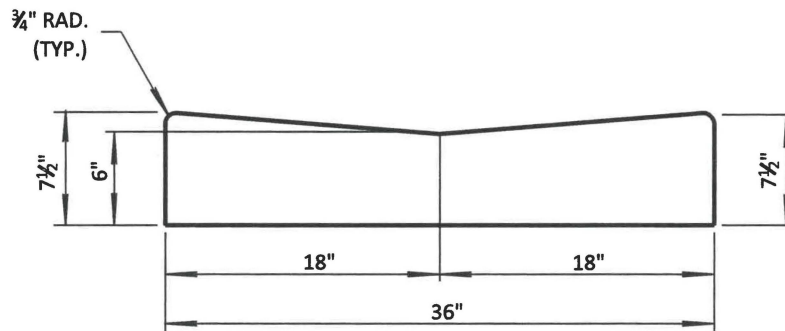
- h. Connections to County maintained roadway drainage systems shall be located within the limits of the lot frontage unless either:
  - i. an appropriate drainage easement is obtained (outside of the right-of-way) to allow storm water runoff to be discharged to an alternative point of connection; or
  - ii. the proposed connection to the County maintained roadway drainage is sized adequately to accommodate all possible inflows to the public right-of-way, as determined by the County Engineer.
- i. The connection of two or more outfall pipes to create a single connection to the right-of-way shall require a manhole, junction box, or other structure for visual observation of each individual discharge. Said structure shall be installed outside the right-of-way at a location easily accessible to County personnel for inspection at any time.
- j. Connections to a County maintained roadway drainage system should be to an existing drainage structure, where possible. If no structure exists in the area for the point of connection, then a structure may be constructed by the permittee if approval is received by the County Engineer.
- k. Piped connections to an existing roadside ditch shall be made using a suitable endwall and erosion protection for the side slopes and invert of the ditch, subject to approval by the County Engineer. Outfalls shall not protrude into the design cross-section of the ditch, and shall not be recessed into the side slope in a manner that will create eddys, bank sloughing, shoaling, or otherwise interfere with longitudinal flow or normal ditch maintenance.
- l. Discharge pipe installed within the County right-of-way shall have a minimum of 3-feet of cover to the finished grade, unless otherwise approved by the County Engineer. A hydraulically equivalent elliptical reinforced concrete pipe may be utilized to avoid potential pipe cover issues.



**2' VALLEY GUTTER -  
NON-SYMMETRICAL  
(a/k/a MIAMI CURB)**



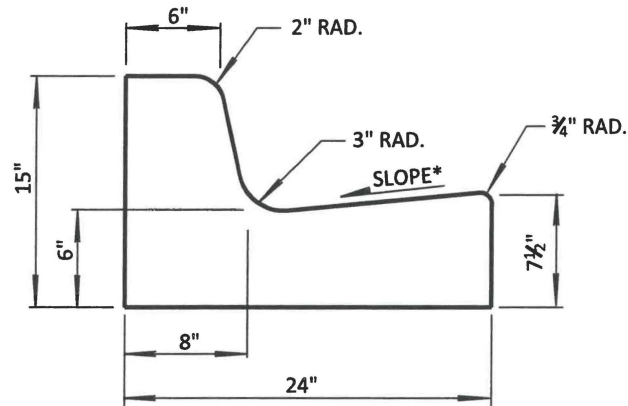
**2' VALLEY GUTTER -  
SYMMETRICAL**



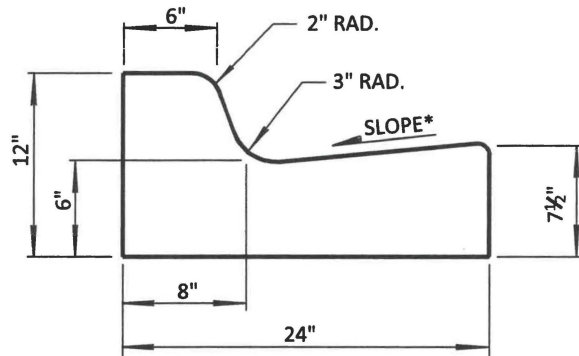
**3' VALLEY GUTTER**

FILEPATH: P:/DGN/ENG SER/LAND DEVELOPMENT STANDARDS/DWF FORMAT/600.1

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				VALLEY GUTTERS		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	600.1
K.L.	05/23/90	J.M.K.	02/01/2018	<i>[Signature]</i>	2/9/18	
				COUNTY ENGINEER OR DESIGNEE		




**BARRIER CURB & GUTTER**



**VERTICAL CURB & GUTTER**

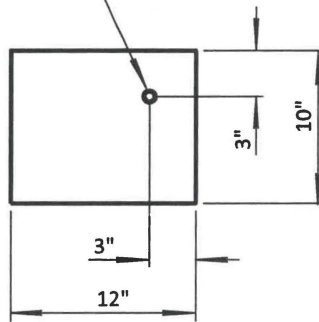
\* **NOTE:** WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6 INCHES.

FILEPATH: P:/DGN/ENG SER/LAND DEVELOPMENT STANDARDS/DWF FORMAT/600.2

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				NON-MOUNTABLE CURB & GUTTER		DRAWING NO.  600.2
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:		EFFECTIVE:
K.L.	05/23/90	J.M.K.	02/01/2018			
				COUNTY ENGINEER OR DESIGNEE		02/01/18

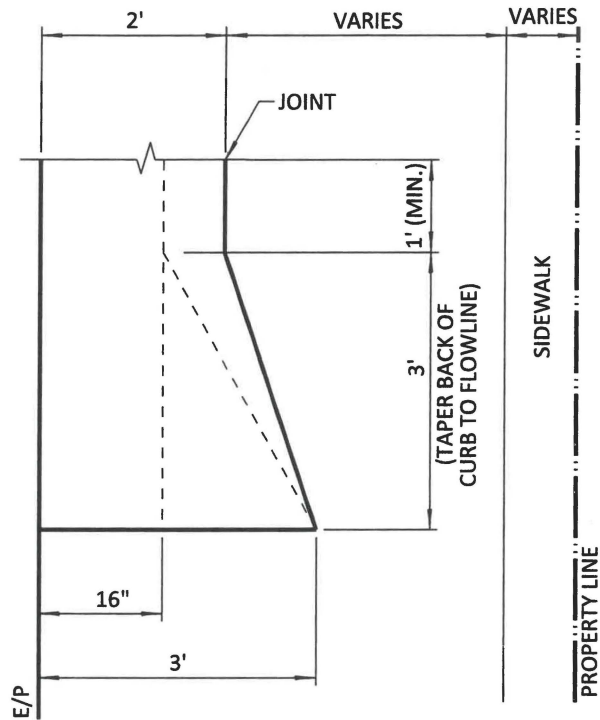


#4 BAR PLACED  
ON PAVEMENT SIDE

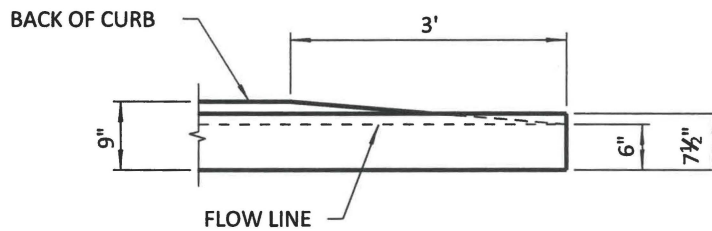


FILEPATH: P:/DGN/ENG SER/LAND DEVELOPMENT STANDARDS/DWF FORMAT/600.3

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				FLUSH HEADER CURB		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	600.3
K.L.	05/23/90	J.M.K.	02/01/2018	<i>John LaDonnell</i> COUNTY ENGINEER OR DESIGNEE	2/9/18	



**PLAN  
NON-SYMMETRICAL  
VALLEY GUTTER**



**PROFILE**

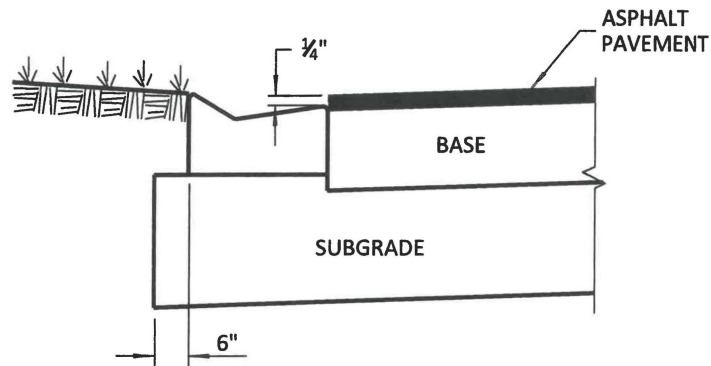
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PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				CONCRETE TRANSITION END (VALLEY GUTTER TO SWALE)		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	600.4
K.L.	05/23/90	J.M.K.	02/01/2018	<i>[Signature]</i>	2/9/18	
				COUNTY ENGINEER OR DESIGNEE		

SEED & MULCH ON COMPACTED  
SHOULDER TO PATHWAY OR  
PROPERTY LINE, STABILIZED  
AS NEEDED TO MIN. FBV OF  
50 P.S.I. (6" DEPTH)

OR

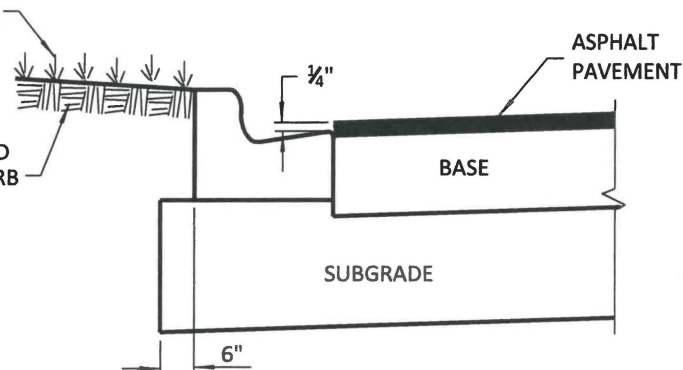
FULL SOD ON COMPACTED  
SHOULDER TO PATHWAY OR  
PROPERTY LINE.



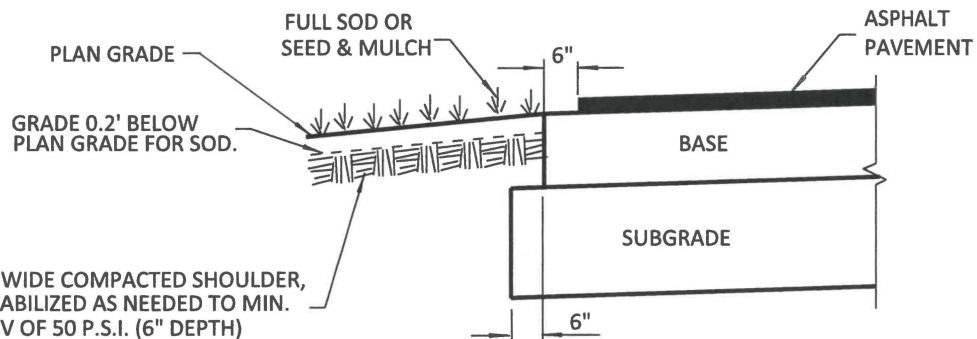
### VALLEY GUTTERS

FULL SOD OR  
SEED & MULCH

COMPACTED  
BEHIND CURB  
2' MIN.




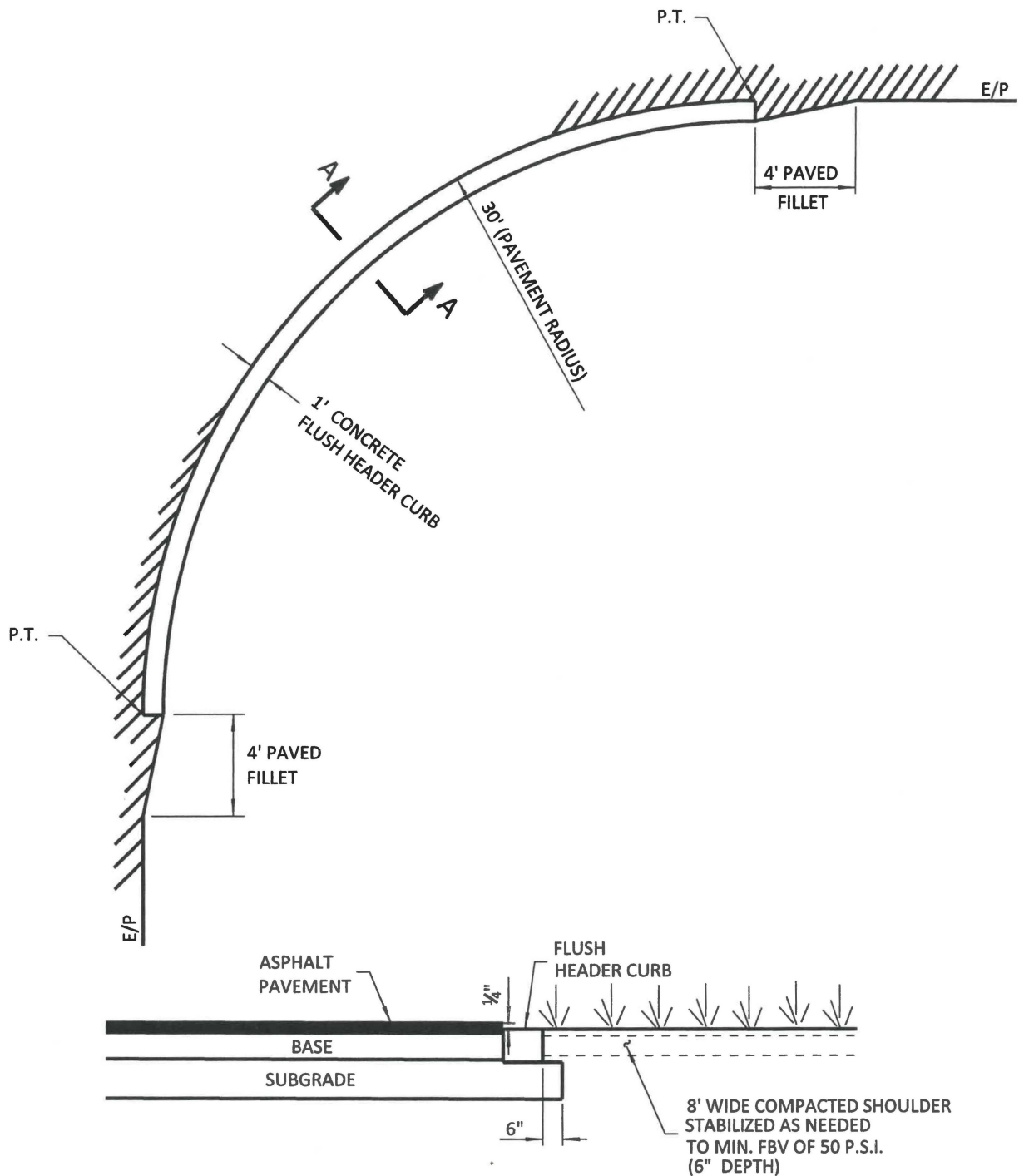
### NON-MOUNTABLE CURB & GUTTERS



### SWALE

FILEPATH: P:/DGN/ENG SER/LAND DEVELOPMENT STANDARDS/DWF FORMAT/600.5A

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				LOCAL STREET PAVEMENT EDGE DETAILS		DRAWING NO.  600.5A
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:		EFFECTIVE:  2/9/18
K.L.	05/23/90	J.M.K.	02/01/2018			
				COUNTY ENGINEER OR DESIGNEE		

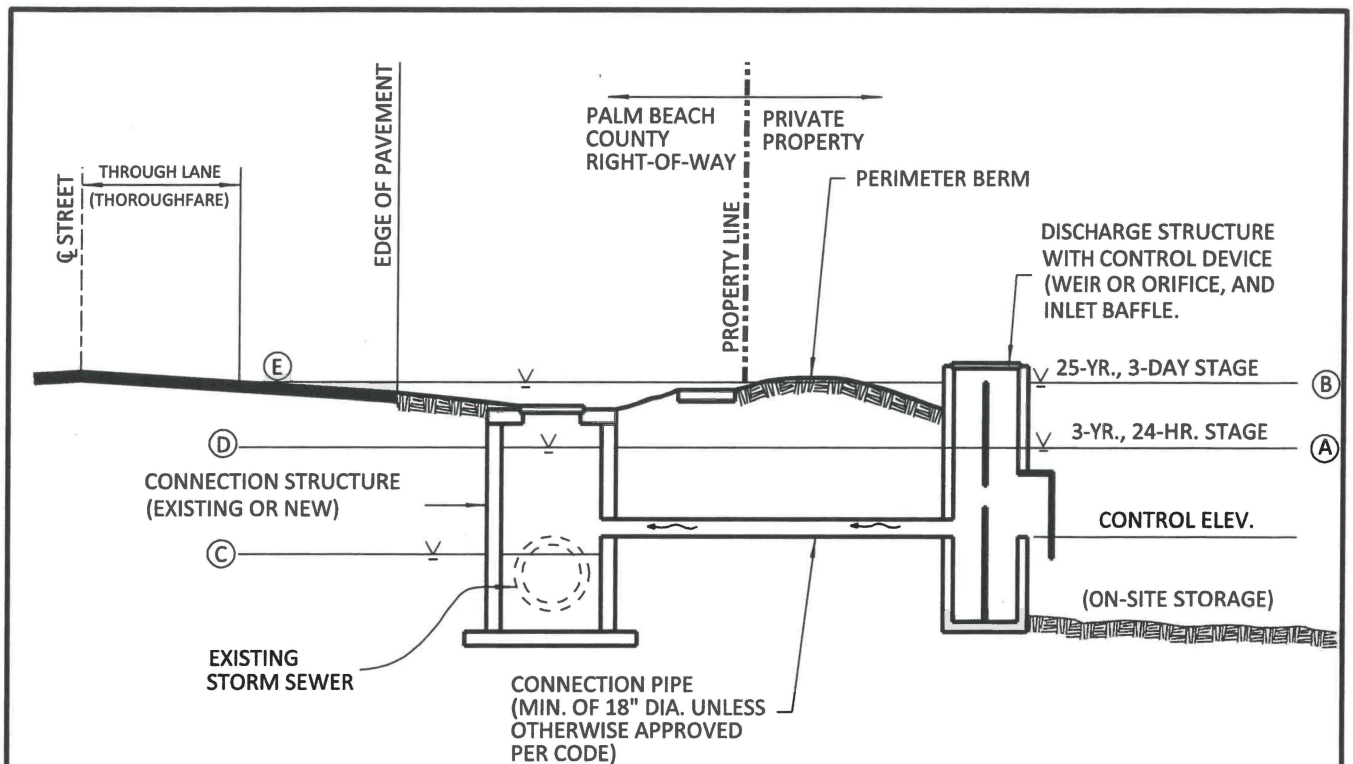


### SECTION A-A

FILEPATH: P:/DGN/ENG SER/LAND DEVELOPMENT STANDARDS/DWF FORMAT/600.5B

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				LOCAL STREET PAVEMENT EDGE DETAILS FLUSH HEADER CURB		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	600.5B
K.L.	05/23/90	J.M.K.	02/01/2018	<i>[Signature]</i>	<i>01/9/18</i>	
				COUNTY ENGINEER OR DESIGNEE		





- (A) PEAK ON-SITE STORAGE ELEVATION WITH RUNOFF PRODUCED BY 3-YR., 24-HR. RAINFALL FROM TOTAL AREA DRAINED BY SERVICE CONNECTION, NOT TO EXCEED HYDRAULIC GRADE LINE (H.G.L.) ELEVATION AS NOTED IN (D)
- (B) PEAK ON-SITE STORAGE ELEVATION WITH RUNOFF PRODUCED BY 25-YR., 3-DAY RAINFALL, NOT TO EXCEED LOWER OF SITE PERIMETER BERM ELEVATION OR (FOR THOROUGHFARE-PLAN STREETS) PAVEMENT ELEVATION AS NOTED IN (E)
- (C) STORM SEWER H.G.L. ELEVATION AT ZERO FLOW IN RECEIVING SEWER (i.e, TAILWATER ELEVATION TO BE USED FOR DETERMINING STAGE VS. DISCHARGE OF CONTROL DEVICE)
- (D) STORM SEWER H.G.L. ELEVATION AT DESIGN PEAK FLOW AT POINT OF CONNECTION. IF NOT OTHERWISE KNOWN, USE 1 FT. BELOW INLET ELEVATION OF NEXT UPSTREAM ON-LINE INLET.
- (E) PAVEMENT ELEVATION AT OUTSIDE EDGE OF HIGHEST THROUGH LANES (ONE IN EACH DIRECTION) FOR THOROUGHFARE-PLAN STREET.

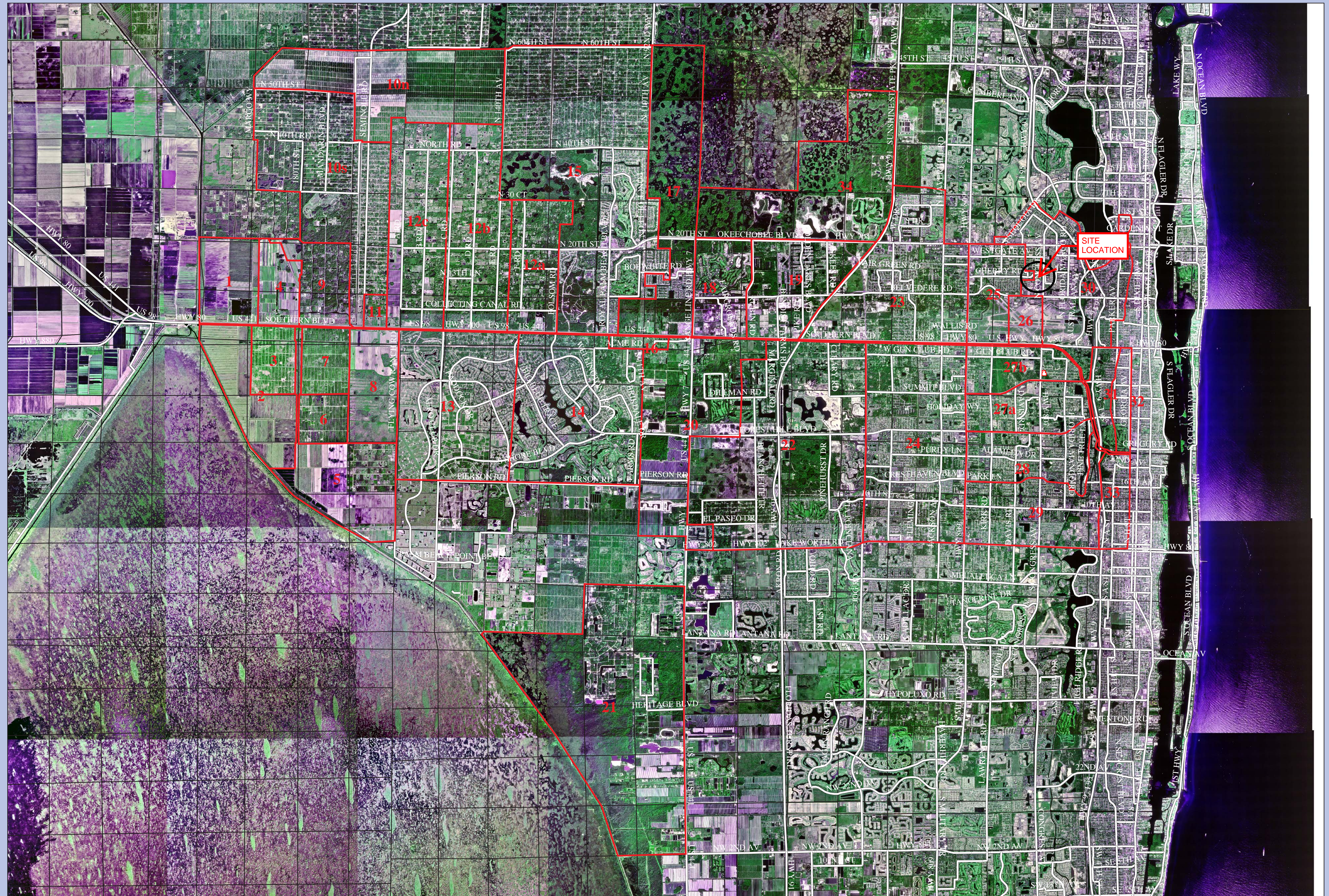
FILEPATH: P:/DGN/ENG SER/LAND DEVELOPMENT STANDARDS/DWF FORMAT/600.6

PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS				STORM WATER CONNECTION TO COUNTY STORM SEWER (HYDRAULIC DESIGN SCHEMATIC)		DRAWING NO.
DRAWN BY:	DATE:	REVISED BY:	DATE:	APPROVED:	EFFECTIVE:	600.6
K.L.	06/17/91	J.M.K.	02/01/2018	<i>[Signature]</i>	2/19/18	
				COUNTY ENGINEER OF DESIGNEE		

*E. SFWMD C-51 BASIN MAP AND GUIDELINES*

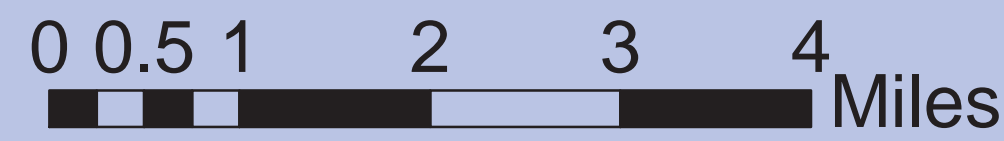


# C-51 Sub-Basins



**Legend**

- C-51 Subbasins
- Palm Beach Highways
- Section Lines



This map is a conceptual tool utilized for project development and implementation only. This map is not self executing or binding, and does not otherwise affect the interests of any person including any vested rights or existing uses of real property. Any information, including but not limited to maps and data, received from the SFWMD is provided "as is" without any warranty and the SFWMD expressly disclaims all express and implied warranties of merchantability and fitness for a particular purpose. The District does not make any representations regarding the use, or the results of the use, of the information provided to you by the District.



## C-51 BASIN RULE RE-EVALUATION

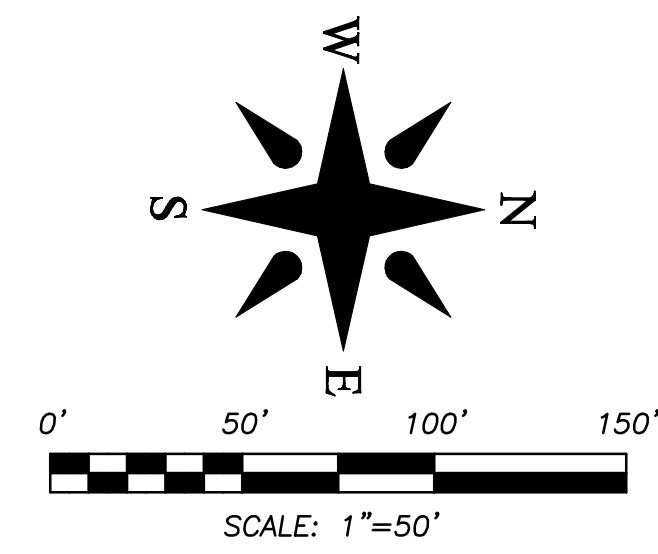
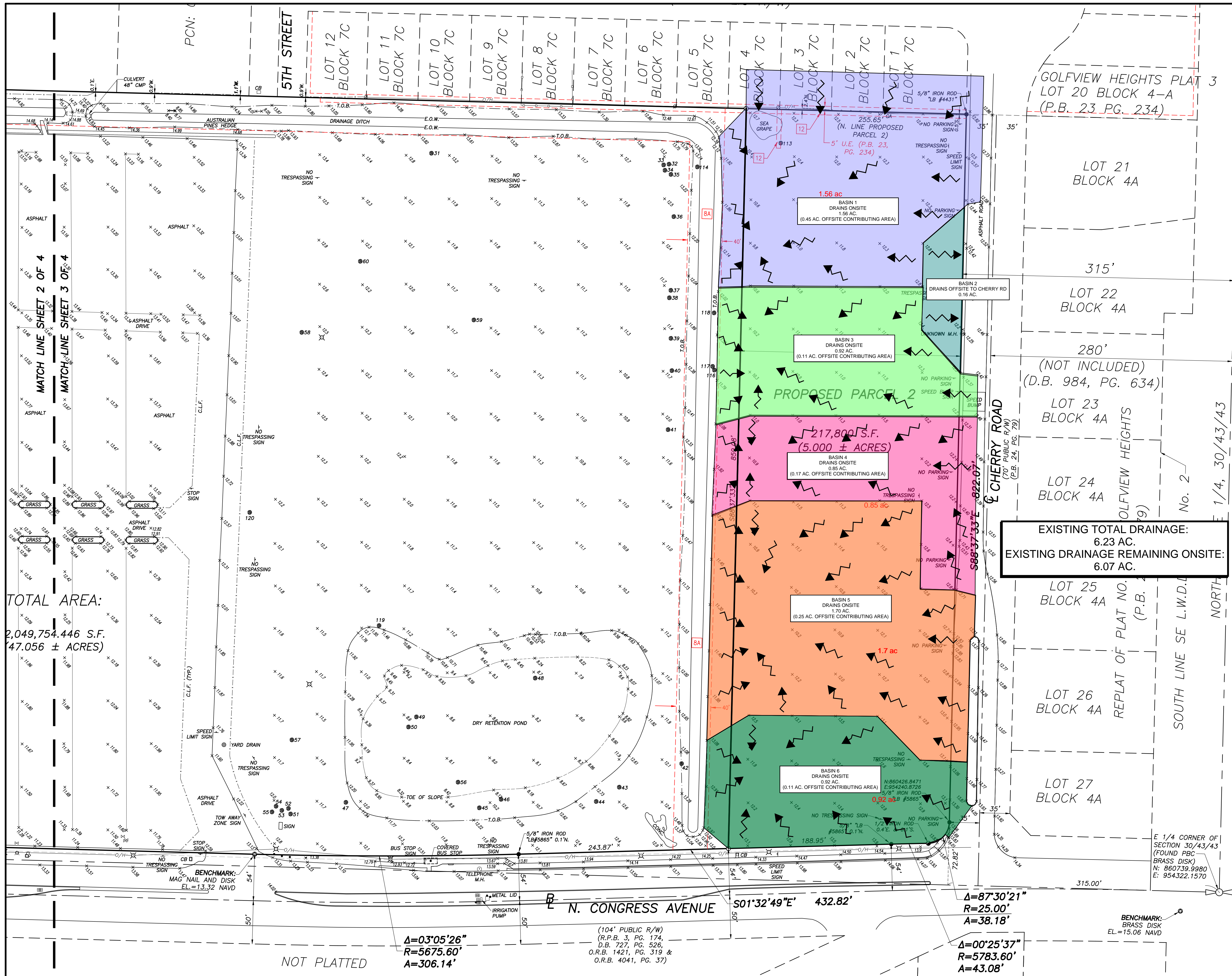
Table 37. Summary of C-51 Basin Rule (1987) and Interim Guidance (2004) Flow and Stage

Sub-Basin		Area <sup>1</sup>		Basin Rule <sup>2</sup> Q (10-yr, 72-hr)		Allowable Stage (100-yr, 72-hr)	
ID	Other ID	(acres)	(sq mi)	(CSM)	(cfs)	Basin Rule <sup>2</sup>	Interim Guidance Memorandum <sup>3</sup> (ft NGVD)
1	B1	1164	1.82	27	49	18.2	14.2
2A	STA1E	6716	10.49	- <sup>4</sup>	- <sup>4</sup>	17.2	13.3
2B	B2B	1226	1.92	27	52	17.2	14.0
3	B3	579	0.91	27	24	18.3	15.8
4	B4	540	0.84	27	23	18.3	16.6
5	B5	1143	1.78	27	48	18.7	17.7
6	B6	674	1.05	24	25	21.0	19.2
7	B7	4127	6.45	24	155	21.0	19.9
8	B8	3967	6.20	54	335	22.0	20.8
9	B9	73	0.11	24	3	21.0	18.0
10	B10	208	0.32	0	0	20.1	18.3
11	B11	8138	12.71	27	343	20.2 – 21.0	19.1
12	B12	74	0.12	27	3	20.2	17.9
13	B13	10538	16.46	18	296	17.5	16.7
14	B14	9270	14.48	-	-	-	-
15A	B15A	5117	7.99	70	560	19.0	18.2
15B	B15B	8641	13.50	-	-	-	-
16A	B16A	1064	1.66	0	0	18.1	17.1
16B	B16B	2449	3.83	0	0	19.1	19.0
17	B17	1651	2.58	27	70	18.0	16.8
18	B18	2295	3.58	27	97	17.9	16.0
20A	B20A	1139	1.78	0	0	18.1	16.5
20B	B20B	2342	3.66	16	59	18.3	17.0
21A	B21A	3540	5.53	0	0	19.8	17.3
21B	B21B	5056	7.90	0	0	19.8	17.7
22	B22	7375	11.52	35	403	19.0	17.5
23	B23	4207	6.57	35	230	19.1	17.1
24	B24	5282	8.25	35	289	19.3	17.9
25A	B25A	206	0.32	35	11	16.6	14.6
25B	B25B	972	1.52	35	53	16.6	14.7
26	B26	376	0.59	35	21	15.9	13.8
27	B27	831	1.30	35	45	15.6	13.2
28	B28	223	0.35	35	12	15.6	12.4
29A	B29A	1578	2.46	35	86	15.6	14.8
29B	B29B	440	0.69	35	24	15.6	15.2
30	B30	1153	1.80	35	63	16.4	14.1
31	B31	1468	2.29	35	80	15.2	13.1
32	B32	1813	2.83	35	99	15.3	13.0
33	B33	2324	3.63	35	127	15.3	13.6
34	B34	711	1.11	35	39	20.0	17.0
35	B35	173	0.27	35	9	15.6	13.0
36	B36	603	0.94	35	33	15.7	14.0
37	B37	390	0.61	35	21	20.0	16.5
38	B38	1955	3.05	0	0	18.8	17.3
Sect 24	Sect24	401	0.62	-	-	-	-

1. Table reflects sub-basin areas in the 2004 report
2. 1987 Basin Rule
3. Peak flood stage from the Interim Guidance Memorandum (October 18, 2004)
4. Sub-basin 2A (STA-1E) not part of the C-51 Basin

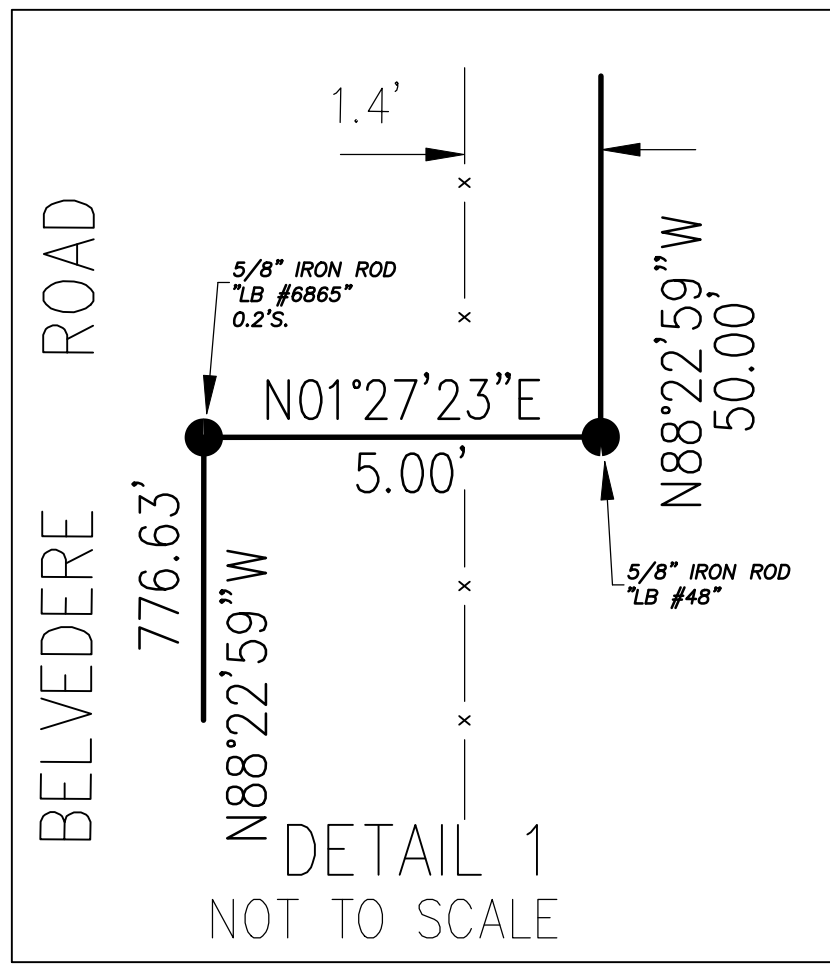


*F. EXISTING BASIN MAP*



TOTAL AREA:  
2,049,754.446 S.F.  
(47.056 ± ACRES)

EXISTING TOTAL DRAINAGE:  
6.23 AC.  
EXISTING DRAINAGE REMAINING ONSITE:  
6.07 AC.



Boundary Survey For:

**FRISBIE GROUP, LLC, A LIMITED LIABILITY COMPANY**

**WALLACE SURVEYING**  
CORP. LICENSED BUSINESS #4991  
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-4551

FIELD: J.D.	JOB No.: 23-1108	F.B. WP201 PG. 21
OFFICE: D.R.	DATE: 03/28/2023	DWG. No.: 23-1108-1
C'K'D.: C.W.	REF.: 23-1108.dwg	SHEET: 4 OF 4

Δ=03°05'26"  
R=5675.60'  
A=306.14'

(104' PUBLIC R/W)  
(R.P.B. 3, PG. 174,  
D.B. 727, PG. 526,  
O.R.B. 1421, PG. 319 &  
O.R.B. 4041, PG. 37)

Δ=87°30'21"  
R=25.00'  
A=38.18'

Δ=00°25'37"  
R=5783.60'  
A=43.08'

BENCHMARK:  
BRASS DISK  
EL.=15.06 NAVD



February 26, 2024

**PALM BEACH KENNEL CLUB**

**Justification Statement**

**Rezoning/ Class B Conditional Use/Type 2 Variance**

**Subdivision Variance /Type 1 Waiver/Type 2 Waiver/DRO**

**Control Number: TBD**

**Initial Submittal: February 26, 2024**



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Urban Design  
Land Planning  
Landscape Architecture

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**INTRODUCTION**

On behalf of the Property Owner and Applicant, Investment Corporation of Palm Beach, Urban Design Studio, as Agent, has prepared and hereby respectfully submits concurrent applications for a Class B Conditional Use Approval for the proposed uses of Entertainment, Indoor/Type 3 Kennel/Restaurant/Offices, a Rezoning from Residential High (RH) to Commercial General (CG), Type 1 & Type 2 Waiver, and Type 2 & Subdivision variances.

The 47.1 subject property as currently configured is located at 1111 North Congress Avenue, which is generally located on the southwest intersection of North Congress Avenue and Belvedere Road within unincorporated Palm Beach County ("County"). The current site plan of record is depicted on the County Zoning website as Exhibit #21, approved under Control No. 1983-00050.

The proposed application, however, will be for the northern 5.0 acres of the property. A plat waiver is currently in process to create the 5.0- acre property ("Property") as a new parcel. It is the Applicant's understanding that the 42.1-acre balance of the site south of the subject Property is currently under contract with plans of redevelopment currently being discussed with staff by the contract purchaser. At the applicant's initial pre-application meeting with staff, it was relayed that this portion of the site and approval will be given a new control number. The operational plan for the property is to maintain operations within the existing building while the new facility is under construction.

The Property is identified by Parcel Control Number 00-43-43-30-00-000-5190. The Property is designated CH/8, Commercial High with an underlying HR-8, on the County's Future Land Use ("FLU") Map and located within the RH, Multi-Family Residential, zoning district. The Property is also located within the UG, Urban General, sub-area of the WCRAO, Westgate Community Redevelopment Area Overlay.

**PROPERTY HISTORY**

The Palm Beach Kennel Club indoor entertainment and & greyhound racing facility opened in 1932 and has been in operation for over 88 years until the racing operations ceased in 2020. The indoor entertainment, casino and para-mutual operations are offered today. On July 19, 1983, the BCC approved Resolution R-83-803 allowing a Special Exception to allow an Open-Air Flea Market on the subject property. The flea market approval, however, only applied to the CG zoned portion of the property as depicted on the current approved site plan and has not



been operated for years. It is anticipated that the specific exception for that use, as it does not apply to the north five acres, will be abandoned with the redevelopment entitlement process for the balance of the site. A variance was granted on the property in 2004 (BA-2004-00210) to allow the installation of satellite dishes. The most recent zoning approval was in 2020, an administrative approval was processed by the County to add Type 2 Kennel and Dog Daycare uses to the site.

### **PRE-APPLICATION MEETING**

A pre-application meeting took place with Palm Beach County Planning, Zoning, Land Development, Traffic, and Westgate CRA staff on February 6, 2024. Various procedural items were discussed as well as access. The applicant has not as of yet received back the County's final notes from that meeting. Cross access was also discussed but no review of the future plans for the balance of the property was included in that meeting.

The elimination of the historic dog racing and flea market uses has resulted in a severe underutilization of the subject property at a prominent intersection in the County. The relocation of the existing indoor entertainment, casino, and para-mutual operations to the northern 5 acres of the subject property is necessary in order to pave the way for the future redevelopment of the southern 42.1 acres, which will serve as a significant catalyst for redevelopment along the Congress Avenue corridor within the Westgate CRA area. The redevelopment of this corner will substantially improve this area, which serves as an entry, and first impression, to those arriving to Palm Beach International Airport.

### **APPLICATION REQUEST**

On behalf of the Property Owner and Applicant, in order to redevelop the property, Urban Design Studio ("Agent") respectfully submits this application requesting approval for:

- **Rezoning from the RH, Multi-Family Residential, zoning district to the CG, Commercial General, zoning district ("Rezoning");**
- **Class B Conditional Use approval to allow +/- 33,425 square feet of Indoor Entertainment use ("Conditional Use");**
- **DRO Approval for +/- 4939 square feet and 108 seats of Type 2 Restaurant use.**
- **Type 2 Variances per the below**

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
1.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use	10-25' Build To Line Cherry Road Frontage	46.8'	<u>±21.8'</u>

	Sub-Area PDR's			
2.	Table 3.B.14.F. WCRAO Non- Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Congress Avenue Frontage	72.4' to Building Façade	±47.4'
3	Table 3.B.14.F. WCRAO Non- Residential & Mixed-Use Sub-Area PDR's Footnote 9	300' Max Building Length and Longest side facing front build to line and placed at the corner	Longest Building Side not to face front build to line and building not placed at corner.	Waive requirement of longest side of building facing front build to line. And building not placed at corner

- **Subdivision Variance from Article 11 of the ULDC per the below**

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
4	Art. 11. E.2.A.4.	Access to lower classification street – Cherry Road	Access from both Cherry Road and Congress Avenue	Access to Congress Avenue

- **Type 1 Waiver from Article 7 of the ULDC per the below**

Waiver No.	ULDC Reference Article/Section	Required	Proposed	Waiver
1	Table 7.C.3.B - Foundation Planting and Dimensional Requirements	40% foundation planting on south side Building 1 Facade	Relocate 40% foundation planting requirement to east facade	Waive requirement of 40% foundation planting on south side Building 1 Facade

- **Type 2 Waiver from Article 5 of the ULDC per the below**

Waiver No.	ULDC Reference Article/Section	Required	Proposed	Waiver
1	Art. 5.E.5. Hours of operation	6:00 AM to 11:00 PM within 250' of Residential or UG Sub-District	24-hour operation for Type 3 Kennel	Allow 24-hour operation for Kennel Type 3

### **Proposed Design**

The proposed site design consists of two principal buildings on site. Building 1, which is located along the eastern portion of the site, is 60,286 SF in size, 2 stories and 39'8" in height, and consists of the following:

- Indoor Entertainment – 33,425 SF (913 seats)
- Accessory Office – 21,922 SF
- Type 2 Restaurant – 4,939 SF (108 seats)

Also proposed is a 13'6" canopy along the eastern side of Building 1 which will provide cover for the primary pedestrian entry facing Congress Avenue. The canopy is 2,640 SF in size and will serve as a Porte cochere for the where visitors and patrons will utilize valet service as has historically been done at the existing facility. A public plaza is also provided along the eastern property line of the site which connects to an 8' sidewalk that serves as an accessible route to the Congress Avenue right of way. The indoor entertainment use will allow for the continuation of the existing indoor entertainment use and simulcast/para-mutual/poker table currently provided at the Palm Beach Kennel Club entertainment facility, while modernizing the facilities and creating an entertainment opportunity that will attract a wider population than the existing aging and outdated facility.

Building 2 is located along the western portion of the site, and consists of a 4-level parking structure 39'8" in height consisting of 993 spaces, and a 5,271 SF Type 3 Kennel Club located at the northwestern corner of the building. There is also a 1,733 SF Dog Run provided accessory to the Kennel on the western edge of the building.

In between Building 1 and Building 2 is the "Paw of Fame" which will be a memorial to the historic greyhound racing and canine oriented uses that have occurred on the property over the years.

### **Access**

Access is provided via three (3) access points on Cherry Road and one (1) access point on Congress Avenue. An ingress/egress access point to the garage from the north is provided while an egress-only right turn is provided at the westernmost driveway and an ingress-only right in is provided to the east along Cherry Road. Internal to the site from the garage is a one way only connection back to the drop off access entry from Cherry to allow for valet return of



cars directly to the front of the building. An ingress/egress right-in and right-out access point is provided from the Congress Avenue R/W into the site. Vehicular circulation is provided along the site perimeter. Three (3) ingress/egress points are provided along the south edge of the garage.

At the aforementioned pre-application meeting, the Planning Division, brought up the policies in the Comprehensive Plan in regard to connectivity to the balance of the parcel to the south. The Plan contains the following policies which were further discussed at a follow up meeting with Planning staff.

Policy 4.3-k: The County shall require, where feasible, that commercial land uses employ access management techniques, such as shared entrances and vehicular cross access, between adjacent existing and proposed commercial land uses.

Policy 4.3-g: Where appropriate, similar and/or complementary neighboring land uses shall employ access management techniques such as shared entrances (to reduce the number of curb cuts) and vehicular and/or pedestrian cross access between like development projects (to encourage inter-connectivity both within and between sites, and reduce the need to use the primary street system to access adjacent sites).

These policies specifically state “where feasible” and “where appropriate”. In this case the proposed relocation of the existing entertainment use to the northern portion of the property is specifically intended to allow for the for mixed use redevelopment of the balance of the property to the south. As previously mentioned, a plat waiver is being processed by the agents for the contract purchaser to establish two separate development parcels. It is the applicant’s understanding from discussions with the contract purchaser that the northern portion of the adjacent property to the south will be developed as a secure residential community with internal access limited to the residents of the multifamily component of the development. The provision of cross access between the relocated indoor entertainment use, which is not limited to hours of operation, and the multifamily residential uses proposed to the south is not an ‘appropriate’ connection. In order to promote a well-connected and unified corridor, the applicant has provided a pedestrian plaza along the Congress Avenue frontage to integrate the relocated entertainment use with the residential community proposed to the south

## **Vegetation Assessment**

The site contains a minimal amount of natural vegetation as only two (2) sabal palms and one (1) seagrape currently exist. The Applicant has reached out to the Palm Beach County Department of Environmental Resources Management in regard to the existing vegetation. While a pre-application meeting has not yet been set, it is anticipated that a pre-application meeting will occur and that a regulating plan will be prepared by the time the subject application is submitted to the County for zoning approval.

## **SURROUNDING USES**

The surrounding uses vary yet are consistent and compatible with the Project as it is designed to address any potential impacts on the surrounding area. The following table summarizes the nature of the development surrounding the Property:

<b>Adjacent Property</b>	<b>Uses</b>	<b>FLU</b>	<b>Zoning</b>
<b>North</b>	Church / Cherry Rd R/W	INST	RM
<b>North</b>	Multifamily Apartments	HR-12	RH
<b>South</b>	Palm Beach Kennel Club/Belvedere Road	CH/5	RH/CG
<b>West</b>	Residential	MR-5	RM
<b>East</b>	Tire Shop/ Congress Ave R/W	CH/8	CN/CG

The foregoing table demonstrates that the Project is located within an established commercial corridor with the Belvedere Baptist Church and multi-family located across Cherry Road to the north, the balance of the Palm Beach Kennel Club gaming facility, which is anticipated to be redeveloped as a mixed use community, to the south, a tire shop and a mobile home park located across Congress Avenue to the east, and single-family residential to the west. The proposed uses have existed on the overall property for almost a century with no apparent negative impact to the surrounding area. In fact, with the re-establishment of the use on the north five acres, the future redevelopment of the balance of the property with mixed uses will serve to enhance the area and promote redevelopment within a designated redevelopment area. The Hangar (Control No. 2010-00049/Exhibit 1) located to the southeast is currently under construction for five buildings containing warehouse, assembly non-profit and supporting light industrial uses. The proposed redevelopment will aid in improving the overall area and maintain existing job opportunities associated with the use.

While the Project is generally complementary with the surrounding uses, the proposed Indoor Entertainment and Type 3 Kennel uses are considered by code to be 'incompatible'. As such, the site plan is designed to locate the Indoor Entertainment building along Congress Avenue to the east, furthest away from the residential uses to the west and north. The Type 3 Kennel and parking structure are situated located to the west, with the requirement that the Type 3 Kennel be totally enclosed. Per code requirements and to mitigate any perceived impact to the residential to the west, an incompatibility buffer is provided along the west property line. The proposed structure along the west property line will be 39'8" in height, which is comparable to the 35' maximum allowed height for single family structures in the neighboring RM zoning district, but well below the 240' height permitted in the UG subdistrict in the WCRAO.

### **REZONING STANDARDS**

Pursuant to ULDC Section 2.B.7.B.2, The Applicant will demonstrate that the Rezoning: (a) is consistent with the County's Comprehensive Plan; (b) is consistent with the County's ULDC;

(c) is compatible with surrounding uses; (d) is designed to minimize environmental impacts; (e) will result in a logical, orderly and timely development pattern; (f) is compliant with the County's concurrency standards; and (g) is necessitated by changed conditions.

### **1. Consistency with the Plan**

Response: Approval of the Rezoning from RH to CG is consistent with the purposes, goals, objectives, and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use. As noted above, the Property is designated CH/5, Commercial High with an underlying MR-5, on the County's FLUA. The Project proposes a complementary mix of uses including the indoor entertainment use, restaurant, and ancillary office uses, which will be consistent with existing uses established at the Palm Beach Kennel Club. The Type 3 Kennel use will also be consistent with the dog-centered uses on the existing site, as evidenced by the 2020 administrative approval to allow dog daycare on the existing 47.1 acres site. A public plaza is also proposed along Congress Avenue to promote community involvement and enrichment opportunities, and ensure a well-connected and pleasant pedestrian experience along Congress Avenue. The Project is designed to provide an incompatibility buffer to ensure an appropriate transition to the residential communities to the west. The Project will serve the existing demand for indoor entertainment, casino, and sports betting uses as established at the Palm Beach Kennel Club site that has been in use for more than 85 years.

Approval of the Rezoning is not only consistent with the existing CH FLU designation of the Property, but also with Policy 2.2.c of the PBC Comprehensive Plan, which requires the PBC Code to be consistent with appropriate elements of the PBC Comprehensive Plan including compatibility with adjacent future land uses. The Rezoning is also consistent with Policy 1.2-b of the Plan, which requires that the County encourage and support sustainable urban development, including infill redevelopment. Further, the Project promotes Sub-Objective 1.2.3 of the Future Land Use Element as it involves development within the WCRAO that will expand upon the goods and services currently provided along the Congress Avenue commercial corridor within the WCRAO area and increase the value of the Property and surrounding area. In addition, the Project complies with the maximum 0.85 FAR provided in TABLE 2.2-e.1 of the Future Land Use Element. As such, the Rezoning is consistent with the County's Plan.

### **2. Consistency with the Code –**

The Rezoning complies with the applicable standards and provisions of the County ULDC for use, layout, function, and general development characteristics. The following analysis details the Rezoning's compliance with the County's ULDC.

Article 1: The Project complies with Article 1 as the Applicant is not seeking to vest any existing nonconformities and is compliant with the current review process and development parameters for Development Order Amendments.

Article 2: The Project complies with the Development Review procedures outlined in Article 2 through the processing of this application.

Article 3: The Project is subject to the provisions of ULDC Section 3.B.14, Westgate Community Redevelopment Area Overlay.

Response: Upon the granting of the variances and waivers being requested, the project will be consistent with the Code as follows:

- ULDC Section 3.B.14.C: The Rezoning is consistent with the intended uses in the UG, Urban General sub area.
- ULDC Section 3.B.14.D: The Rezoning complies with the requirement for a recommendation from the Westgate CRA prior to submittal as it is being submitted for consideration at the March 11, 2024 CRA Board meeting.
- ULDC Section 3.B.14.E: The Rezoning is not a Mixed-Use project as defined by ULDC Section 3.B.14.E.1. As such, the Rezoning complies with this requirement.
- ULDC Table 3.B.14.E, WCRAO Sub-area Use Regulations: The proposed indoor entertainment use is permitted as a Class B Conditional Use approval in the CG District. The proposed Type 2 Restaurant and Type 3 Kennel uses are permitted subject to DRO review in the CG district. The Ancillary Office uses are permitted by right in the CG district. As such, the proposed rezoning to CG complies with ULDC Table 3.B.14.E.
- ULDC Table 3.B.14.E, WCRAO Sub-area Uses Permitted by Floor: The proposed uses associated with the rezoning request are all permitted in the UG sub area.
- ULDC Table 3.B.14.F, WCRAO Non-Residential and Mixed-Use Sub-area PDRs (UG Sub-Area):
  - Lot Dimensions
    - Min. Lot Frontage/Lot Width
      - Proposed - 188.95
      - Required – 100'
    - Min. Lot Depth:
      - Proposed - 822.07
      - Required – 100'
    - Max. Building Coverage



- Proposed - 54%
    - Maximum - 60% (Table 3.B.14.F – WCRAO Non-Residential and Mixed-Use Sub-area PDR's – Footnote 3)
  - Build-to-Line/Setbacks
    - Front (Congress Avenue)
      - Proposed – 72.4' (Subject of Variance #1)
      - Required – 10'-25'
    - Side Street (Cherry Road)
      - Proposed - 46.8' (Subject of Variance #2)
      - Required – 10'-25'
    - Side
      - Proposed – 47'
      - Required – 15'
    - Rear
      - Proposed – 55.9'
      - Required – 25'
  - Minimum Building Frontage
    - Proposed – 74% (140 LF / 188.95 LF)
    - Required – 60%
  - Maximum Stories/Height
    - Max. Stories:
      - Proposed – 4 Stories
      - Maximum – 20 Stories
    - Max. Height:
      - Proposed 39'8"
      - Maximum – 240'
  - Max Building Length
    - Proposed – 215' for Principal Building not placed at corner (subject to Variance #3)
    - Maximum – 300' (Buildings shall be articulated so that the longest side faces the front build-to-line. Where a parcel is located at the intersection of two or more streets, at least one building shall be placed at a corner in accordance with Art. 3.B.14.F.2.b.2), R-O-W/Easement Exception, and comply with the build-to-line for both streets)
- ULDC Table 3.B.14.F, WCRAO Supplementary Standards by Sub-area (UI Sub-Area):
    - Min. Building Depth: 215' minimum provided where 30' minimum required
  - ULDC Section 3.B.14.J.2.B

- Perimeter Buffer Width Reductions – 8' Incompatibility Buffer on south property line provided – consistent with 50% reduction allowed by subsection. 7.5' R/W buffer on north property line provided - consistent with 50% reduction allowed by subsection

Article 4: The Project also complies with all applicable portions of Article 4.b, Supplementary Use Standards, as described in more detail below and under the CONDITIONAL USE STANDARDS section.

4.B.2.C.26 Office –

- a. Definition – An establishment providing executive, management, administrative, or professional services.

**Response:** The Office included in the use mix for the Project is for the ancull administrative, management, and executive staff of the Indoor Entertainment facility.

- b. Typical Uses – A Business or Professional Office may include but is not limited to property and financial management firms; employment, travel, advertising, or real estate agencies; payday lending offices, check cashing services, and currency exchange agencies; contract post offices; professional or consulting services; and, business offices of private companies, utility companies, public agencies, and trade associations.

**Response:** The Office included in the use mix for the Project is ancillary office for the administrative, management, and executive staff of the Indoor Entertainment facility.

- c. Approval Process The use may be Permitted by Right if limited to the following:
  - 1) A maximum of 10,000 square feet of GFA per parcel in the CN Zoning District.
  - 2) A maximum of 15,000 square feet of GFA per parcel in the CLO Zoning District.
  - 3) A maximum of 20,000 square feet of GFA per parcel in the CC Zoning District.

**Response: The proposed Office use is permitted by right in the GC zoning district with a CH FLU designation. As such, this criterion is not applicable.**

- d. Employment Agencies Business or Professional Offices that include employment agencies for temporary day or manual labor service for the construction, maintenance, agricultural, or industrial trades, shall be subject to the additional standards:

- 1) Westgate Overlay Shall be prohibited within the boundaries of the WCRAO, as per Table 3.B.14.E, WCRAO Subarea Use Regulations.
- 2) Outdoor Activities Outdoor loitering, waiting, or seating shall be prohibited on site. Outdoor seating areas may be allowed provided the site includes one or more architectural focal points such as fountains, architectural shaded structures, or gazebos.

**Response: No employment agency use is proposed. As such, the Project complies with this criterion.**

- e. Accessory Office Business or Professional Office Supplementary Use Standards shall not apply to:
- 1) A temporary office in temporary structures associated with the construction of a building or real estate sales; or
  - 2) Areas of a building dedicated to the administrative operation of a use listed in the Use Matrix.

**Response: The proposed Office is within the area of the buildings dedicated to the administrative operation of a use listed in the Use Matrix. As such, the Supplementary Use Standards for this use do not apply.**

#### 4.B.2.C.19 Type 3 Kennel

a. Definition

A commercial establishment operated entirely within an enclosed building used for the boarding, sale, or grooming of domesticated animals (e.g., dogs and cats), not owned by the occupants of the premises, for profit.

**Response: The proposed Type 3 Kennel is completely enclosed.**

b. ACC Permit

The owner or operator shall obtain Zoning approval prior to application for an ACC Operational Permit. A Type 3 Commercial Kennel shall be licensed and regulated in accordance with ACC [Ordinance No. 98-22](#), as amended.

**Response: Acknowledged.**

c. Maximum Square Footage

Shall not exceed 3,000 square feet in the CC and TMD districts, or 7,500 square feet in any other zoning district the use is allowed.

**Response: The subject property is to rezoned to the CG zoning district. As such, the above supplemental maximum square footage regulations for the Type 3 Kennel do not apply.**

d. Standards

All use areas shall be within an enclosed building constructed, maintained, and operated so that no noise or odor nuisances related to the Kennel operations can be detected outside the building. With exception to designated drop-off areas, no outdoor runs, playgrounds, walking areas, yards, or similar uses shall be permitted.

**Response: All use areas are within an enclosed building constructed, maintained, and operated so that no noise or odor nuisances related to the Kennel operations can be detected outside the building.**

e. Waste Disposal

A Type 3 Commercial Kennel shall meet the PBCHD ECR I and ECR II standards and shall be subject to all applicable rules and regulations of the FDEP, PBCHD, and SWA.

**Response:** The proposed Type 3 Kennel will meet the PBCHD ECR I and ECR II standards and will comply with all applicable rules and regulations of the FDEP, PBCHD, and SWA

#### 4.B.2.C.32 Type 2 Restaurant –

##### a. Definition

An establishment with no drive-through, equipped to sell food and beverages, served and consumed primarily on the premises, that includes three or more of the following: host or hostess assists patrons upon entry; food and beverage choices are offered from a printed menu provided by wait staff at a table; orders are taken at the table; food is served on dishes and metal utensils are provided; and, payment is made after meal consumption.

**Response:** The proposed Type 2 Restaurant component included in the use mix for the Project does not have a drive-through, is equipped to sell food and beverages where food is served and consumed primarily on the premises and includes a host or hostess to assist patrons upon entry; food and beverage choices that are offered from a printed menu provided by wait staff at a table; orders that are taken at the table; food that is served on dishes with metal utensils provided; and payment that is made after meal consumption.

##### b. Approval Process – DRO Approval

###### 1) TND NCs

A Type 2 Restaurant less than 3,000 square feet of GFA per establishment including outdoor dining areas, may be approved by the DRO, provided the total of all Type 2 Restaurants do not exceed 30 percent of the GFA of the development. [Ord. 2023-011]

###### 2) CHO District; and PDDs with a CH-O FLU

If contained in an office, or Hotel or Motel structure that does not exceed 30 percent of the GFA of the structure, or 5,000 square feet, whichever is less, may be approved by the DRO.

###### 3) CRE District; PDDs with a CL or CR FLU; PUD Commercial Pods and PIPD Commercial Pod

A Type 2 Restaurant less than 5,000 square feet of GFA per establishment, including outdoor dining areas, may be approved by the DRO.

**Response:** The Type 2 Restaurant proposed in the project use mix is permitted subject to DRO approval in the CG zoning district and Commercial High land use designation. None of the above requirements apply to the proposed.



c. Brewery-Distillery

A Restaurant may include a Manufacturing and Processing Brewery-Distillery use on up to 50 percent of the gross floor area, including outdoor seating, for that establishment. [Ord. 2023-011]

**Response: No brewery-distillery component is included in the proposed Type 2 Restaurant.**

d. Accessory Alcohol Sales

A Type 2 Restaurant may include the on-premises accessory sale, service, and consumption of alcoholic beverages. [Ord. 2023-011]

**Response: Acknowledged.**

e. Accessory Take-Out Service

Accessory take-out service shall be allowed provided there are no vehicle take-out windows that include exterior menu boards, queuing lanes, or order services. [Ord. 2023-011]

**Response: No accessory take out service is included in the proposed Type 2 Restaurant.**

f. Outdoor Dining

Shall comply with the principal structure setbacks.

1) Dog Friendly Dining

Pursuant to [F.S. § 509.233](#), as amended, a Type 2 Restaurant may allow patrons with dogs within designated outdoor dining areas. Before allowing patrons' dogs on their premises, a participating restaurant shall apply for and receive a Dog Friendly Dining Special Permit from the Zoning Division in accordance with the permit application requirements described in [F.S. § 509.233](#). A restaurant shall be subject to the minimum regulations and limitations described in [F.S. § 509.233](#). [Ord. 2021-027] [Ord. 2022-001]

a) A participating restaurant shall post all signs required by [F.S. § 509.233](#), in size 12 font or greater, in a location that is legible from the entrance of the designated outdoor Dog Friendly Dining area. [Ord. 2021-027]

b) A participating restaurant shall ensure that the Dog Friendly Dining Special Permit is available for inspection during hours of operation. [Ord. 2021-027] [Ord. 2022-001]

c) A Dog Friendly Dining Special Permit is not transferable to a subsequent owner upon the sale of a restaurant, and shall expire automatically upon any such sale. [Ord. 2021-027] [Ord. 2022-001]

**Response: No Outdoor Dining is included in the proposed Type 2 restaurant, as such, the requirements of this section do not apply.**

4.B.3.C.3 Indoor Entertainment

a. Definition

An establishment offering recreational opportunities or games of skill to the general public for a fee in a wholly enclosed building.

**Response: The proposed indoor entertainment use will provide recreational opportunities to the visiting public for a fee in a wholly enclosed building.**

b. Typical Uses

Indoor Entertainment may include, but not be limited to: bowling alleys, bingo parlors, pool halls, billiard parlors, banquet and reception facilities, and video game arcades.

**Response: The proposed indoor entertainment use in regard to the gaming tables (poker) and para-mutual components, is consistent and comparable with the typical uses as outlined in this section.**

c. Approval Process – CC, CG, MUPD with CL or CH FLU Designation, and PIPD Zoning Districts

An Indoor Entertainment use encompassing less than 3,000 square feet of floor area may be Permitted by Right. [Ord. 2021-023] [Ord. 2023-011]

**Response: The proposed indoor entertainment use totals 33,425 SF. As such, the use request will trigger a Class B Conditional Use approval. The applicant is still awaiting the final notes from staff from our February 6, 2024 pre-application meeting with staff in regard to some discussion as to this being required to be heard by the Board of County Commission.**

Article 5:

**Response:** The Project complies with ULDC Sections 5.B.1.A.8.A, 5.B.1.A.8.B, 5.B.1.A.8.C.2, and 5.B.1.A.8.D as all refuse containers will be stored in a storage area with a minimum dimension of ten feet (10') by ten feet (10'), located to minimize turning and backup movements by pick-up and removal vehicles, set back a minimum of twenty-five feet (25') from the property line, and screened from view by a solid enclosure and a swing-gate. In accordance with ULDC Section 5.C Architectural Review will be completed at time of Building Permit.

Article 6:

**Response:** The Project complies with the parking regulations in Article 6 with the provision of 993 parking spaces where 439 parking spaces are required for the proposed uses. The parking stalls are all proposed in the western portion of the Property within a 4-level parking structure. Conceptual parking structure floor plans have been submitted herewith for review. Although a loading space is not required per the proposed use mix, a 12' x 55' loading space has been provided south of Building 1 in a secure loading area, with a 12' screen wall on the south side of the loading space to screen it from the view of the adjacent property.

Article 7:

**Response:** The Project is designed to comply with or exceed the landscape standards within Article 7, subject to approval of the Type 1 Waiver included with this application. The proposed ROW buffer width along Congress Avenue is 10 feet, with 5 feet clear of encroachments, in accordance with the WCRAO regulations, which allow the required perimeter buffers to be reduced by 50%. The provided Type 2 incompatibility buffer along the west property line meets the 15' width requirement and also provides a 5' utility easement overlap permitted subject to Article 7.C.5.A. The provided ROW buffer along the north property line for Cherry Road is 7.5 feet, with 5 feet clear of encroachments and 2.5' of easement overlap, in accordance with the WCRAO regulations, which allow the required perimeter buffers to be reduced by 50%. The incompatibility buffer along the south property line also utilizes that reduction allowance reducing the width from 15' to 8'. The Project provides the required 8-foot-wide foundation planting areas along 40 percent of the side façade on the north side of Building 2 where adjacent to the Kennel use. The Project provides the required 8-foot wide foundation planting area along 40% of the north side facades of Building 1. The subject of the Type 1 Waiver request is for the south side façade of Building 1. 86' of 8-foot-wide foundation planting is required along the south side façade. 45.2' of foundation planting is proposed on the south façade while the remaining required 40.8' has been relocated to the east façade. The required foundation planting for the front façade facing Congress Avenue on Building 1's east side is exempt per Article. 3.B.14.J. As such, no additional foundation planting in addition to the 40.8' planting area relocated from the south side facade requirement, is proposed on the front façade. No surface parking is proposed as part of the subject Project. The on-site parking landscape requirements in this section therefore do not apply.

**Article 8:** The Project complies with the signage requirements in Article 8. The existing dog track sign at the Palm Beach Kennel Club site has been relocated to the subject 5.0-acre new parcel near the intersection of Cherry Road and Congress Avenue.

### 3. *Compatibility with Surrounding Uses* –

**Response:** The Rezoning is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the Property. The surrounding uses vary yet are consistent and compatible with the Project as it is designed to address any potential impacts on the surrounding area. The following table summarizes the nature of the development surrounding the Property:

Adjacent Property	Uses	FLU	Zoning
North	Church / Cherry Rd R/W	INST	RM
North	Multifamily Apartments	HR-12	RH
South	Palm Beach Kennel Club/Belvedere Road	CH/5	RH/CG

<b>West</b>	Residential	MR-5	RM
<b>East</b>	Tire Shop/ Congress Ave R/W	CH/8	CN/CG

As outlined above, the site design locates the main principal structure fronting on Congress Avenue furthest away from the residential to the west and northwest. An incompatibility buffer is being provided along the west property line to mitigate any perceived impacts to those existing residences.

#### **4. Design Minimizes Adverse Impacts –**

**Response:** The design of the Project minimizes adverse impacts, including visual impact and intensity of the proposed use on adjacent lands. The Project is designed to be compatible with existing residential uses to the west with the location of the indoor entertainment area oriented to the eastern portion of the site to provide a wide buffer between the proposed use and the residences. In addition, a 15' wide incompatibility buffer is provided to ensure no adverse impacts to the adjacent residential. Further, the buildings are oriented to provide building frontage and public plaza spaces along North Congress Avenue, consistent with the WCRAO regulations, in order to provide an attractive streetscape and well-connected corridor. The Project is also designed to provide the required dimensional and landscaping components to the maximum extent possible, which ensure that the Project is aesthetically pleasing and compatible with other uses in the area.

#### **5. Effect on Natural Environment**

**Response:** The Rezoning minimizes environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment. Furthermore, the Project is designed to comply with all County, State, and federal environmental requirements.

#### **6. Development Patterns**

**Response:** The Rezoning will result in a logical, orderly, and timely development pattern. The Applicant proposes to continue the indoor entertainment use established at the Palm Beach Kennel Club site, which will result in the continued provision of established entertainment options and maintain the current job opportunities available associated with the use, while improving the existing facilities and clearing the way for the beneficial redevelopment of the southern portion of the Kennel Club property. The Property is located within an identified redevelopment area adjacent to a major thoroughfare with multiple commercial and residential uses nearby. Furthermore, approval of the Project will promote efficient use of the County's land by redeveloping an infill property on a vacant portion of the existing site to provide a vibrant mix of complementary uses.

#### **7. Adequate Public Facilities**



**Response:** The Rezoning will not have an adverse effect on the ability of the County to provide adequate public facilities to the residents or businesses in the surrounding area. Please refer to the Traffic Statement and Drainage Statement that are included with this proposal.

## **8. *Changed Conditions or Circumstances***

**Response:** There are changed conditions or circumstances that necessitate the Rezoning. The portion of the existing property currently in process for a plat waiver to create the 5.0-acre subject property is currently underutilized. As the area has grown, the need for redevelopment along the Congress corridor has grown. With the intended redevelopment of the 42.1-acre balance of the existing site and the recently approved Hangar warehouse development on the east side of Congress Avenue, the subject rezoning request and intended use mix provides a continuance of indoor entertainment uses established in the area while allowing efficient utilization of land in the area and for new development to occur. The proposed more efficient use of the overall property with the redevelopment of a mixed-use project on the southern portion is a changed circumstance, supports the requested Rezoning.

## **9. *Hazardous Material***

**Response:** The proposed mix of uses on the Property will not generate noxious odors, noises, airborne pollutants, chemicals, or waste. As such, no special handling of waste will be required.

## **CONDITIONAL USE STANDARDS**

Pursuant to ULDC Section 2.B.7.B.2, The Applicant will demonstrate that the Class B Conditional Use for a 33,425 square feet and 913 seats of Indoor Entertainment use is: (1) is consistent with the County's Comprehensive Plan; (2) is consistent with the County's Unified Land Development Code ("ULDC"); (3) is compatible with surrounding uses; (4) is designed to minimize adverse impacts; (5) is designed to minimize environmental impacts; (6) will result in a logical, orderly and timely development pattern; (7) is compliant with the County's concurrency standards; and (8) is necessitated by changed conditions.

### **1) *Consistency with the Plan –***

**Response:** Approval of the Conditional Use is consistent with the purposes, goals, objectives, and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use. As noted above, the Property is designated CH/5, Commercial High with an underlying MR-5, on the County's FLUA. The Project proposes a complementary mix of uses including the indoor entertainment use, restaurant, and office uses, which will be consistent with uses established at the Palm Beach Kennel Club. The Type 3 Kennel use will also be consistent with the dog-centered uses on the existing site, as evidenced by the 2020 administrative approval to allow dog daycare on the existing 47.1 acres site. A public plaza is also proposed along Congress Avenue to promote

community involvement and enrichment opportunities. The Project is designed to provide an incompatibility buffer to ensure an appropriate transition to the residential communities to the west. The Project will serve the existing demand for indoor entertainment, casino, and sports betting uses as established at the Palm Beach Kennel Club site that has been in use for more than 85 years.

Approval of the Conditional Use is not only consistent with the existing FLU designation of the Property, but also with Policy 2.2.c of the PBC Comprehensive Plan, which requires the PBC Code to be consistent with appropriate elements of the PBC Comprehensive Plan including compatibility with adjacent future land uses. The Conditional Use is also consistent with Policy 1.2-b of the Plan, which requires that the County encourage and support sustainable urban development, including infill redevelopment. Further, the Project promotes Sub-Objective 1.2.3 of the Future Land Use Element as it involves development within the WCRAO that will expand upon the goods and services currently provided along the Congress Avenue commercial corridor within the WCRAO area and increase the value of the Property and surrounding area. In addition, the Project complies with the maximum 0.85 FAR provided in TABLE 2.2-e.1 of the Future Land Use Element. As such, the Conditional Use is consistent with the County's Plan.

## **2) *Consistency with the Code***

**Response:** The Conditional Use complies with the applicable standards and provisions of the County ULDC for use, layout, function, and general development characteristics. Please see the consistency with the code analysis within the Conditional Use Standards section above for more information. Considering the information detailed herein, the Project is consistent with the ULDC.

## **3) *Compatibility with Surrounding Uses***

**Response:** The Conditional Use is compatible and generally consistent with the uses and character of the land surrounding and in the vicinity of the Property. The indoor entertainment use will serve as a continuance of the existing indoor entertainment and gaming currently provided at the Palm Beach Kennel Club entertainment facility. As such, there is demonstrated existing compatibility with the surrounding uses in this area.

## **4) *Design Minimizes Adverse Impacts***

**Response:** The design of the Conditional Use minimizes adverse impacts, including visual impact and intensity of the proposed use on adjacent lands. The Project is designed to be compatible with existing residential uses to the west with the location of the indoor entertainment area oriented to the eastern portion of the site to provide a wide buffer between the proposed use and the residences. In addition, a 15' wide incompatibility buffer is provided to ensure no adverse impacts to the adjacent residential. Further, the buildings are oriented to provide building frontage and public plaza spaces along North Congress Avenue, consistent

with the WCRAO regulations, in order to provide an attractive streetscape. The Project is also designed to provide the required dimensional and landscaping components to the maximum extent possible, which ensure that the Project is aesthetically pleasing and compatible with other uses in the area.

#### **5) *Design Minimizes Environmental Impact***

**Response:** The design of the Project minimizes environmental impacts, including, but not limited to, water, air, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment. Furthermore, the Project is designed to comply with all County, State and federal environmental requirements.

#### **6) *Development Patterns***

**Response:** The Conditional Use will result in a logical, orderly, and timely development pattern. The Applicant proposes to continue the indoor entertainment use established at the Palm Beach Kennel Club site, which will result in the continued provision of established services currently available in the area. The Property is located within an identified redevelopment adjacent to a major thoroughfare with multiple commercial and residential uses nearby. Furthermore, approval of the Project will promote efficient use of the County's land by developing an infill property on a vacant portion of the existing site to provide a vibrant mix of complementary uses.

#### **7) *Adequate Public Facilities***

**Response:** The Conditional Use will not have an adverse effect on the ability of the County to provide adequate public facilities to the residents or businesses in the surrounding area. Please refer to the Traffic Statement and Drainage Statement that are included with this proposal.

#### **8) *Changed Conditions or Circumstances***

**Response:** There are changed conditions or circumstances that necessitate the Conditional Use. The portion of the existing property currently in process for a plat waiver to create the 5.0-acre subject property is currently underutilized. As the area has grown, the need for redevelopment along the Congress corridor has grown. With the intended redevelopment of the 42.1-acre balance of the existing site and the recently approved Hangar warehouse development on the east side of Congress Avenue, the subject Conditional Use request and intended use mix provides a continuance of indoor entertainment uses established in the area while allowing efficient utilization of land in the area and for new development to occur. The growth of the County and surrounding area, and the proposed redevelopment of the balance of the site with mixed uses are changed circumstances that necessitate the requested Conditional Use approval.

## 9) **Hazardous Material**

**Response:** The proposed mix of uses on the Property will not generate noxious odors, noises, airborne pollutants, chemicals, or waste. As such, no special handling of waste will be required.

## **TYPE 2 VARIANCE & SUBDIVISION VARIANCE STANDARDS**

As depicted earlier in this narrative, the requested Type 2 Variances and Subdivision Variance requests are as follows:

<b>Variance No.</b>	<b>ULDC Reference Article/Section</b>	<b>Required</b>	<b>Proposed</b>	<b>Variance</b>
1.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Cherry Road Frontage	46.8'	21.8'
2.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Congress Avenue Frontage	72.4' to Building Façade	47.4'
3	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's Footnote 9	300' Max Building Length and Longest side facing front build to line and placed at the corner	Longest Building Side not to face front build to line and building not placed at corner.	Waive requirement of longest side of building facing front build to line. And building not placed at corner
4	Art. 11.E.2.A.4.	Access to lower classification street – Cherry Road	Access from both Cherry Road and Congress Avenue	Access to Congress Avenue



Please note that pursuant to Article 3. Pursuant to ULDC Article 2.B.7.B.6. , the Applicant shall comply with the zoning or subdivision variance standards below.

1. Special conditions and circumstances exist that are peculiar to the parcel of land, building or structure, and that are not applicable to other parcels of land, structures or buildings in the same zoning district.

***V1: Special conditions and circumstances exist which are peculiar to the Property, building, or structure and are not applicable to other lands, structures, or buildings in the CG zoning district. The uses associated with the historical Palm Beach Kennel Club necessitate the provision of an amount of parking that is best provided in a parking structure. Likewise, the operations of this somewhat unique use warrant the provision of valet service best accommodated as depicted in the site design. The proposed size and design of the building is crafted upon the years of operation at the existing facility making the operational aspects of the use unique. The requested Variance to the side street build-to-line along Cherry Road is an increase of 21.8.' to the maximum 25' build-to-line along the front setback in the UG subarea in the WCRAO. The proposed setback of Building 1 is 46.8'. The requested variance is necessitated due to the configuration of the new 5.0-acre subject property and the limited 188.95' of frontage to accommodate vehicular circulation around the perimeter of the site. The valet return lane as designed, which is necessary for site circulation, runs along the north side of Building 1, which limits the possibility of bringing Building 1 within the 10'-25' side street setback range as prescribed in Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's. Where possible, the 25' maximum setback is adhered to as seen by Building 2 being compliant with the 25' setback. As such, the creation of the new 5.0-acre parcel with reduced frontage, and consideration of site circulation serve as special conditions and circumstances exist which are peculiar to the Property, building, or structure.***

***V2: Special conditions and circumstances exist which are peculiar to the Property, building, or structure and are not applicable to other lands, structures, or buildings in the CG zoning district, as mentioned above. The requested Variance to the front build-to-line along Congress Avenue is an increase of 47.4' to the maximum 25' build-to-line along the front setback in the UG subarea in the WCRAO. The proposed setback of Building 1 is 72.4'. The requested variance is necessitated due to the configuration of the new 5.0-acre subject property, the uniqueness of the use, and the limited 188.95' of frontage to accommodate vehicular circulation around the perimeter of the site. The proposed setback of 72.4' for Building 1 allows the area needed for a valet driveway for patrons leaving the site, a public plaza along Congress Avenue. A required 6' R/W dedication along Congress Avenue, with the area preserved for a 12' turn lane R/W dedication is also anticipated to be dedicated to the County further reducing the land area for development. This design facilitates pedestrian circulation and promoting public assembly with the provision of the public plaza. This design intervention aligns with the County's intent of the WCRAO guidelines and contributes to the creation of an engaging, people-oriented environment to compliment the indoor entertainment use. As such, the creation of the new 5.0-acre parcel with reduced frontage, and consideration and area reserved for future turn-lane dedication serve as***

*special conditions and circumstances exist which are peculiar to the Property, building, or structure.*

**V3.** *Special conditions and circumstances exist which are peculiar to the Property, building, or structure and are not applicable to other lands, structures, or buildings in the CG zoning district. The requested variance is to waive the requirement to place the longest side of the building at the corner of a lot at the intersection of two streets along the front property line. The requested variance is necessitated due to the configuration of the new 5.0-acre subject property and the limited 188.95' of frontage. It is further necessitated by the uniqueness of the uses on the property, the operational requirements of same and the anticipated corner clip dedication. The subject lot dimensions of 188.95' in width and 822.07' in depth inhibits the ability to place a building's longest side on the shorter side of the lot. As such, design is naturally guided to utilize the length of the 822.07' lot depth created in this new parcel. As such, the creation of the new 5.0-acre parcel with reduced frontage serves as a special condition and circumstance which is peculiar to the Property, building, or structure.*

**V4.** *Special conditions and circumstances exist which are peculiar to the Property, building, or structure and are not applicable to other lands, structures, or buildings in the CG zoning district. The requested subdivision variance for an access point on Congress Avenue not only facilitates more efficient traffic flow as distribution of trips are provided via an ingress/egress point on Cherry Road and Congress Avenue, but also allows both the newly created 5.0-acre parcel and the balance of the 42.1 remaining acres of the Palm Beach Kennel Club site, each to have individual access on Congress Avenue which is an important vehicular corridor in the WCRAO. As such, the special condition that exists is the need for both the newly created 5.0-acre parcel from the plat waiver in process and the 42.1 remaining acre-parcel to have access on Congress Avenue.*

2. Special circumstances and conditions do not result from the actions of Petitioner.

**V1-V4.** *The special conditions and circumstances noted above do not result from the actions of Applicant. The special conditions and circumstances detailed above involve the uniqueness of the nature of the use, the configuration of the newly created 5.0-acre parcel, the need for efficient site circulation, the consideration of required R/W dedications, and redevelopment trends in the WCRAO. The new parcel will allow for future mixed-use development on the balance of the property, furthering the goals of the WCRAO.*

3. Granting the variances shall not confer upon Petitioner any special privilege denied by the comprehensive plan and the ULDC to other parcels of land, buildings or structures in the same zoning district.

**V1-V4.** *Granting the requested variances would not confer upon Applicant any special privilege that is denied to other properties within the CG zoning district. As described above, the Applicant has designed the Project to comply with the ULDC requirements to the greatest extent possible.*

4. Literal interpretation and enforcement of the terms and provisions of the ULDC would deprive the Petitioner of rights commonly enjoyed by other parcels of land in the same zoning district, and would work an unnecessary and undue hardship.

**V1-V3:** *Literal interpretation and enforcement of the terms and provisions of the ULDC would deprive the Applicant of rights commonly enjoyed by other parcels of land in the GC zoning district, and would work an unnecessary and undue hardship. Due to the configuration of the newly created parcel and the narrow lot frontage of 188.95', required R/W dedications, and the need to provide effective vehicular circulation around the site perimeter, the proposed location of Building 1 necessitates the variances in regard to setbacks, and orientation along the Congress Avenue and Cherry Road intersection. The subject lot dimensions of 188.95' in width and 822.07' in depth inhibits the ability to place a building's longest side on the shorter side of the lot. As such, design is naturally guided to utilize the length of the 822.07' lot depth created in this new parcel. The lot configuration also limits options of site circulation necessary for each use to function. Based on the above, the literal interpretations of the maximum build-to-line of 25' and the requirement of placing the longest side of the building along the front property line would work an unnecessary and undue hardship.*

**V4.** *Literal interpretation and enforcement of the terms and provisions of the ULDC would deprive the Applicant of rights commonly enjoyed by other parcels of land in the GC zoning district, and would work an unnecessary and undue hardship. The requested subdivision variance to allow access on Congress Avenue is necessitated due to the goal of reducing impact to the surrounding residential area. Requiring all access to the property from and to only Cherry Road increases the amount of traffic to that street. Allowing for access to and from Congress as well, reduces the impact to the residential area to the north and west.*

5. Grant of the variances is the minimum variances that will make possible the reasonable use of the parcel of land, building or structure.

**V1-V3:** *The Type 2 Variances requested are the minimum variance that will allow the Applicant to make reasonable use of the Property. Due to the configuration of the newly created parcel, required R/W dedications, and the need to provide effective vehicular circulation around the site perimeter, the proposed location of Building 1 necessitates the variances in regard to setbacks, and orientation along the Congress Avenue and Cherry Road intersection. The minimum variances possible are requested to allow the valet driveway, the pedestrian plaza, and potential R/W dedications to take place.*

**V4.** *The Subdivision Variance requested to allow access on Congress Avenue is the minimum variance that will allow the Applicant to make reasonable use of the Property and decrease as much as possible any impact in regard to traffic on Cherry Road. The addition of an access point on Congress Avenue not only facilitates more efficient traffic flow as distribution of trips are provided via an ingress/egress point on Cherry Road and Congress Avenue, but also allows both the newly created 5.0-acre parcel and the balance of the 42.1 remaining acres of the Palm Beach Kennel Club site, each to have individual access on Congress Avenue which is an important vehicular corridor in the WCRAO.*

6. Granting the variances will be consistent with the purposes, goals, objectives, and policies of the Comprehensive Plan and the ULDC.

**V1-V4.** *Granting the Type 2 Variances and Subdivision Variances will be consistent with the purposes, goals, objectives, and policies of the Comprehensive Plan and the ULDC. As noted above, the Property is designated CH/5, Commercial High with an underlying HR-5, on the County's FLUA. The Project proposes a complementary mix of uses including the indoor entertainment use, restaurant, and office uses, which will be consistent with uses established at the Palm Beach Kennel Club. The Type 3 Kennel use will also be consistent with the dog-centered uses on the existing site, as evidenced by the 2020 administrative approval to allow dog daycare on the existing 47.1 acres site. A public plaza is also proposed along Congress Avenue to promote community involvement and enrichment opportunities. The Project is designed to provide an incompatibility buffer to ensure an appropriate transition to the residential communities to the west. The Project will serve the existing demand for indoor entertainment as established at the Palm Beach Kennel Club site that has been in use for more than 85 years.*

*Approval of the variance requests are not only consistent with the existing FLU designation of the Property, but also with Policy 2.2.c of the PBC Comprehensive Plan, which requires the PBC Code to be consistent with appropriate elements of the PBC Comprehensive Plan including compatibility with adjacent future land uses. The variance requests are also consistent with Policy 1.2-b of the Plan, which requires that the County encourage and support sustainable urban development, including infill redevelopment. Further, the Project promotes Sub-Objective 1.2.3 of the Future Land Use Element as it involves development within the WCRAO that will expand upon the goods and services currently provided along the Congress Avenue commercial corridor within the WCRAO area and increase the value of the Property and surrounding area. In addition, the Project complies with the maximum 0.85 FAR provided in TABLE 2.2-e.1 of the Future Land Use Element. As such, the variance request is consistent with the County's Plan.*

7. Granting the variances will not be injurious to the area involved or otherwise detrimental to the public welfare.

**V1-V4.** *Granting the requested Type 2 Variances and Subdivision Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. As described above, the requested variances to setbacks, building orientation, and access are due to the unique operational requirements of a long-established business in the County.*

## **TYPE 1 WAIVER STANDARDS**

As depicted earlier in this narrative, the requested Type 1 Waiver request is as follows:



Waiver No.	ULDC Reference Article/Section	Required	Proposed	Variance
1	Table 7.C.3.B - Foundation Planting and Dimensional Requirements	40% foundation planting on south side Building 1 Facade	Relocate 40% foundation planting requirement to east facade	Waive requirement of 40% foundation planting on south side Building 1 Facade

Pursuant to ULDC Article 2.C.5.G.3. , the Applicant shall comply with the Type 1 Waiver standards below.

When considering a DO application for a Type 1 Waiver, the DRO shall consider the following Standards in addition to any other Standards applicable to the specific Waiver as contained in this Code. For a Waiver application that requires the submittal of an ALP, the Applicant shall comply with additional standards pursuant to Art. 7.B.4, Type 1 Waiver for Landscaping. [Ord. 2010-022] [Ord. 2011-016] [Ord. 2012-027] [Ord. 2016-042] [Ord. 2018-002]

a. The Waiver does not create additional conflicts with other requirements of the ULDC, and is consistent with the stated purpose and intent for the zoning district or overlay; [Ord. 2010-022] [Ord. 2011-016] [Ord. 2012-027] [Ord. 2018-002]

**Response:** The requested foundation planting relocation waiver does not create additional conflicts with other requirements of the ULDC, and is consistent with the stated purpose and intent for the zoning district or overlay. The requested waiver is below the 50% foundation planting relocation allowance as stated in Table 7.B.4.A – Type 1 Waivers for Landscaping. The relocation of required foundation planting from the south side façade of Building 1 to the east façade of Building 1 on the site frontage will have an enhanced effect by providing landscaping to soften the architecture and furthering the site aesthetics along Congress Avenue, which will garner the most attention and view from pedestrians and vehicular traffic along the corridor.

b. The Waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development; and, [Ord. 2010-022] [Ord. 2012-027] [Ord. 2018-002]

**Response:** The requested foundation planting relocation waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development

c. The alternative design option recommended as part of the Waiver approval, if granted, will not adversely impact adjacent properties. [Ord. 2010-022] [Ord. 2012-027] [Ord. 2018-002]

**Response:** The relocation of foundation planting along the south side façade of Building 1 to the east front façade recommended as part of the Waiver approval, if granted, will not adversely impact adjacent properties

## **TYPE 2 WAIVER STANDARDS**

As depicted earlier in this narrative, the requested Type 2 Waiver request is as follows:

<b>Waiver No.</b>	<b>ULDC Reference Article/Section</b>	<b>Required</b>	<b>Proposed</b>	<b>Variance</b>
1	Art. 5.E.5. Hours of operation	6:00 AM to 11:00 PM within 250' of Residential or UG Sub-District	24-hour operation for Type 3 Kennel	Allow 24-hour operation for Kennel Type 3

Pursuant to ULDC Article 2.C.7.D.3. the Applicant shall comply with the Type 2 Waiver standards below.

When considering a DO application for a Type 2 Waiver, the BCC shall utilize Standards a through c indicated below and any other standards specific to a Type 2 Waiver.

a. The Waiver does not create additional conflicts with other requirements of the ULDC, and is consistent with the stated purpose and intent for the zoning district or overlay; [Ord. 2010-022] [Ord. 2011-016] [Ord. 2012-027] [Ord. 2018-002]

**Response:** The Waiver does not create additional conflicts with other requirements of the ULDC, and is consistent with the stated purpose and intent for the zoning district or overlay. Providing a 24-hour operation for a Type 3 Kennel will actually serve the local community and residents with pets as they will have a nearby location to drop their pets off near the airport and allows for late night flight arrivals to access the facility on their way back to their homes. The 24-hour operation is also an industry standard for Kennels as they provide the flexibility for pet owners to drop off or pick up their pets outside of regular business hours, accommodating shift workers, travelers with late-night flights, or those with unpredictable work schedules. Additionally, the intent of the hours of operation limitation as seen in Art 5.E.5 is targeted toward human and pedestrian activity in commercial establishments to prevent any impacts to neighboring residents. In this instance, the use is in an enclosed area and serving pets only as opposed to humans and pedestrians and therefore does not violate the intent of the section.

b. The Waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development; and, [Ord. 2010-022] [Ord. 2012-027] [Ord. 2018-002]

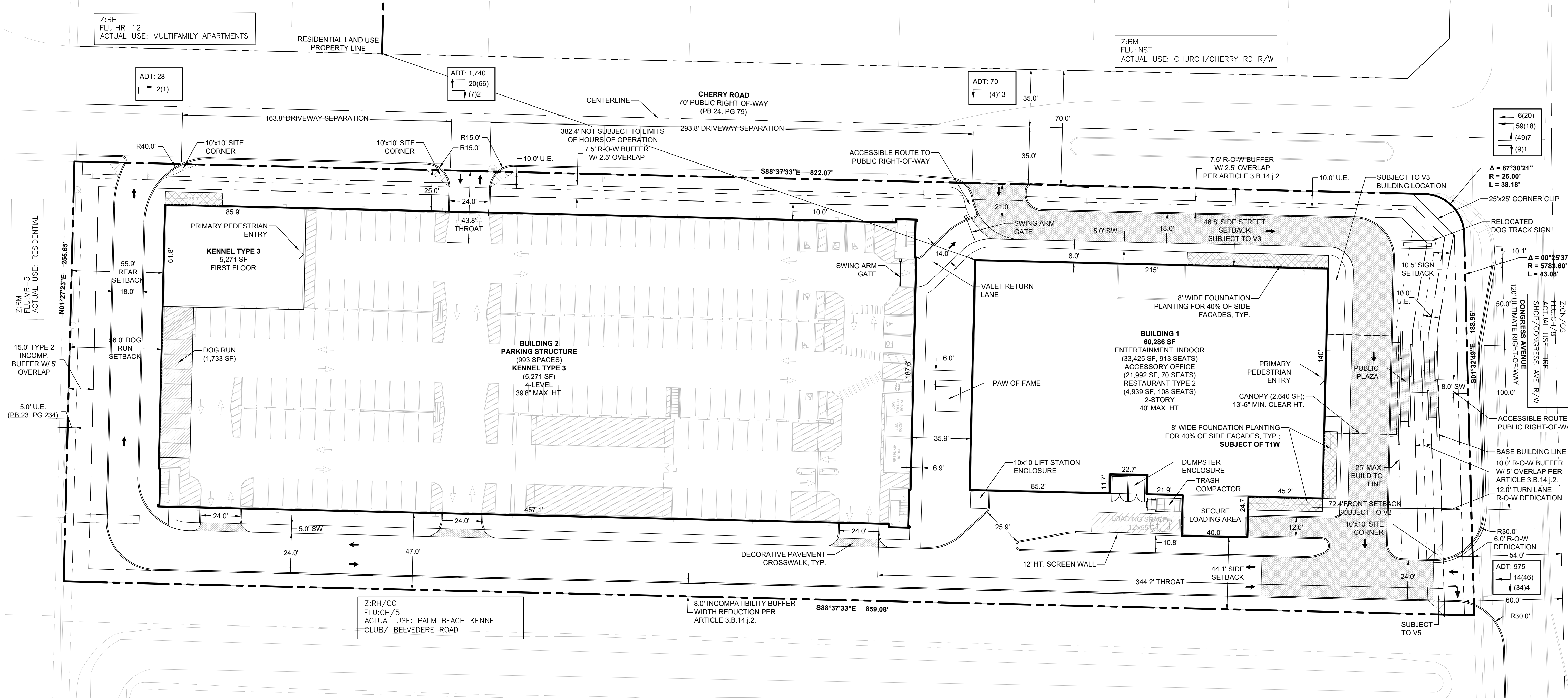
**Response:** The requested hours of operation waiver will not cause a detrimental effect on the overall design and development standards of the project, and will be in harmony with the general site layout and design details of the development

c. The alternative design option recommended as part of the Waiver approval, if granted, will not adversely impact adjacent properties. [Ord. 2010-022] [Ord. 2012-027] [Ord. 2018-002]

**W1 Response:** The alternative design option recommended as part of the Waiver approval, if granted, will not adversely impact adjacent properties. Providing a 24-hour operation for a Type 3 Kennel will actually serve the local community and residents with pets as they will have a nearby location to drop their pets off near the airport and allows for late night flight arrivals to access the facility on their way back to their homes. The 24-hour operation is also an industry standard for Kennels as they provide the flexibility for pet owners to drop off or pick up their pets outside of regular business hours, accommodating shift workers, travelers with late-night flights, or those with unpredictable work schedules. Additionally, the intent of the hours of operation limitation as seen in Art 5.E.5 is targeted toward human and pedestrian activity in commercial establishments to prevent any impacts to neighboring residents. In this instance, the use is in an enclosed area and serving pets only as opposed to humans and pedestrians and therefore does not violate the intent of the section.

## **CONCLUSION**

This application is consistent with the Goals and Objectives of The Plan and meets the technical requirements of the ULDC. Based on the above and attached information, the Applicant respectfully requests approval of the Rezoning to CG, Class B Conditional Use for indoor entertainment, Type 2 Variance, Subdivision Variance, Type 1 Waiver, and Type 2 Waiver requests detailed above and DRO Approval of the proposed restaurant and Type 3 Kennel uses. The Project Managers at UDS are Joni Brinkman, JBrinkman@udsflorida.com, Rob Dinsmore, RDinsmore@udsflorida.com, and Lentzy Jean-Louis, Ljean-louis@udsflorida.com, who can be reached via email or by phone at 561-366-1100. Please contact us with any questions or for additional information in support of the requested application.



## SITE DATA

APPLICATION NAME:	PALM BEACH KENNEL CLUB	PARKING PROVIDED:	993
APPLICATION NUMBER:	TBD	STANDARD	973
CONTROL NUMBER:	TBD	HANDICAP	20
PROJECT NUMBER:	XXXX	BUILDING HEIGHT:	MAX. 240 FT
TIER:	URBAN/SUBURBAN	BUILDING LENGTH:	215'
EXISTING LAND USE DESIGNATION:	CH/8	TRAFFIC ANALYSIS ZONE:	214
EXISTING ZONING DISTRICT:	RH		
PROPOSED ZONING DISTRICT:	CG		
OVERLAY/STUDY AREA:	WCRAO-UG/URA/RRO		
PROPERTY CONTROL NUMBER:	00-4343-30-00-000-5190		
PROPOSED USE:	ENTERTAINMENT INDOOR KENNEL TYPE 3 RESTAURANT TYPE 2		
	5.0 AC (217,800 SF)		

TOTAL SITE AREA:	
REQUIRED SITE AREA:	
GROSS FLOOR AREA	65,557 SF
BUILDING 1	60,286 SF
ENTERTAINMENT INDOOR (913 SEATS)	33,425 SF
ACCESSORY OFFICE	21,922 SF
RESTAURANT TYPE 2 (108 SEATS)	4,939 SF
BUILDING 2	5,271 SF
KENNEL TYPE 3	5,271 SF
TOTAL FLOOR AREA RATIO (65,557 SF/217,800 SF):	0.30
TOTAL BLDG. COVERAGE (117,572 SF/217,800 SF):	54.0%
*INCLUDES 2,640 SF OF CANOPY FOR WEATHER PROTECTION	

PARKING REQUIRED:	439
ENT. INDOOR (1 SP PER 3 SEATS @ 913)	304
ACCESSORY OFFICE (1 SP PER 250 SF @ 21,922)	88
RESTAURANT TYPE 2 (1 SP PER 3 SEATS @ 108)	36
KENNEL TYPE 3 (1 SP PER 500 SF @ 5,271)	11
HANDICAP SPACES REQUIRED (2% OF TOTAL PROVIDED @1000)	20
LOADING REQUIRED (PER TABLE 6.B.1.B AND TABLE 6.E.4.A)	0
ENT. INDOOR	N/A
KENNEL TYPE 3	0
RESTAURANT TYPE 2	0
LOADING SPACES PROVIDED (12'x55')	1

## FOUNDATION PLANTING TABLE

PER TABEL 7.C.3.B : 8' WIDE FOUNDATION PLANTING SHALL BE PROVIDED FOR 40% OF THE FRONT AND SIDE FACADES OF NON-RESIDENTIAL BUILDINGS.

BUILDING 1:	PLANTING	FOUNDATION
	FACADE PROVIDED	REQUIRED
NORTH (SIDE)	215.0'	86.0' (688.0 SF)
SOUTH (SIDE)	215.0'	86.0' (688.0 SF)
	(361.6 SF)*	RELOCATED TO EAST FACADE - 40.8'
	*SUBJECT OF TYPE 1 WAIVER	
EAST (FRONT)	140.0'	56.0' (448 SF)
	N/A**	
	**EXEMPT PER ART. 3.B.14.J	
BUILDING 2: (KENNEL TYPE 3)	PLANTING	FOUNDATION
	FACADE PROVIDED	REQUIRED
NORTH (SIDE)	85.9'	34.4' (274.9 SF)
SOUTH (SIDE)	85.9'	N/A*
	(280.0 SF)	N/A*
*INSIDE PARKING STRUCTURE		N/A*
EAST (FRONT)	61.8'	N/A*
	*INSIDE PARKING STRUCTURE	

## NOTES

- BASE INFORMATION OBTAINED FROM A SURVEY PREPARED BY WALLACE SURVEYING, CORP. DATED 03/28/2023.
- PRIVATE EASEMENTS TO BE DEDICATED AT TIME OF PERMIT.

### TYPE 2 VARIANCE

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
1.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Cherry Road Frontage	46.8'	21.8'
2.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Congress Avenue Frontage	72.4' to Building Facade	47.4'
3	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's Footnote 9	300' Max Building Length and Longest side facing front build to line and placed at the corner.	Longest Building Side not to face front build to line and building not placed at the corner.	Waive requirement of longest side of building facing front build to line. And building not placed at corner.

### SUBDIVISION VARIANCE

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
4	Art. 11.E.2.A.4.	Access to lower classification street - Cherry Road	Access from both Cherry Road and Congress Avenue	Access to Congress Avenue

### TYPE 1 WAIVER

Waiver No.	ULDC Reference Article/Section	Required	Proposed	Variance
1	Table 7.C.3.B - Foundation Planting and Dimensional Requirements	40% foundation planting on south side Building 1 Facade	Relocate 40% foundation planting requirement to east facade	Waive requirement of 40% foundation planting on south side Building 1 Facade

### TYPE 2 WAIVER

Waiver No.	ULDC Reference Article/Section	Required	Proposed	Variance
1	Art. 5.E.5. Hours of operation	6:00 AM to 11:00 PM within 250' of Residential or UG Sub-District	24-hour operation for Type 3 Kennel	Allow 24-hour operation for Kennel Type 3

## PROPERTY DEVELOPMENT REGULATIONS

PER ULDC TABLE 3.B.14.F. WCRAO NON-RESIDENTIAL

WCRAO (UG) (FLU - CH/8)	MINIMUM LOT DIMENSIONS				FAR	BLDG COV.	SETBACKS/SEPARATION*			
	SIZE	WIDTH	DEPTH	FRONTAGE			FRONT	SIDE	STREET	REAR
Required	5.0 AC	100'	100'	100'	.85	60%**	MIN. 10' MAX. 25'	15'	MIN. 10' MAX. 25'	25'
Provided	5.0 AC	255.65'	859.08'	231'	0.30	54%	72.4'	44.1'	46.8'	55.9'

- \*\*60% WHEN ALL PARKING PROVIDED WITHIN A PARKING STRUCTURE.

## DEVELOPMENT TEAM

PLANNER/ LANDSCAPE ARCHITECT:  
**URBAN DESIGN STUDIO**  
610 CLEMATIS STREET, SUITE CU02  
WEST PALM BEACH, FL 33401  
561.366.1100

SURVEYOR:  
**WALLACE SURVEYING, CORP.**  
5553 VILLAGE BOULEVARD  
WEST PALM BEACH, FLORIDA 33407  
561.640.4551

ARCHITECT:  
**ARCADIS PROFESSIONAL SERVICES, INC.**  
7000 NORTH FEDERAL HIGHWAY  
BOCA RATON, FLORIDA 33487  
561.300.3277

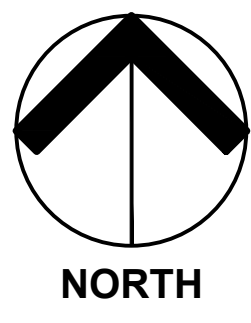
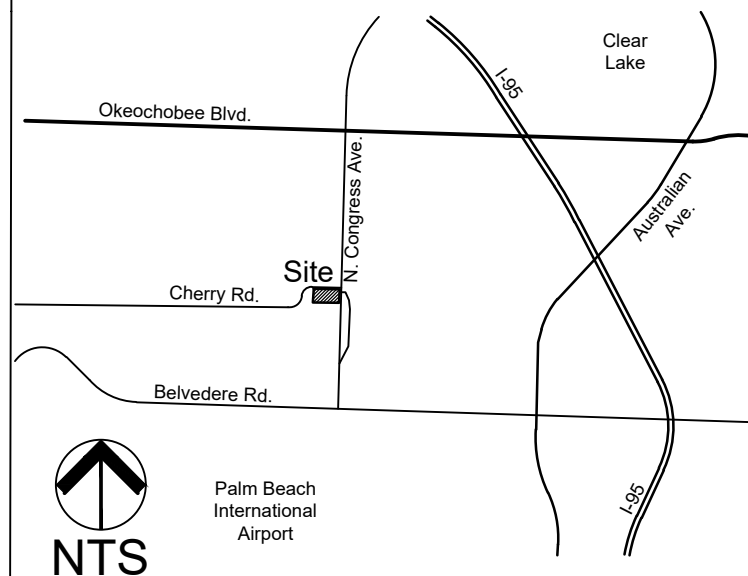
CIVIL ENGINEER:  
**BOHLER ENGINEERING**  
1900 NW CORPORATE BLVD., SUITE 101E  
BOCA RATON, FL 33431  
561.571.0280

TRAFFIC ENGINEER:  
**JMD ENGINEERING, INC.**  
12773 FOREST HILL BLVD., SUITE 204  
WELLINGTON, FL 33414  
561.379.5178

## LEGEND

△	PRIMARY PEDESTRIAN ENTRANCE
▨	DECORATIVE PAVING
▩	FOUNDATION PLANTING
LME =	LAKE MAINTENANCE
EASEMENT	
POS =	POINT OF SERVICE
OGI =	OIL GREASE INTERCEPTOR
OSS =	OIL SAND SEPARATOR
R/W =	RIGHT OF WAY
SW =	SIDEWALK
L =	LOADING SPACE
D =	ENCLOSED DUMPSTER/ RECYCLING COMPACTOR, TYP.
FP =	FOUNDATION PLANTING AREA
G =	GENERATOR

## LOCATION MAP:



Scale: 1" = 30'-0"

Date: 02/15/2024  
Project No.: 21-065.005  
Designed By: RD  
Drawn By: NM  
Checked By: RD/UB

Revision Dates:  
WCRA SUBMITTAL 02/26/24

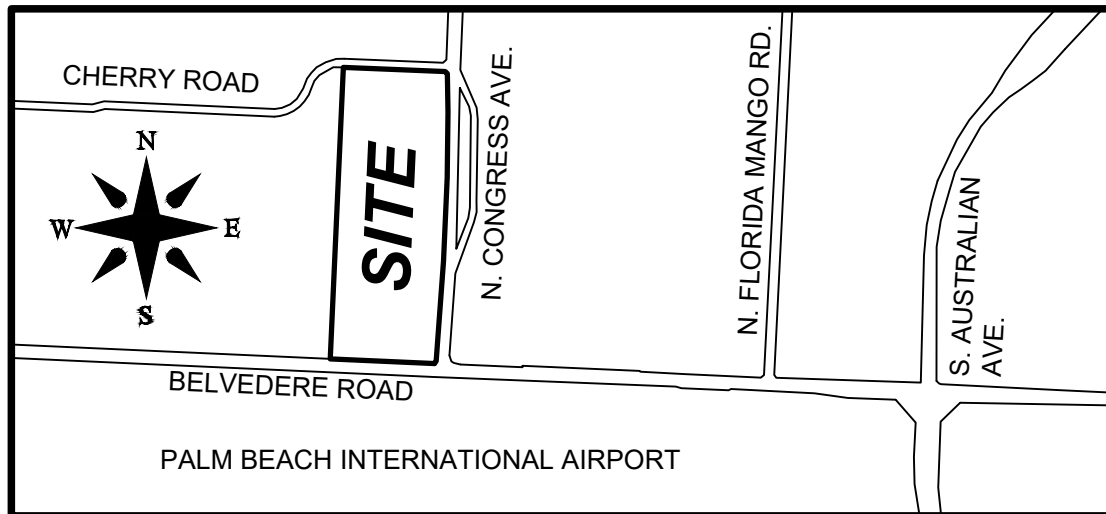


# BOUNDARY SURVEY - PLAT WAIVER

## SHEET INDEX

SHEET 1 OF 8:	SHEET INDEX, VICINITY SKETCH & LEGEND
SHEET 2 OF 8:	LEGAL DESCRIPTION
SHEET 3 OF 8:	NOTES & CERTIFICATION
SHEET 4 OF 8:	TITLE COMMITMENT REVIEW
SHEET 5 OF 8:	SURVEY KEY MAP & SECTION TIES
SHEET 6 OF 8:	SKETCH OF SURVEY
SHEET 7 OF 8:	SKETCH OF SURVEY
SHEET 8 OF 8:	SKETCH OF SURVEY

SECTION 30, TOWNSHIP 43 SOUTH, RANGE 43 EAST

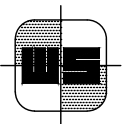


**VICINITY SKETCH**  
(NOT TO SCALE)

### ABBREVIATIONS & SYMBOLS LEGEND

A	= ARC LENGTH	P.T.	= POINT OF TANGENCY
(D)	= DESCRIPTION/DEED DATUM	R	= RADIUS
D.E.	= DRAINAGE EASEMENT	(R.B.)	= RADIAL BEARING
E:	= EASTING	RGE.	= RANGE
L.B./LB	= LICENSE BOARD	R.P.B.	= ROAD PLAT BOOK
L.W.D.D.	= LAKE WORTH DRAINAGE DISTRICT	R/W	= RIGHT OF WAY
(M)	= FIELD MEASUREMENT	(S)	= SURVEY DATUM
N:	= NORTHING	S.F.	= SQUARE FEET
N.T.S.	= NOT TO SCALE	U.E.	= UTILITY EASEMENT
O.R.B.	= OFFICIAL RECORDS BOOK	℄	= CENTERLINE
(P)	= PLAT	Δ	= CENTRAL ANGLE/DELTA
P.B.	= PLAT BOOK	●	= IRON ROD & CAP FOUND (AS NOTED)
P.B.C./PBC	= PALM BEACH COUNTY	○	= 5/8" IRON ROD & CAP SET "LB #4569"
P.B.C.U.E.	= PALM BEACH COUNTY UTILITY EASEMENT	⊙	= IRON ROD FOUND (AS NOTED)
PG.	= PAGE	⊗	= MAG NAIL & DISK SET "LB #4569"
P.O.B.	= POINT OF BEGINNING	30/43/43	= SECTION 30, TOWNSHIP 43 SOUTH, RANGE 43 EAST
P.O.C.	= POINT OF COMMENCEMENT		

NOTE: THIS SURVEY CONSISTS OF 8 SHEETS AND IS NOT VALID WITHOUT ALL 8 SHEETS MAKING A COMPLETE SET.



**WALLACE SURVEYING**  
CORP., LB #4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023	DWG. No.: 23-1108-2
OFFICE: R.C.	JOB No.: 195070-SE
C'K'D.: R.C.	SHEET: 1 OF 8

# BOUNDARY SURVEY - PLAT WAIVER

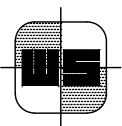
## LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 30, TOWNSHIP 43 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, NOW KNOWN AS PARCELS A AND B, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**COMMENCE** AT THE SOUTHEAST CORNER OF SAID SECTION 30; THENCE NORTH 88°22'59" WEST, ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION 30, A DISTANCE OF 64.75 FEET; THENCE DEPARTING SAID SOUTH LINE, NORTH 01°37'01" EAST A DISTANCE OF 61.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF BELVEDERE ROAD AS RECORDED IN ROAD PLAT BOOK 4, PAGE 201, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, AND THE **POINT OF BEGINNING** OF THE FOLLOWING DESCRIBED PARCEL; THENCE CONTINUE ALONG SAID NORTH RIGHT-OF-WAY LINE THROUGH THE FOLLOWING THREE COURSES; NORTH 88°22'59" WEST A DISTANCE OF 776.63 FEET; THENCE NORTH 01°27'23" EAST A DISTANCE OF 5.00 FEET; THENCE NORTH 88°22'59" WEST A DISTANCE OF 50.00 FEET TO A POINT OF INTERSECTION WITH THE WEST LINE OF THE EAST 50 FEET OF THE WEST 3/4 OF THE WEST 1/2 OF THE EAST 1/2 OF THE SOUTHEAST QUARTER (SE 1/4) OF SAID SECTION 30, SAID LINE ALSO BEING THE SOUTHERLY PROLONGATION OF THE EAST LINE OF PLAT NO. 3 OF GOLFVIEW HEIGHTS AS RECORDED IN PLAT BOOK 23, PAGE 234, SAID PUBLIC RECORDS OF PALM BEACH COUNTY; THENCE NORTH 01°27'23" EAST, ALONG SAID EAST LINE AND ITS SOUTHERLY PROLONGATION THEREOF, A DISTANCE OF 2348.91 FEET TO THE SOUTHWEST CORNER OF THE REPLAT OF PLAT NO. 4 OF GOLFVIEW HEIGHTS AND THE SOUTH RIGHT-OF-WAY LINE OF CHERRY ROAD AS RECORDED IN PLAT BOOK 24, PAGE 79, SAID PUBLIC RECORDS; THENCE SOUTH 88°37'33" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID CHERRY ROAD, A DISTANCE OF 822.07 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF NORTH CONGRESS AVENUE AS RECORDED IN OFFICIAL RECORDS BOOK 4041, PAGE 37, SAID PUBLIC RECORDS, SAID POINT ALSO BEING THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 87°30'21"; THENCE SOUTHEASTERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 38.18 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 5783.60 FEET, A CENTRAL ANGLE OF 00°25'37" AND A RADIAL BEARING AT THIS POINT OF NORTH 88°52'47" EAST; THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 43.08 FEET TO A POINT OF TANGENCY WITH THE FOLLOWING DESCRIBED LINE; THENCE SOUTH 01°32'49" EAST, ALONG SAID TANGENT LINE, A DISTANCE OF 432.82 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE WEST, HAVING A RADIUS OF 5675.60 FEET AND A CENTRAL ANGLE OF 03°05'26"; THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 306.14 FEET TO A POINT OF TANGENCY WITH THE FOLLOWING DESCRIBED LINE; THENCE SOUTH 01°32'37" WEST, ALONG SAID TANGENT LINE, A DISTANCE OF 713.03 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE WEST, HAVING A RADIUS OF 5675.60 FEET AND A CENTRAL ANGLE OF 02°07'52"; THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE A DISTANCE OF 211.10 FEET TO A POINT OF TANGENCY WITH THE FOLLOWING DESCRIBED LINE; THENCE SOUTH 03°40'29" WEST, ALONG SAID TANGENT LINE, A DISTANCE OF 200.00 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 5783.60 FEET AND A CENTRAL ANGLE OF 00°54'17"; THENCE SOUTHERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 91.33 FEET TO A POINT OF TANGENCY WITH THE FOLLOWING DESCRIBED LINE; THENCE SOUTH 02°46'12" WEST, ALONG SAID TANGENT LINE, A DISTANCE OF 307.83 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 30.00 FEET AND A CENTRAL ANGLE OF 88°50'49"; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE, A DISTANCE OF 46.52 FEET TO A POINT OF TANGENCY WITH THE NORTH RIGHT-OF-WAY LINE OF SAID BELVEDERE ROAD AND THE **POINT OF BEGINNING**.

CONTAINING IN ALL 2,049,754.446 SQUARE FEET OR 47.056 ACRES, MORE OR LESS

NOTE: THIS SURVEY CONSISTS OF 8 SHEETS AND IS NOT VALID WITHOUT ALL 8 SHEETS MAKING A COMPLETE SET.



**WALLACE SURVEYING**  
CORP., LB #4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023	DWG. No.: 23-1108-2
OFFICE: R.C.	JOB No.: 195070-SE
C'K'D.: R.C.	SHEET: 2 OF 8

# BOUNDARY SURVEY - PLAT WAIVER

## NOTES:

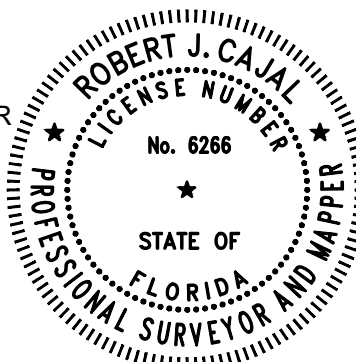
1. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINERS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM COMMITMENT NUMBER PG582401023, ISSUED BY CHICAGO TITLE INSURANCE COMPANY, DATED JANUARY 08, 2024. THIS OFFICE HAS MADE NO SEARCH OF THE PUBLIC RECORDS.
2. UNLESS PRESENTED IN DIGITAL FORM WITH VERIFIABLE ELECTRONIC SEAL AND ELECTRONIC SIGNATURE, THIS SURVEY MUST BEAR THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR OR MAPPER, OTHERWISE THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
3. UNDERGROUND FOUNDATIONS NOT LOCATED.
4. ALL DATES SHOWN WITHIN THE REVISIONS BLOCK HEREON ARE FOR INTEROFFICE FILING USE ONLY AND IN NO WAY AFFECT THE DATE OF THE FIELD SURVEY STATED HEREIN.
5. IT IS A VIOLATION OF RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR.
6. ALL LINES INTERSECTING CIRCULAR CURVES ARE RADIAL UNLESS OTHERWISE NOTED.
7. ALL DISTANCES SHOWN HEREON ARE GROUND UNLESS LABELED OTHERWISE AND ARE IN U.S. SURVEY FEET AS MEASURED ON HORIZONTAL PLANE.
8. THIS SURVEY IS NOT VALID UNLESS ACCOMPANIED BY ALL 8 SHEETS FORMING A COMPLETE SET.
9. COORDINATES SHOWN HEREON ARE GRID AND ARE BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM ON THE NORTH AMERICAN DATUM OF 1983/1990 ADJUSTMENT.
10. ZONE = FLORIDA EAST
11. SCALE FACTOR = 1.00004275
12. SCALE FACTOR X GROUND DISTANCE = GRID DISTANCE
13. BEARINGS SHOWN HEREON ARE GRID AND ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 30, TOWNSHIP43 SOUTH, RANGE 43 EAST WHICH BEARS SOUTH 01°32'37" WEST.
14. SEE UNDERLYING BOUNDARY SURVEY DATED 03/28/23 PREPARED BY WALLACE SURVEYING CORPORATION, DRAWING NO. 23-1370-1 FOR EXISTING CONDITIONS AND IMPROVEMENTS.

## CERTIFICATION:

I HEREBY ATTEST THAT THE BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS ADOPTED IN RULE 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES, EFFECTIVE SEPTEMBER 1, 1981.

DATE OF LAST FIELD SURVEY: 03/28/2023

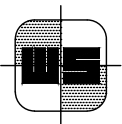
ROBERT J. CAJAL  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA CERTIFICATE NO. 6266  
WALLACE SURVEYING CORPORATION  
LICENSED BUSINESS #4569  
5553 VILLAGE BOULEVARD  
WEST PALM BEACH, FLORIDA 33407  
(561) 640-4551



Digitally signed by  
Robert J Cajal  
Date: 2024.02.25  
10:02:40 -05'00'

## REVISIONS:

02/22/2024, REFLECT UPDATED TITLE WORK AND EXCEPTIONS, R.C., 195070-SE



**WALLACE SURVEYING**  
CORP., LB #4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023	DWG. No.: 23-1108-2
OFFICE: R.C.	JOB No.: 195070-SE
C'K'D.: R.C.	SHEET: 3 OF 8

# BOUNDARY SURVEY - PLAT WAIVER

## TITLE COMMITMENT REVIEW

CLIENT: BELCO WEST, a Florida  
limited liability company

COMMITMENT NO. : 582401023

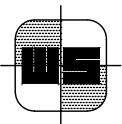
DATE: 01/08/24

REVIEWED BY: Robert J. Cajal

JOB NO. : 195070-SE

B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT- ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-6	N/A	STANDARD EXCEPTIONS				●
7	D.B. 47, PG 436	RESERVATIONS		●		
8	D.B. 856, PG 30	CANAL R/W (RELEASED BY ORB 5101, PG 725			●	
9	ORB 1370, PG 156	D.E. TO P.B.C.			●	
9a	ORB 6085, PG 143	CORRECTIVE D.E.	●			
10	ORB 2384, PG 933	FPL EASEMENT	●			
11	ORB 2445, PG 546	FPL EASEMENT	●			
12	ORB 4668, PG 1601	FPL EASEMENT	●			
13	ORB 6359, PG 1708	FPL EASEMENT	●			
14	ORB 9179, PG 1954	P.B.C.U.E.	●			
15	ORB 34213, PG 1651	P.B.C.U.E.	●			

NOTE: THIS SURVEY CONSISTS OF 8 SHEETS AND IS NOT VALID WITHOUT ALL 8 SHEETS MAKING A COMPLETE SET.



**WALLACE SURVEYING**  
CORP., LB #4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023

DWG. No.: 23-1108-2

OFFICE: R.C.

JOB No.: 195070-SE

C'K'D.: R.C.

SHEET: 4 OF 8

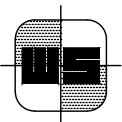
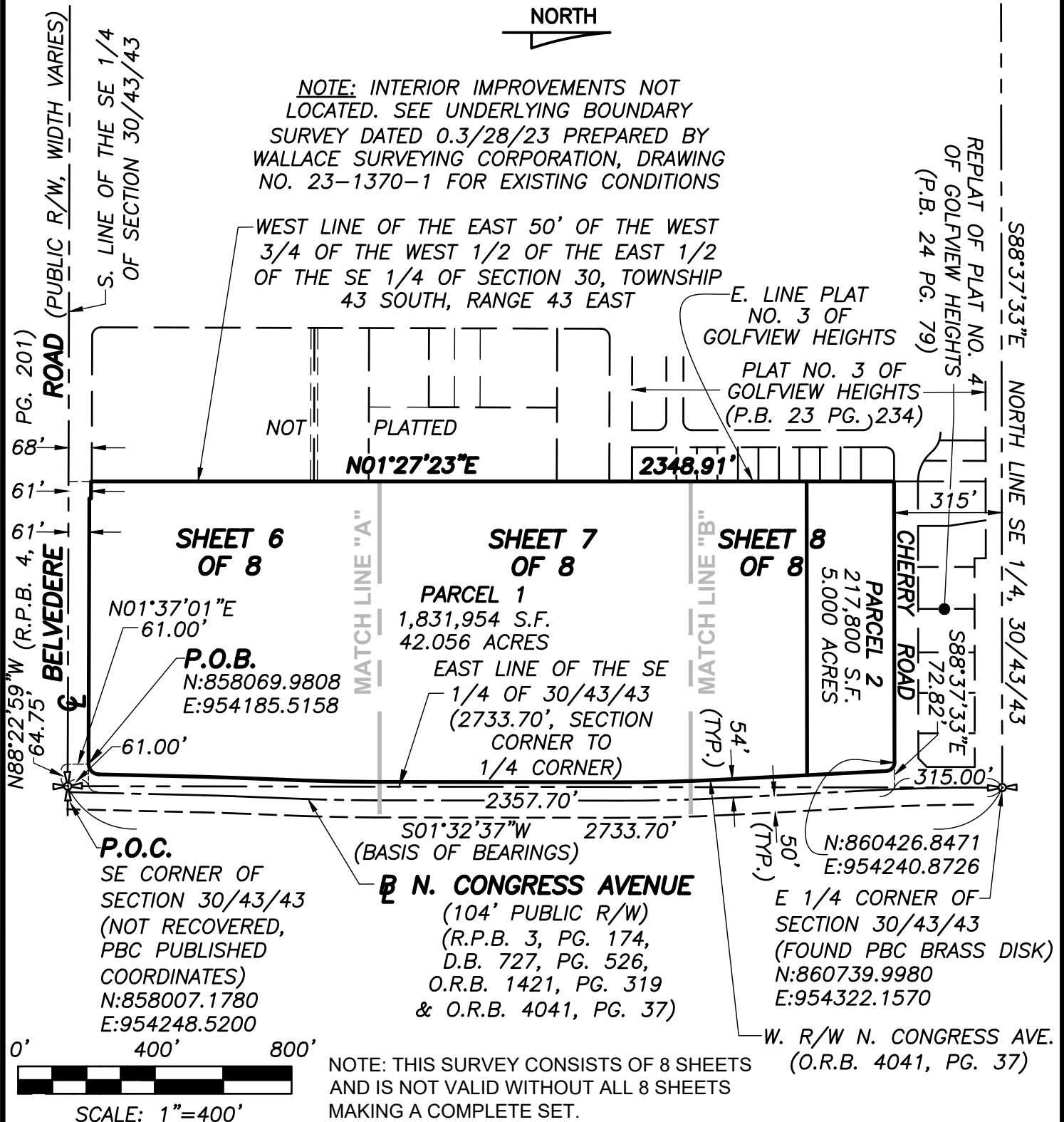


# BOUNDARY SURVEY - PLAT WAIVER

## KEY MAP/SECTION TIES

NORTH

NOTE: INTERIOR IMPROVEMENTS NOT LOCATED. SEE UNDERLYING BOUNDARY SURVEY DATED 0.3/28/23 PREPARED BY WALLACE SURVEYING CORPORATION, DRAWING NO. 23-1370-1 FOR EXISTING CONDITIONS



**WALLACE SURVEYING**  
CORP., LB #4569

5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023

DWG. No.: 23-1108-2

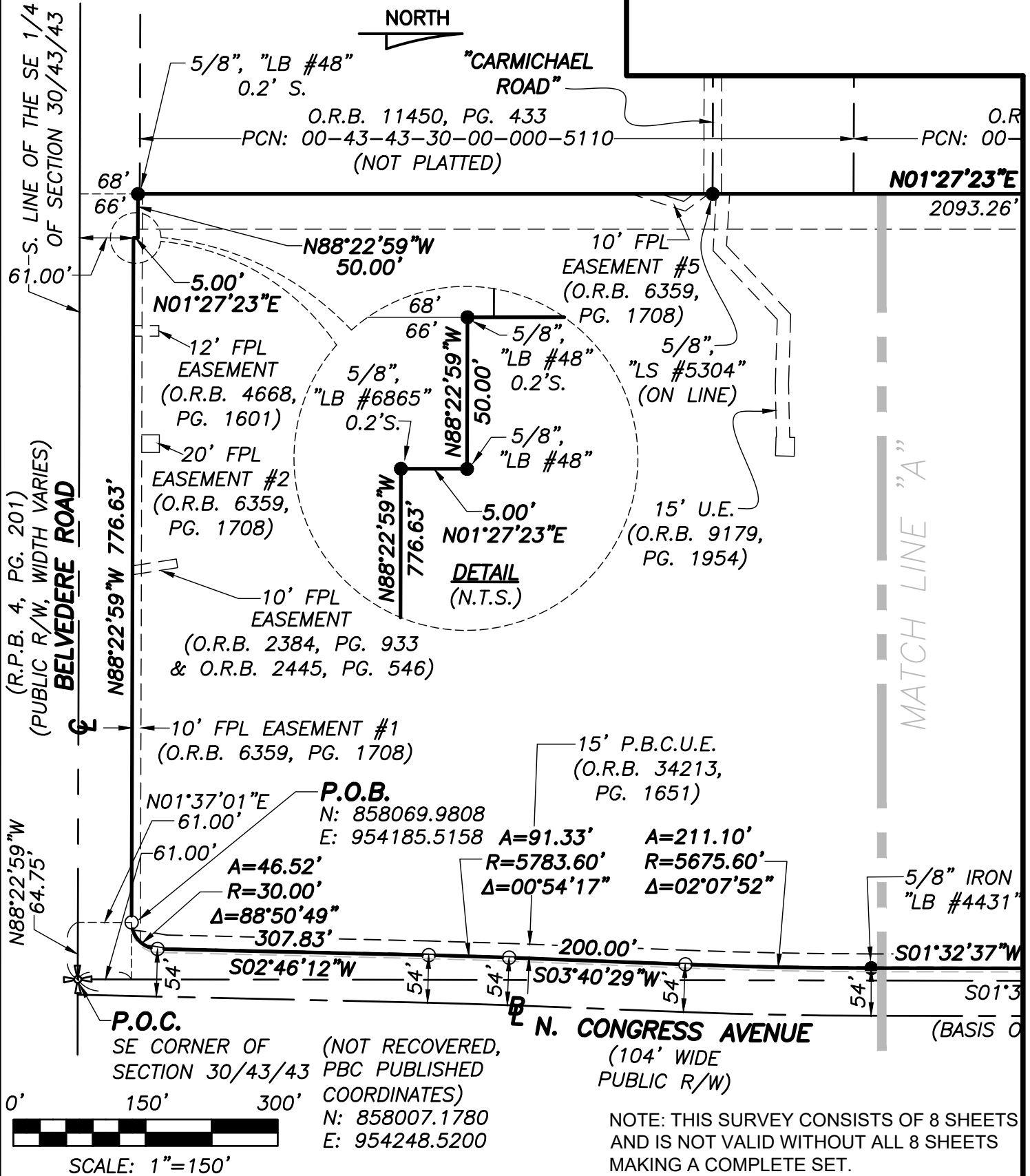
OFFICE: R.C.

JOB No.: 195070-SE

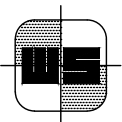
C'K'D.: R.C.

SHEET: 5 OF 8

# BOUNDARY SURVEY - PLAT WAIVER



NOTE: THIS SURVEY CONSISTS OF 8 SHEETS AND IS NOT VALID WITHOUT ALL 8 SHEETS MAKING A COMPLETE SET.



**WALLACE SURVEYING**  
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5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023

DWG. No.: 23-1108-2

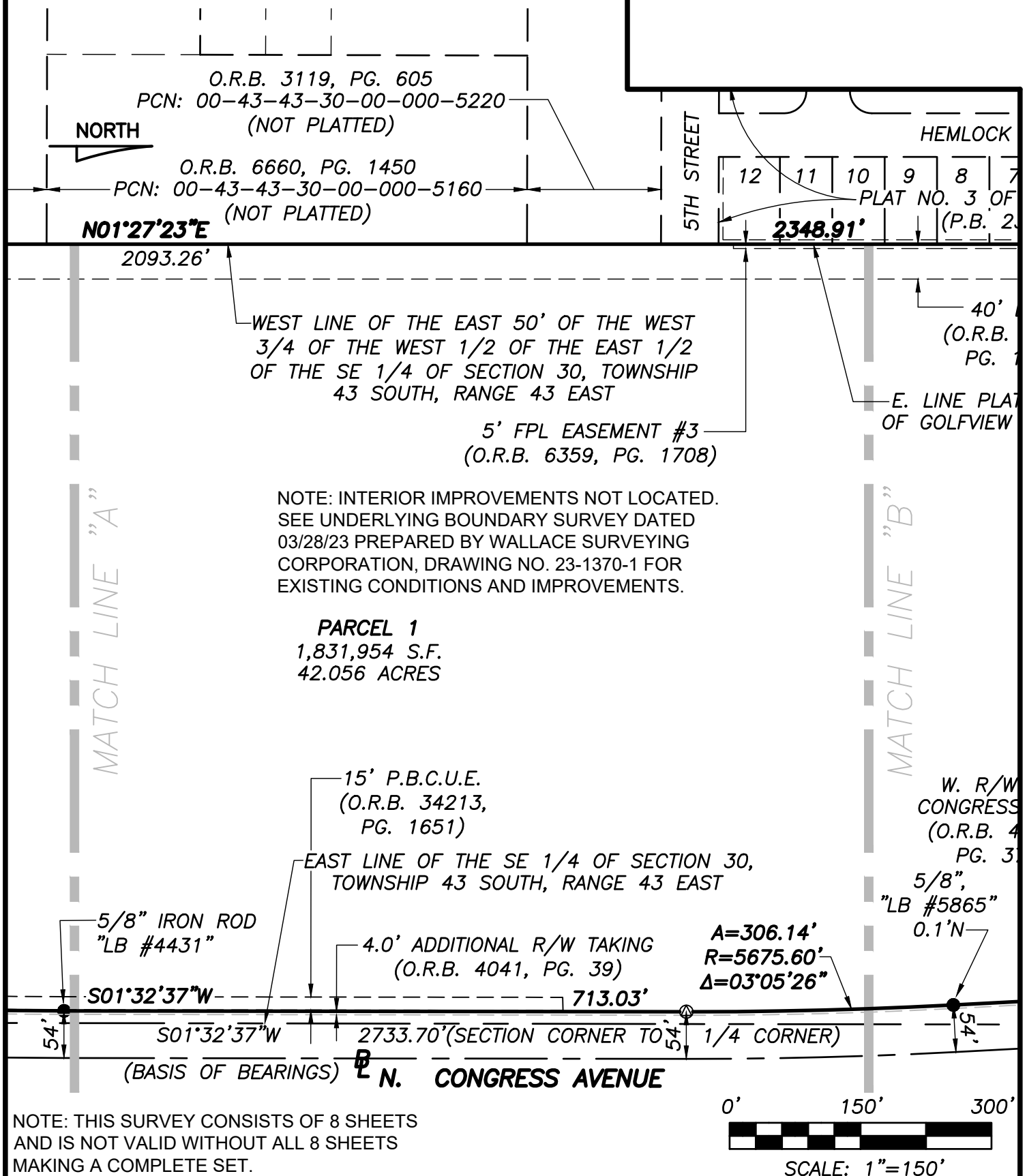
OFFICE: R.C.

JOB No.: 195070-SE

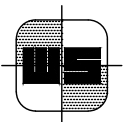
C'K'D.: R.C.

SHEET: 6 OF 8

# BOUNDARY SURVEY - PLAT WAIVER



NOTE: THIS SURVEY CONSISTS OF 8 SHEETS  
AND IS NOT VALID WITHOUT ALL 8 SHEETS  
MAKING A COMPLETE SET.



**WALLACE SURVEYING**  
CORP., LB #4569

5553 VILLAGE BOULEVARD, WEST PALM BEACH,  
FLORIDA 33407 \* (561) 640-4551

DATE: 3/28/2023	DWG. No.: 23-1108-2
OFFICE: R.C.	JOB No.: 195070-SE
C'K'D.: R.C.	SHEET: 7 OF 8

NORTH



E 1/4 CORNER OF —  
SECTION 30/43/43  
(FOUND PBC BRASS DISK)  
N: 860739.9980  
E: 954322.1570

**SHEET: 8 OF 8**





JMD ENGINEERING, INC.

**TRAFFIC IMPACT ANALYSIS  
(WESTGATE TCEA)**

**PALM BEACH KENNEL CLUB**

**PCN**

**00-43-43-30-00-000-5190**

**PALM BEACH COUNTY, FLORIDA**

**TP-23-63**

**February 24, 2024**

**© JMD ENGINEERING, INC.**

Certificate of Authorization

Number 00009514

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**John M. Donaldson, P.E.**  
**Florida Registration Number 40568**

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# INTRODUCTION

The Palm Beach Kennel Club (PBKC) is proposing to relocate the existing facility to the southwest quadrant of Congress Avenue and Cherry Road in Palm Beach County, Florida (See Figure 1). The PCN for the property is 00-43-43-30-00-000-5190.

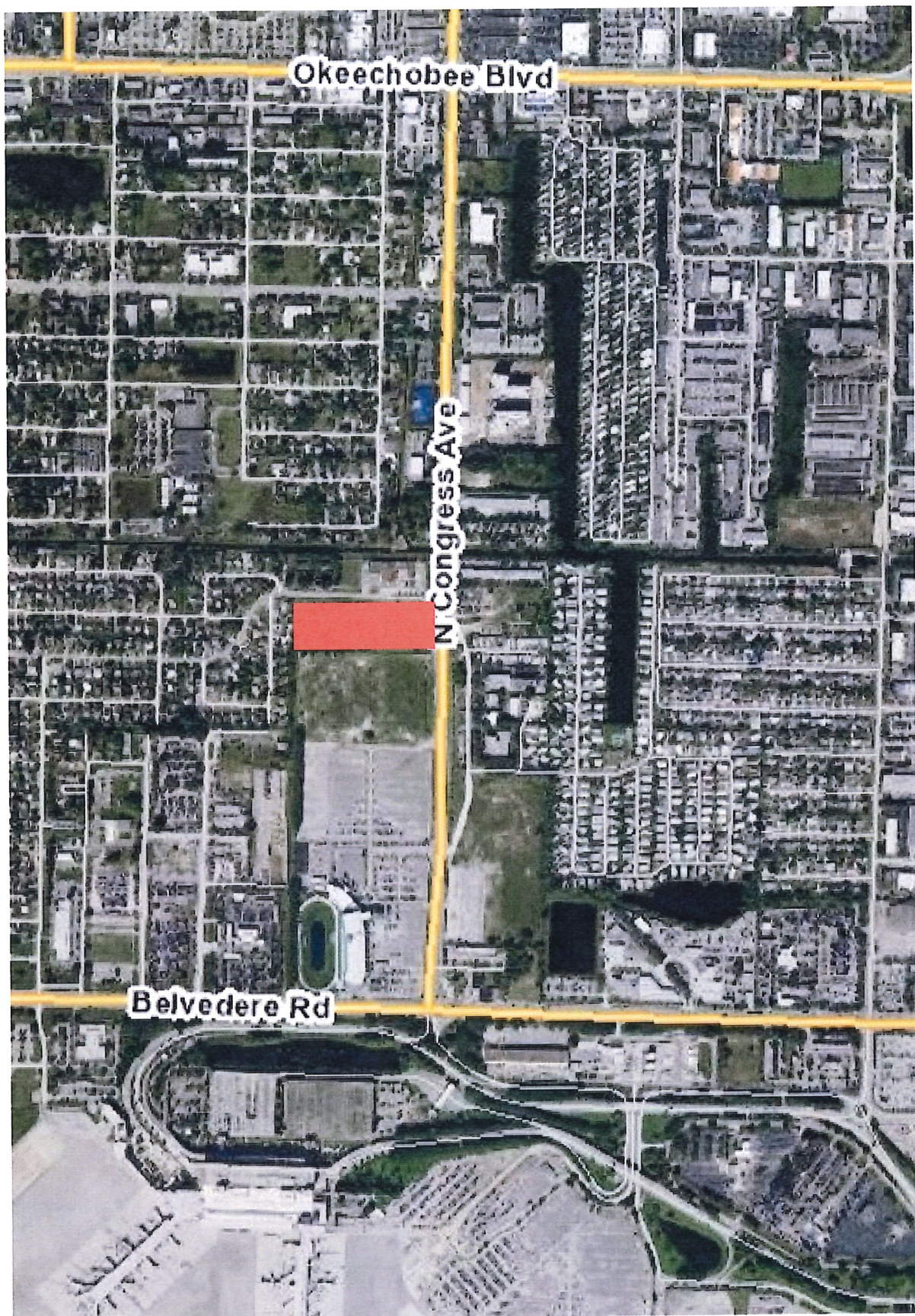
The proposed development plan is for the following uses:

Indoor Entertainment	33,425 s.f.	(913 Seats)
Accessory Office	21,922 s.f.	
Restaurant	4,939 s.f.	(108 Seats)
Kennel Type 3	5,271 s.f.	
Total	65,557 s.f.	1,021 Seats

JMD Engineering, Inc. (JMD) was retained to prepare a traffic impact analysis for the project. The project site is within the Westgate Traffic Concurrency Exemption Area (see attached map in Appendix), Per Article 12. Chapter K. Section 5 (Traffic Study Information). This report provides Trip Generation, Assignment, and projections of future traffic at the site access.

This document presents the methodology used and the findings of the traffic impact analysis. The analysis was conducted following the requirements of the Countywide Traffic Performance Standards Ordinance (TPSO) of Palm Beach County. The analysis used current data available from Palm Beach County. The project is expected to be built by December 2028.





 SITE

PBKC  
FIGURE 1  
PROJECT LOCATION MAP



# INVENTORY AND PLANNING DATA

The data used in this analysis were obtained from Palm Beach County and collected in the field. The data included:

- 2023/2024 traffic volumes
- Roadway geometrics

Urban Design Studio provided project development information.

# PROJECT TRAFFIC

## ***Traffic Generation***

The existing PBKC operation has multiple land uses within its 93,450 square feet of building area. There is a 2,500 square foot Type II kennel that can house 35 dogs, 2,093 square feet of executive offices, 34,040 square feet of quality restaurant (with 735 seats), and 567 poker seats with 1,089 other gaming seats (parimutuel, simulcast, etc.) all of which were in operation at the time of the driveway counts.

The proposed relocated PBKC facility is scaled down in size in both square footage and number of seats. There are 21,992 square feet of office accessory uses, 913 gaming seats, a 4,939 square foot restaurant (with 108 seats), and a 5,271 square foot Type III kennel.

There is currently no trip generation provided in the ITE Trip Generation Handbook, 11th Edition for this specific type of use. While there are ITE rates for entertainment uses such as Casino, Bingo Hall, Dog Track, and Horse Track that might be considered as a similar generator, the applicant has an existing facility in operation at 1111 Congress Avenue in Palm Beach County. We have performed a trip generation study at the existing site. As a result, this Generation Rate Technical Memorandum (“Memorandum”) for AM peak hour, PM peak hour, and Daily trip generation rates is provided in the Appendix. The rates proposed are based on “gross square footage”. There are multiple independent variables for determining trip generation and given the site operating characteristics and the independent variables utilized by similar types of uses in ITE, the generation rate will be based on square footage as it provided the most conservative (highest). The Trip Generation Technical Memorandum for the PBKC is included in the Appendix of this report where this is explained in more detail.

Table 1 shows the calculations used to determine the PBKC trip generation rates for “gross square footage”. The daily and peak hour traffic generation for the proposed development was based on gross square footage.

<p style="text-align: center;"><b>TABLE 1</b> <b>PALM BEACH KENNEL CLUB</b> <b>TRIP GENERATION</b></p>								
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
<u>Existing</u> Gaming Facility	93,450 SF	3,973	75	57	18	328	190	138
<u>Proposed</u> Gaming Facility	65,557 sf	2,787	52	40	12	230	133	97
<u>Net Trips</u>		(1,186)	(23)	(17)	(6)	(98)	(57)	(41)
<p><b>TRIP GENERATION RATES FROM JANUARY 2024 TRIP GENERATION STUDY JMD ENGINEERING, INC.</b>  <b>DAILY - 42.51 TRIPS/1,000 SF</b>  <b>AM PEAK - 0.18/1,000 SF 76% IN/24% OUT</b>  <b>PM PEAK - 3.51/1,000 SF 42% IN/58% OUT</b></p>								

The proposed project is expected to generate 2,787 net external daily trips, 52 net a.m. peak hour trips, and 230 net p.m. peak hour trips. As this is a reduction in trips, no additional analysis is required. For the purposes of this analysis, as the rates are based on the existing site during the peak season and given the type of site, no pass-by trip was applied. The driveway trips and net external trips will be the same.

### ***Traffic Distribution***

Traffic distribution was determined from a review of the roadway network, counts at the site, and previous TPS reports for the PKKC. The distribution to the adjacent roadway network is:

NORTH	-	50 percent
SOUTH	-	45 percent
EAST	-	5 percent

### ***Traffic Assignment***

The net trips for the project were assigned to the surrounding roadway network in terms of a.m. and p.m. peak hour external trips. As there is a reduction in trips as a result of a decrease in building square footage, the assignment is limited to the adjacent roadway links. Figure 2 illustrates the project assignment.





 SITE

PBKC  
FIGURE 2  
PROJECT ASSIGNMENT

## **ASSURED AND PROGRAMMED CONSTRUCTION**

A review of the Five-Year Plans of Palm Beach County and FDOT, as well as those improvements committed by the developers of projects in the area was made. No significant roadway construction is planned for the area.



## **PROJECT TRAFFIC ASSIGNMENT FOR TEST 1 RADIUS OF DEVELOPMENT INFLUENCE**

As the proposed project is less than the current PBKC operation, project traffic was assigned to the first directly accessed link of Congress Avenue and Cherry Road.

# PROJECT DRIVEWAY TRAFFIC VOLUMES

The property accesses Congress Avenue with a right in/right out driveway. The eastern driveway on Cherry Road is inbound only and specifically for valet services. The middle driveway on Cherry Road is a full-access driveway that serves the parking garage. The western driveway on Cherry Road is a right-out-only driveway that is restricted to truck traffic (garbage trucks, armored vehicles, food service, etc.). A site plan is included in the Appendix to help demonstrate the access points for the subject site. The proposed project driveway assignment is shown in Figure 3 and the driveway traffic is shown in Figure 4. All driveways are under Palm Beach County jurisdiction.

## DRIVEWAY CLASSIFICATION

According to the Palm Beach County “Guide to Parking Lot and Street Access Design Criteria and Standards,” it is necessary to classify project driveways as minor, intermediate, or major according to the following criteria:

- Minor – services a maximum daily volume of 500 vehicles.
- Intermediate – services a daily volume ranging from 501 to 2000 vehicles.
- Major – services a daily volume of more than 2000 vehicles.

Using the criteria listed above, the east and west Cherry Road driveways are all anticipated to be classified as minor driveways and the middle Cherry Road and Congress Avenue driveways will be intermediate driveways. The design criteria for a minor driveway and an intermediate, based upon criteria published in Section 3 of the Palm Beach County Land Development Design Standards Manual are as follows:

### Minor Driveway

A minor driveway is one that serves an average daily traffic volume of no more than 500 vehicles (trips). The minimum distance from the street right-of-way at any driveway to any interior service drive or parking space shall be 25 feet, measured on a line perpendicular to the street right-of-way or, when appropriate, along the vehicle path. Minor driveways shall provide minimum single lane widths of 12 feet and provide minimum pavement return radii of 20 feet. In cases when minor driveway connections are to be made to curbed streets the connection may be constructed using drop curb instead of radial returns. Minor driveways may have left and right turn lanes and/or median modifications as required by the County Engineer



### **Intermediate Driveway**

An intermediate driveway is one that serves an average daily traffic volume greater than 500 vehicles but not more than 2,000 vehicles (trips). The minimum distance from the street right-of-way at any driveway to any interior service drive or parking space shall be 50 feet, measured on a line perpendicular to the street right-of-way or, when appropriate, along the vehicle path. Intermediate driveways shall provide minimum ingress lanes 12 feet wide and egress lanes 12 feet wide. Where left and right turn egress is allowed, dual egress lanes may be provided and marked appropriately for use as left and right turn lanes. Intermediate driveways shall provide a minimum pavement return radii of 30 feet. Intermediate driveways may have left and right turn lanes and/or median modifications as required by the County Engineer.

### **Driveway Assessment**

#### *Congress Avenue Driveway*

The proposed intermediate driveway is located approximately 275 feet south of the Cherry Road median opening. The driveway meets the driveway reservoir and turning radius requirements for an intermediate right-in/right-out driveway.

#### *Cherry Road – East Driveway*

The proposed minor inbound-only driveway is located approximately 340 feet west of the centerline of Congress Avenue. It aligns with an existing median opening. 21 feet of reservoir are provided which is less than the county standard of 25 feet. However, this an inbound-only driveway, and a waiver request to the County will be required.

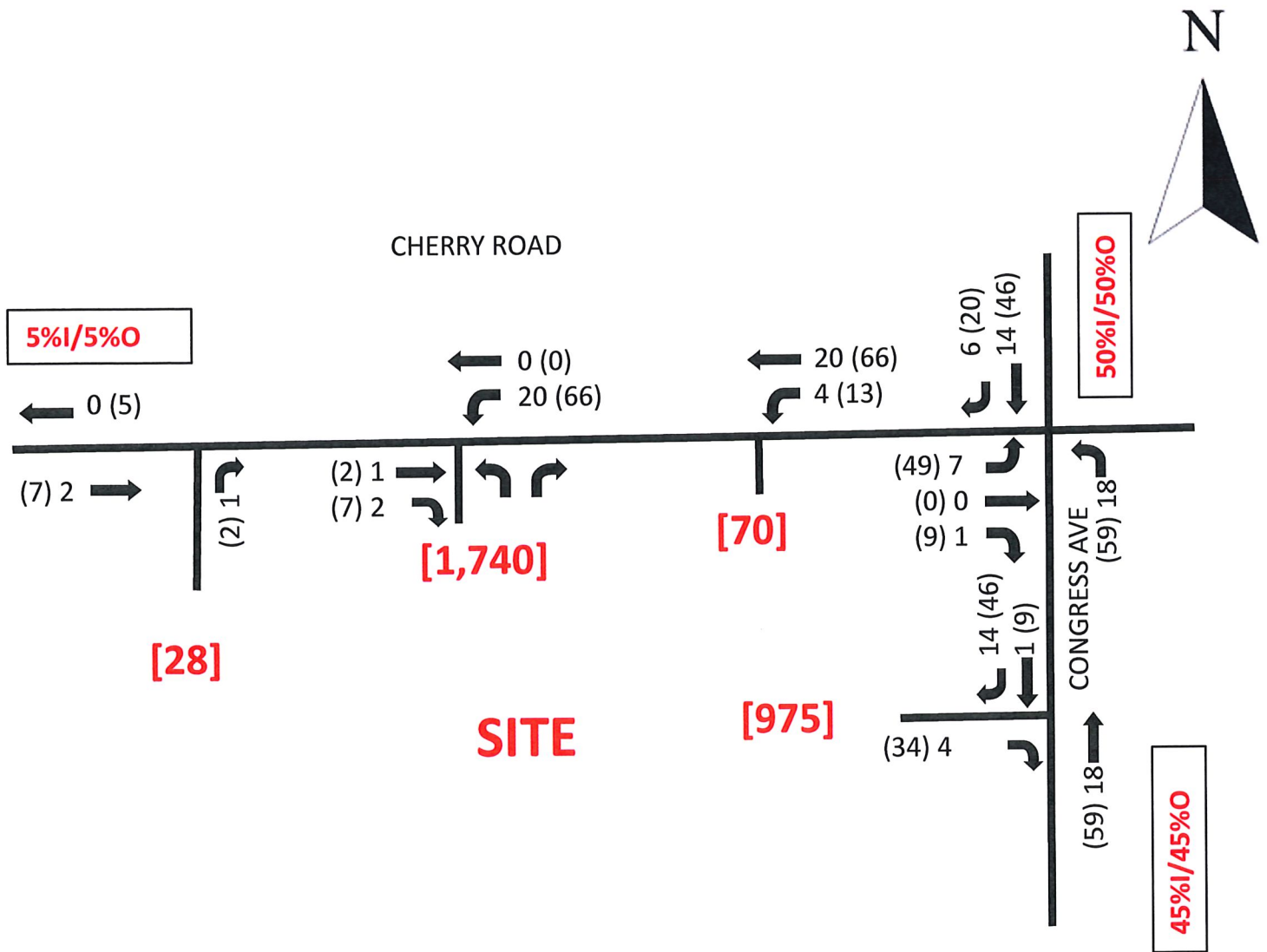
#### *Cherry Road – Middle Driveway*

The proposed intermediate driveway is located approximately 294 feet west of the east driveway and 164 feet east of the west driveway. The configuration of the garage onto Cherry Road would not allow for the separation required to provide a left turn lane at this location (nor do the volumes warrant a separate left turn) so a waiver will be required. The reservoir depth is 43.8 feet and 50 feet is required, therefore a waiver is required from Palm Beach County.

#### *Cherry Road – West Driveway*

The proposed minor right-out-only driveway is located approximately 164 feet west of the middle driveway. This driveway is restricted to trucks and service vehicles with a low volume of traffic. The driveway meets all Palm Beach County Standards.





**PBKC**  
**FIGURE 4**  
**PROPOSED PROJECT DRIVEWAY VOLUMES**

## CONCLUSION

The applicant is proposing to relocate and downsize the existing gaming facility (PBKC) located in the Westgate TCEA in Palm Beach County, Florida.

The proposed development plan is for the following uses:

Indoor Entertainment	33,425 s.f.	(913 Seats)
Accessory Office	21,922 s.f.	
Restaurant	4,939 s.f.	(108 Seats)
Kennel Type 3	5,271 s.f.	
Total	65,557 s.f.	1,021 Seats

Based on the traffic impact analysis prepared for the proposed project development, the proposed development will generate less traffic than the existing facility and therefore meets the requirements of the Countywide Traffic Performance Standards of Palm Beach County.

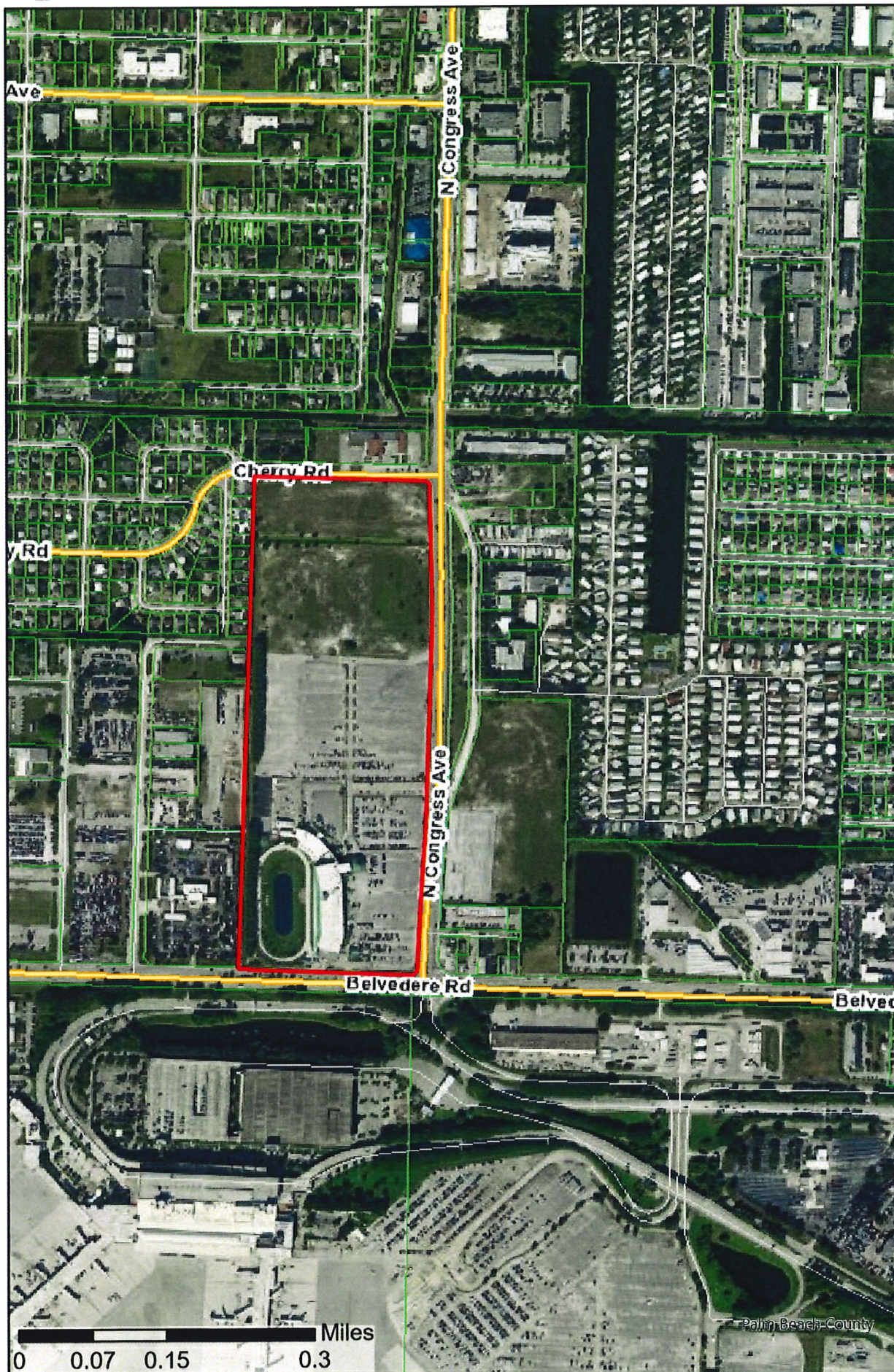


# APPENDIX

# APPENDIX A

## SITE DATA





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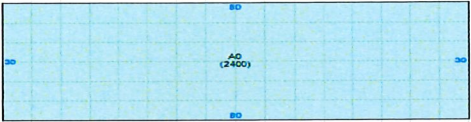






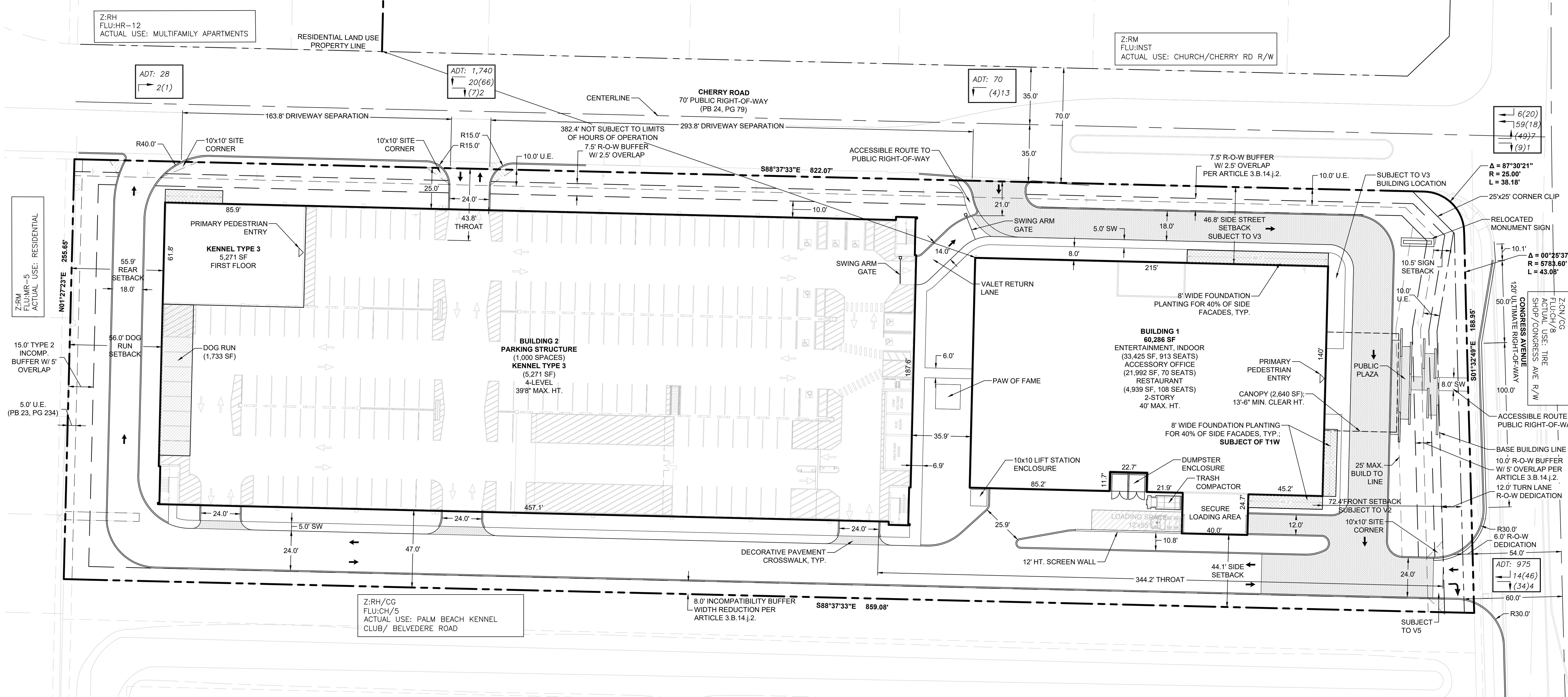




	Description		Area Sq. Footage
	WAREHOUSE		2400
	Total Square Footage : 122096		
	Extra Features		
	Description	Year Built	Unit
Wall		1964	432
Patio Roof		1964	294
Wall		1964	150
Wall		1984	110
Paving- Asphalt		1963	28651
Paving- Asphalt		1964	637467
Fence- Chain Link 6ft #11 Gaug		1964	2310
Utility Building		1963	504
Utility Building		1964	128
Patio Roof		2008	2500
Paving- Asphalt		2005	230771
Wall		1964	10962
Utility Building		1964	424
Patio		1964	12662
Fence- Chain Link 6ft #11 Gaug		1964	200
Fence- Chain Link 6ft #11 Gaug		1964	2000
Unit may represent the perimeter, square footage, linear footage, total number or other measurement.			
Structural Details (Building 5)			
Description			
1 Year Built		1984	
2 WAREHOUSE STORAGE		2400	

# APPENDIX B

## SITE PLAN



## SITE DATA

APPLICATION NAME:	PALM BEACH KENNEL CLUB	PARKING PROVIDED:	1,000
APPLICATION NUMBER:	TBD	STANDARD	980
CONTROL NUMBER:	TBD	HANDICAP	20
PROJECT NUMBER:	XXXX	BUILDING HEIGHT:	MAX. 240 FT
TIER:	URBAN/SUBURBAN	BUILDING LENGTH:	215'
EXISTING LAND USE DESIGNATION:	CH/8	TRAFFIC ANALYSIS ZONE:	214
EXISTING ZONING DISTRICT:	RH		
PROPOSED ZONING DISTRICT:	CG		
OVERLAY/STUDY AREA:	WCRAO-UG/URA/RRO		
PROPERTY CONTROL NUMBER:	00-4343-30-00-000-5190		
PROPOSED USE:	ENTERTAINMENT INDOOR KENNEL TYPE 3 RESTAURANT TYPE 2		
	5.0 AC (217,800 SF)		
TOTAL SITE AREA:	5.0 AC		
REQUIRED SITE AREA:	65,557 SF		
GROSS FLOOR AREA	60,286 SF		
BUILDING 1	33,425 SF		
ENTERTAINMENT INDOOR (913 SEATS)	21,922 SF		
ACCESSORY OFFICE	4,939 SF		
RESTAURANT (108 SEATS)	5,271 SF		
BUILDING 2	5,271 SF		
KENNEL TYPE 3	5,271 SF		
TOTAL FLOOR AREA RATIO (65,557 SF/217,800 SF):	0.30		
TOTAL BLDG. COVERAGE (117,572 SF/217,800 SF):	54.0%		
*INCLUDES 2,640 SF OF CANOPY FOR WEATHER PROTECTION			

PARKING REQUIRED:	439
ENT. INDOOR (1 SP PER 3 SEATS @ 913)	304
ACCESSORY OFFICE (1 SP PER 250 SF @ 21,922)	88
RESTAURANT (1 SP PER 3 SEATS @ 108)	36
KENNEL TYPE 3 (1 SP PER 500 SF @ 5,271)	11
HANDICAP SPACES REQUIRED (2% OF TOTAL PROVIDED @ 1000)	20
LOADING REQUIRED (PER TABLE 6.B.1.B AND TABLE 6.E.4.A)	0
ENT. INDOOR	N/A
KENNEL TYPE 3	0
RESTAURANT TYPE 2	0
LOADING SPACES PROVIDED (12'x55')	1

## FOUNDATION PLANTING TABLE

PER TABLE 7.C.3.B - 8' WIDE FOUNDATION PLANTING SHALL BE PROVIDED FOR 40% OF THE FRONT AND SIDE FACADES OF NON-RESIDENTIAL BUILDINGS.

BUILDING 1:	PLANTING	FOUNDATION
	FAÇADE PROVIDED	LENGTH REQUIRED
	NORTH (SIDE)	215.0' 86.0' (688.0 SF) 86.0'
	SOUTH (SIDE)	215.0' 86.0' (688.0 SF) 45.2'
	(361.6 SF)*	RELOCATED TO EAST FAÇADE - 40.8'
	*SUBJECT OF TYPE 1 WAIVER	
	EAST (FRONT) 140.0' 56.0' (448 SF)	
	N/A**	
	**EXEMPT PER ART. 3.B.14.J	
BUILDING 2: (KENNEL TYPE 3)	PLANTING	FOUNDATION
	FAÇADE PROVIDED	LENGTH REQUIRED
	NORTH (SIDE)	85.9' 34.4' (274.9 SF) 35.0'
	SOUTH (SIDE)	215.0' N/A* N/A*
	*INSIDE PARKING STRUCTURE	
	EAST (FRONT) 140.0'	N/A* N/A*
	*INSIDE PARKING STRUCTURE	

## NOTES

- BASE INFORMATION OBTAINED FROM A SURVEY PREPARED BY WALLACE SURVEYING, CORP. DATED XXXX/2023.
- PRIVATE EASEMENTS TO BE DEDICATED AT TIME OF PERMIT.

## TYPE 2 VARIANCE

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
1.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Cherry Road Frontage	46.8'	21.8'
2.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	10-25' Build To Line Congress Avenue Frontage	72.4' to Building Façade	47.4'
3.	Table 3.B.14.F. WCRAO Non-Residential & Mixed-Use Sub-Area PDR's	300' Max Building Length and Longest side facing front build to line and placed at the corner	Longest Building Side not to face front build to line and building not placed at corner	Waive requirement of longest side of building facing front build to line. And building not placed at corner
4.	Art. 5.E.5. Hours of operation	6:00 AM to 11:00 PM within 250' of Residential or UG Sub-District	24-hour operation for Type 3 Kennel	Allow 24-hour operation for Kennel Type 3

## SUBDIVISION VARIANCE

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
5	Art. 11.E.2.A.4.	Access to lower classification street - Cherry Road	Access from both Cherry Road and Congress Avenue	

## TYPE 1 WAIVER

Variance No.	ULDC Reference Article/Section	Required	Proposed	Variance
1	Table 7.C.3.B - Foundation Planting and Dimensional Requirements	40% foundation planting on south side Building 1 Façade	Relocate 40% foundation planting on south side Building 1 Façade	Waive requirement of 40% foundation planting on south side Building 1 Façade

## PROPERTY DEVELOPMENT REGULATIONS

PER ULDC TABLE 3.B.14.F. WCRAO NON-RESIDENTIAL

WCRAO (UG) (FLU - CH/8)	MINIMUM LOT DIMENSIONS				FAR	BLDG COV.	SETBACKS/SEPARATION*			
	SIZE	WIDTH	DEPTH	FRONTAGE			FRONT	SIDE	STREET	REAR
Required	5.0 AC	100'	100'	100'	.85	60%**	MIN. 10' MAX. 25'	15'	MIN. 10' MAX. 25'	25'
Provided	5.0 AC	255.65'	859.08'	231'	0.30	54%	72.4'	44.1'	46.8'	55.9'

- \*\*60% WHEN ALL PARKING PROVIDED WITHIN A PARKING STRUCTURE.

## DEVELOPMENT TEAM

PLANNER/ LANDSCAPE ARCHITECT:  
**URBAN DESIGN STUDIO**  
610 CLEMATIS STREET, SUITE CU02  
WEST PALM BEACH, FL 33401  
561.366.1100

SURVEYOR:  
**WALLACE SURVEYING, CORP.**  
5553 VILLAGE BOULEVARD  
WEST PALM BEACH, FLORIDA 33407  
561.640.4551

ARCHITECT:  
**ARCADIS PROFESSIONAL SERVICES, INC.**  
7000 NORTH FEDERAL HIGHWAY  
BOCA RATON, FLORIDA 33487  
561.300.3277

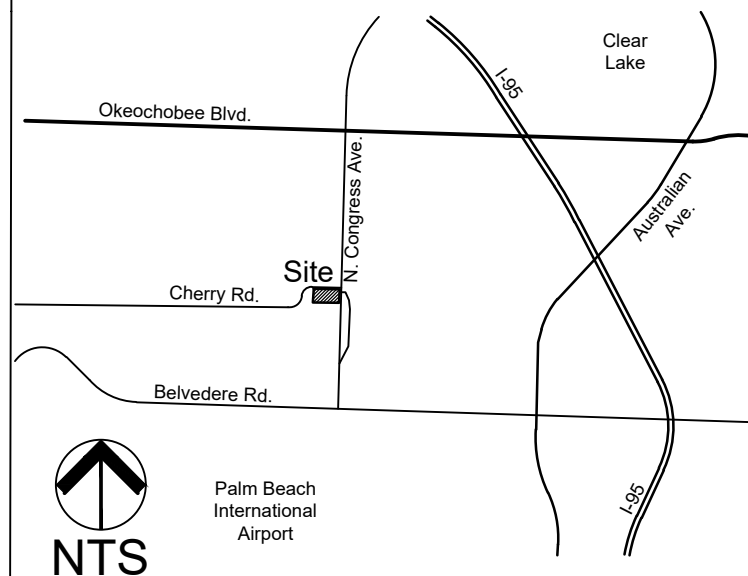
CIVIL ENGINEER:  
**BOHLER ENGINEERING**  
1900 NW CORPORATE BLVD., SUITE 101E  
BOCA RATON, FL 33431  
561.571.0280

TRAFFIC ENGINEER:  
**JMD ENGINEERING, INC.**  
12773 FOREST HILL BLVD., SUITE 204  
WELLINGTON, FL 33414  
561.379.5178

## LEGEND

- PRIMARY PEDESTRIAN ENTRANCE
- DECORATIVE PAVING
- FOUNDATION PLANTING
- LAKE MAINTENANCE
- EASEMENT
- POINT OF SERVICE
- OIL GREASE INTERCEPTOR
- OIL SAND SEPARATOR
- RIGHT OF WAY
- SIDEWALK
- LOADING SPACE
- ENCLOSED DUMPSTER/ RECYCLING COMPACTOR, TYP.
- FOUNDATION PLANTING AREA
- GENERATOR

## LOCATION MAP:



## Amendment Stamp:

## Zoning Stamp:



APPENDIX C  
WESTGATE TCEA MAP

# MAP TE 15.4

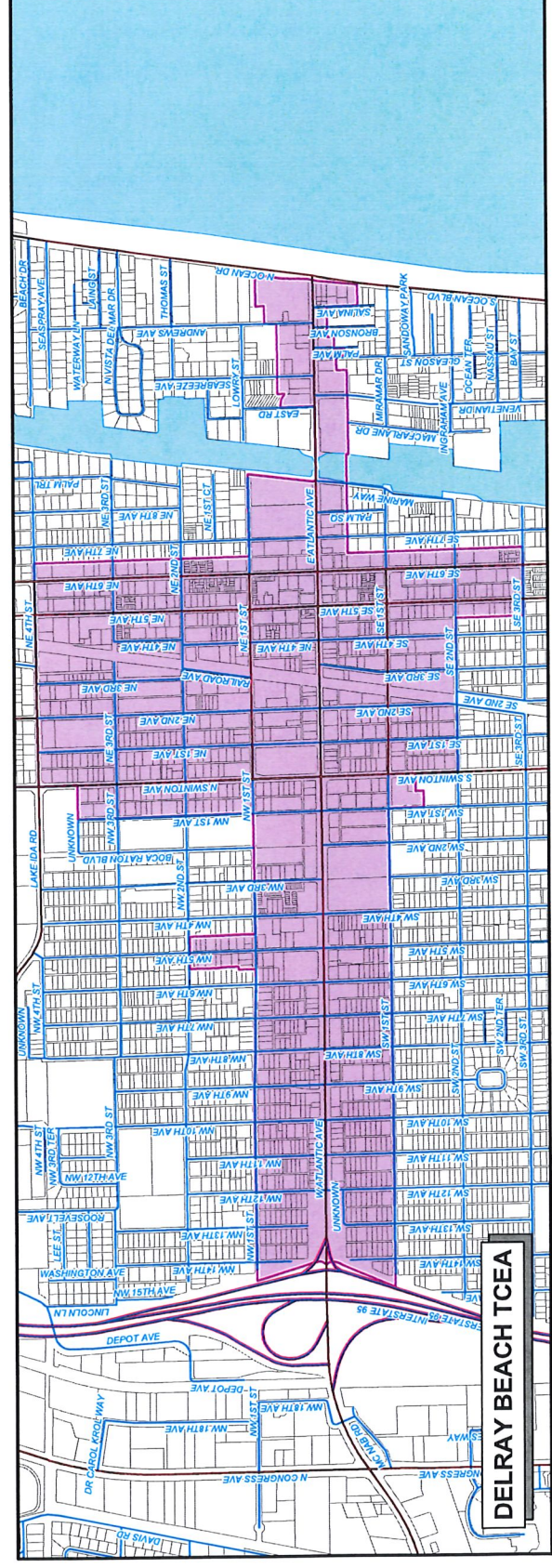
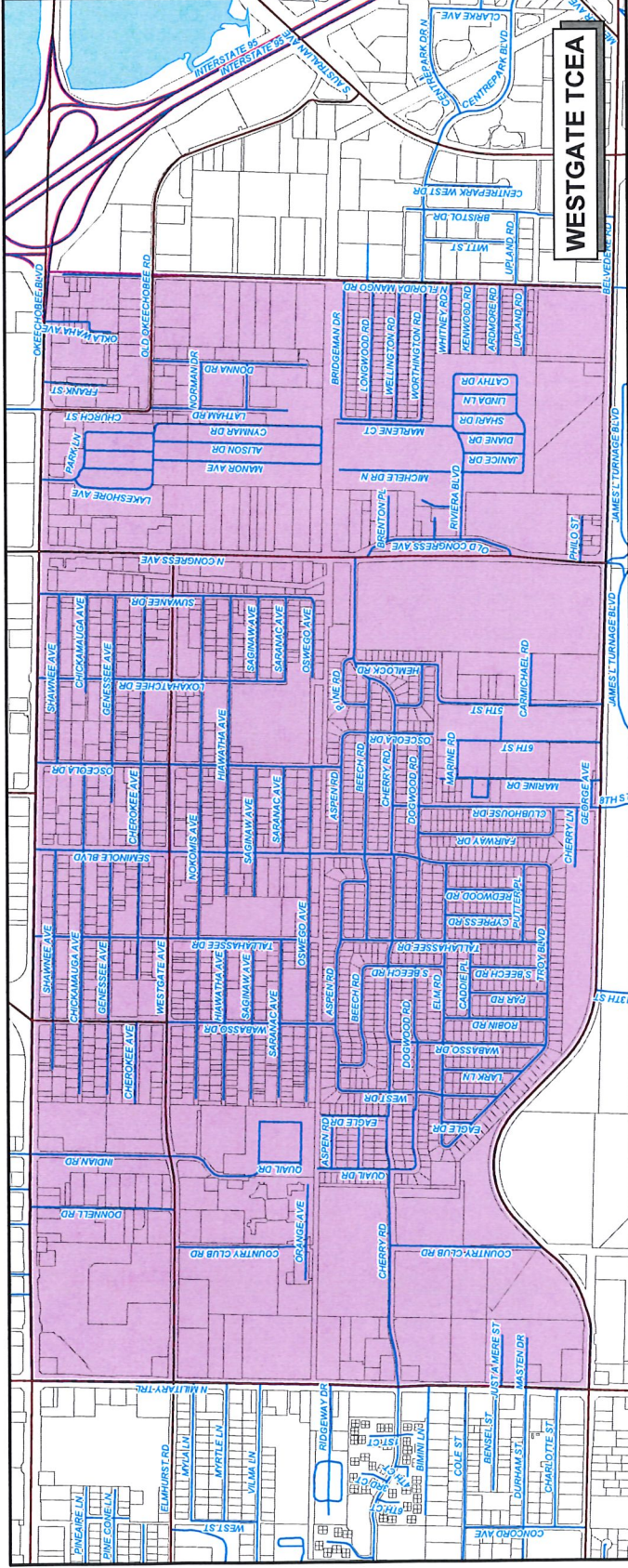
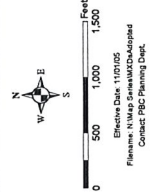
## TRAFFIC CONCURRENCY EXCEPTION AREAS (TCEA's) DETAILS 3

- Traffic Concurrence Exception Areas (TCEA's) \*
- Interstate 95
- Florida's Turnpike
- Major Roads
- Minor Roads

\* For Further Details Upon These Features, Please Refer To The Transportation Element Of The Comprehensive Plan  
SOURCES: PBC Planning Division  
Last Amended In Round 05-1 by Ord. 2005-023



## PALM BEACH COUNTY COMPREHENSIVE PLAN MAP SERIES



## APPENDIX D

# TRIP GENERATION TECHNICAL MEMORANDUM



JMD ENGINEERING, INC.

**GENERATION RATE TECHNICAL  
MEMORANDUM**

**PALM BEACH KENNEL CLUB**

**PCN**

**00-43-43-30-00-000-5190**

**PALM BEACH COUNTY, FLORIDA**

**TP-23-63**

**February 24, 2024**

**© JMD ENGINEERING, INC.**

Certificate of Authorization  
Number 00009514

---

**John M. Donaldson, P.E.**  
**Florida Registration Number 40568**



## ***INTRODUCTION***

Palm Beach Kennel Club (PBKC) is proposing to relocate its operations to a new facility at the southwest corner of Cherry Road and Congress Avenue. There is currently no trip generation provided in the ITE Trip Generation Handbook, 11<sup>th</sup> Edition for this type of use. While there are ITE rates for entertainment uses such as Casino, Bingo Hall, Dog Track and Horse Track that might be considered a similar generator, the applicant has an existing facility in operation at 1111 Congress Avenue in Palm Beach County and determining trip generation from that location would be the appropriate. As such, we have performed a trip generation study at the existing site. As a result, this Generation Rate Technical Memorandum (“Memorandum”) for AM peak hour, PM peak hour, and Daily trip generation rates is provided for use in the TPS traffic submittal.

## ***METHODOLOGY***

While several independent variables (square footage, seats, attendees) can be used as a basis for determining trip generation rates, given the site operations as a gaming facility with ancillary office, dog kennels, and restaurant space and the resources available, we determined “trips per seat of gaming” or “trips per 1,000 gross square feet” were the most appropriate for purposes of this analysis and memorandum. As such, we will provide trip generation rates for each of the variables, and the highest traffic-generating variable will be utilized.

## ***TRAFFIC COUNTS***

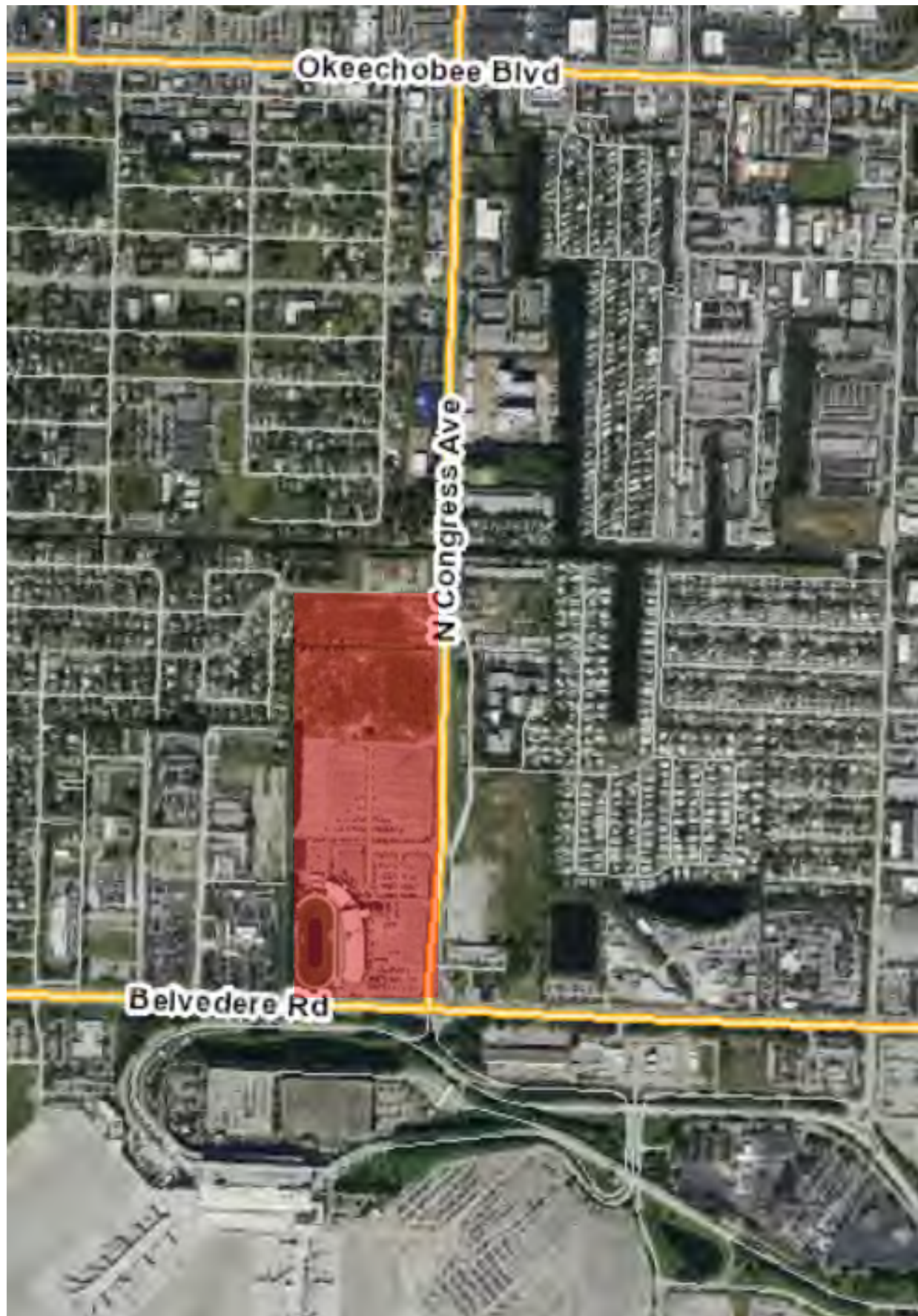
Traffic count data was collected from Tuesday, January 9, 2024, through Monday, January 15, 2024. This seven-day, 24-hour count was conducted with mechanical counters placed on each of the driveways to the subject site. The counts were analyzed for peak AM (6-9), peak PM (4-6), and 24-hour totals for the entire week (Monday thru Sunday). The resulting totals for each day are shown in Table 1.

<b>TABLE 1</b> <b>PBKC TRAFFIC COUNT DATA JANUARY, 2024</b>							
DAY OF WEEK	AM PEAK HOUR			AM PEAK HOUR			24-HOUR
	IN	OUT	TOTAL	IN	OUT	TOTAL	TOTAL
MONDAY	20	17	37	71	108	179	1839
TUESDAY	31	14	45	60	97	157	1579
WEDNESDAY	27	21	48	87	141	228	2290
THURSDAY	30	43	73	89	176	265	2404
<b>FRIDAY</b>	<b>57</b>	<b>18</b>	<b>75</b>	<b>137</b>	<b>190</b>	<b>327</b>	<b>3726</b>
SATURDAY	53	19	72	97	186	283	3009
SUNDAY	11	12	23	72	162	234	2016

Based on the counts, the maximum volumes were observed on Friday for AM, PM and Daily (24-hour). Given the uses involved and the location of the facility, these driveway counts are considered the “net” external trip with no additional internal capture occurring and no pass-by rates applied.

### ***STUDY AREA***

As previously mentioned, the existing PBKC operation was chosen to its unique characteristics as an existing facility. Please see Figure 1 for a location.



 SITE

**PBKC  
FIGURE 1  
PROJECT LOCATION MAP**

## ***TRIP GENERATION***

The existing PBKC operation has multiple land uses within its 93,450 square feet of building area. There is a 2,500 square foot kennel, 2,093 square feet of executive offices, 34,040 square feet of quality restaurant (with 735 seats) and 567 poker seats and 1,089 other gaming seats (parimutuel, simulcast, etc.) all of which were in operation at the time of the driveway counts.

The proposed relocated PBKC facility is scaled down in size. There are 21,992 square feet of office and accessory uses, 913 gaming seats, a 4,939 square foot restaurant (with 108 seats) and the 5,272 square foot dog kennel.

As previously mentioned, there are multiple independent variables for determining trip generation and given the site operating characteristics and the independent variables utilized by similar types uses in ITE, the generation rate will be based on gaming seats and gross square footage.

Now that the underlying existing uses have been counted and the existing gaming seats data has been obtained, the trip generation for this unique existing use can be calculated. Table 2 shows the calculations used to determine the PBKC trip generation rates based on seats and Table 3 shows the calculations used to determine the PBKC trip generation rates based on gross square footage.



TABLE 2

PBKC TRIP GENERATION CALCULATIONS PER SEAT (1,656 SEATS)							
	AM PEAK HOUR			PM PEAK HOUR			24 HOUR
	IN	OUT	TOTAL	IN	OUT	TOTAL	TOTAL
MAX COUNT OBSERVED	57	18	75	137	190	327	3972
TRIPS/SEAT	0.04	0.02	0.06	0.09	0.12	0.21	2.4
	76%	24%		42%	58%		

TABLE 32

PBKC TRIP GENERATION CALCULATIONS PER 1,000 SQUARE FEET (93,450 SQUARE FEET)							
	AM PEAK HOUR			PM PEAK HOUR			24 HOUR
	IN	OUT	TOTAL	IN	OUT	TOTAL	TOTAL
MAX COUNT OBSERVED	57	18	75	137	190	327	3972
TRIPS/SEAT	0.61	0.2	0.81	1.47	2.04	3.51	42.51
	76%	24%		42%	58%		

## CONCLUSION

After reviewing the Palm Beach County TPS and ITE Trip Generation, 11<sup>th</sup> Edition, it was determined that no trip generation rate for the PBKC gaming facility was appropriate. By utilizing a seven day, 24 hour a day count program we were able to develop trip generation rates for the PBKC gaming facility for based on both seats and gross square footage.

**24 HOUR COUNT BREAKDOWN BY DRIVEWAY**

<b>TOTAL</b>	<b>VALET LOT</b>	<b>NORTH DW</b>	<b>MAIN DW</b>	<b>SOUTH LOT</b>	<b>EMPLOYEES</b>
<b>1987</b>	<b>298</b>	<b>585</b>	<b>679</b>	<b>129</b>	<b>296</b>
<b>1710</b>	<b>223</b>	<b>501</b>	<b>597</b>	<b>127</b>	<b>262</b>
<b>2458</b>	<b>422</b>	<b>714</b>	<b>815</b>	<b>162</b>	<b>345</b>
<b>2585</b>	<b>372</b>	<b>752</b>	<b>943</b>	<b>156</b>	<b>362</b>
<b>3972</b>	<b>612</b>	<b>1202</b>	<b>1429</b>	<b>237</b>	<b>492</b>
<b>3421</b>	<b>484</b>	<b>1062</b>	<b>1255</b>	<b>208</b>	<b>412</b>
<b>2331</b>	<b>322</b>	<b>753</b>	<b>813</b>	<b>128</b>	<b>315</b>

	AM															
	NORTH		MAIN		SOUTH		SOUTH		TOTAL		IN		SOUTH		TOTAL	
	IN	OUT	IN	OUT	TOTAL	IN	OUT	TOTAL	IN	OUT	IN	OUT	IN	OUT	TOTAL	TOTAL
MONDAY	4	2	14	6	20	0	3	3	2	6	2	6	20	17	37	
TUESDAY	4	2	23	2	25	0	4	4	4	6	4	6	10	14	45	
WEDNESDAY	4	2	19	8	27	0	4	4	4	7	4	7	11	21	48	
THURSDAY	3	1	23	29	52	0	5	5	4	8	4	8	12	43	73	
FRIDAY	10	0	40	8	48	0	2	2	7	8	7	8	15	18	75	
SATURDAY	5	2	43	11	54	0	1	1	5	5	5	5	10	19	72	
SUNDAY	3	2	6	1	7	0	3	3	2	6	2	6	8	12	23	

	PM															
	NORTH		MAIN		SOUTH		SOUTH		TOTAL		IN		SOUTH		TOTAL	
	IN	OUT	IN	OUT	TOTAL	IN	OUT	TOTAL	IN	OUT	IN	OUT	IN	OUT	TOTAL	TOTAL
MONDAY	11	17	48	63	111	0	18	18	12	10	12	10	71	108	179	
TUESDAY	9	15	38	52	90	0	19	19	13	11	13	11	60	97	157	
WEDNESDAY	15	21	56	84	140	0	22	22	16	14	16	14	87	141	228	
THURSDAY	17	23	57	118	175	0	22	22	15	13	15	13	89	176	265	
FRIDAY	24	34	89	113	202	0	28	28	24	15	24	15	137	190	327	
SATURDAY	15	33	67	118	185	0	23	23	15	12	15	12	97	186	283	
SUNDAY	12	39	49	99	148	0	16	16	11	8	11	8	72	162	234	







## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	1	0	1
00:30 - 00:44	1	0	1
00:45 - 00:59	5	0	5
01:00 - 01:14	2	0	2
01:15 - 01:29	2	0	2
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	2	0	2
02:15 - 02:29	2	0	2
02:30 - 02:44	0	0	0
02:45 - 02:59	1	0	1
03:00 - 03:14	4	0	4
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	2	0	2
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	1	1	2
06:45 - 06:59	0	0	0
07:00 - 07:14	1	0	1
07:15 - 07:29	1	0	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	2	2
08:45 - 08:59	1	0	1
09:00 - 09:14	2	0	2
09:15 - 09:29	0	0	0
09:30 - 09:44	1	0	1
09:45 - 09:59	0	0	0
10:00 - 10:14	2	0	2
10:15 - 10:29	2	0	2
10:30 - 10:44	0	0	0
10:45 - 10:59	1	0	1
11:00 - 11:14	1	0	1
11:15 - 11:29	1	1	2
11:30 - 11:44	1	0	1
11:45 - 11:59	0	0	0
12:00 - 12:14	0	0	0
12:15 - 12:29	0	1	1
12:30 - 12:44	0	0	0
12:45 - 12:59	2	1	3

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	2	0	2
13:15 - 13:29	0	0	0
13:30 - 13:44	0	1	1
13:45 - 13:59	1	0	1
14:00 - 14:14	2	0	2
14:15 - 14:29	1	3	4
14:30 - 14:44	0	1	1
14:45 - 14:59	1	0	1
15:00 - 15:14	0	1	1
15:15 - 15:29	1	0	1
15:30 - 15:44	3	0	3
15:45 - 15:59	0	0	0
16:00 - 16:14	8	0	8
16:15 - 16:29	3	0	3
16:30 - 16:44	5	0	5
16:45 - 16:59	3	0	3
17:00 - 17:14	3	0	3
17:15 - 17:29	2	0	2
17:30 - 17:44	1	0	1
17:45 - 17:59	3	0	3
18:00 - 18:14	1	0	1
18:15 - 18:29	1	0	1
18:30 - 18:44	1	0	1
18:45 - 18:59	4	0	4
19:00 - 19:14	2	0	2
19:15 - 19:29	1	0	1
19:30 - 19:44	1	0	1
19:45 - 19:59	1	0	1
20:00 - 20:14	0	0	0
20:15 - 20:29	2	0	2
20:30 - 20:44	2	0	2
20:45 - 20:59	0	1	1
21:00 - 21:14	1	1	2
21:15 - 21:29	3	0	3
21:30 - 21:44	0	0	0
21:45 - 21:59	3	0	3
22:00 - 22:14	1	0	1
22:15 - 22:29	2	0	2
22:30 - 22:44	1	0	1
22:45 - 22:59	1	0	1
23:00 - 23:14	2	0	2
23:15 - 23:29	1	0	1
23:30 - 23:44	1	0	1
23:45 - 23:59	2	0	2
Totals	113	14	127
AM Peak Time	00:07 - 01:06	07:38 - 08:37	00:07 - 01:06
AM Peak Volume	10	2	10
PM Peak Time	16:00 - 16:59	14:09 - 15:08	16:00 - 16:59
PM Peak Volume	19	5	19

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/09/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	4	0	4
00:45 - 00:59	2	0	2
01:00 - 01:14	2	0	2
01:15 - 01:29	2	0	2
01:30 - 01:44	0	0	0
01:45 - 01:59	1	0	1
02:00 - 02:14	3	0	3
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	0	0	0
03:00 - 03:14	3	0	3
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	1	2
07:15 - 07:29	1	0	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	1	0	1
08:30 - 08:44	0	0	0
08:45 - 08:59	2	1	3
09:00 - 09:14	0	0	0
09:15 - 09:29	0	0	0
09:30 - 09:44	1	0	1
09:45 - 09:59	2	0	2
10:00 - 10:14	0	0	0
10:15 - 10:29	0	0	0
10:30 - 10:44	0	1	1
10:45 - 10:59	0	0	0
11:00 - 11:14	0	0	0
11:15 - 11:29	1	0	1
11:30 - 11:44	2	1	3
11:45 - 11:59	0	0	0
12:00 - 12:14	1	0	1
12:15 - 12:29	2	0	2
12:30 - 12:44	1	1	2
12:45 - 12:59	3	0	3



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	3	0	3
13:15 - 13:29	0	0	0
13:30 - 13:44	1	0	1
13:45 - 13:59	0	0	0
14:00 - 14:14	5	0	5
14:15 - 14:29	1	0	1
14:30 - 14:44	1	0	1
14:45 - 14:59	0	1	1
15:00 - 15:14	4	0	4
15:15 - 15:29	2	0	2
15:30 - 15:44	1	0	1
15:45 - 15:59	3	0	3
16:00 - 16:14	6	0	6
16:15 - 16:29	4	0	4
16:30 - 16:44	4	0	4
16:45 - 16:59	3	0	3
17:00 - 17:14	6	0	6
17:15 - 17:29	9	0	9
17:30 - 17:44	3	0	3
17:45 - 17:59	4	0	4
18:00 - 18:14	5	0	5
18:15 - 18:29	5	0	5
18:30 - 18:44	4	0	4
18:45 - 18:59	2	0	2
19:00 - 19:14	3	0	3
19:15 - 19:29	3	0	3
19:30 - 19:44	2	1	3
19:45 - 19:59	1	0	1
20:00 - 20:14	3	0	3
20:15 - 20:29	2	0	2
20:30 - 20:44	1	0	1
20:45 - 20:59	0	0	0
21:00 - 21:14	1	0	1
21:15 - 21:29	2	0	2
21:30 - 21:44	3	0	3
21:45 - 21:59	2	0	2
22:00 - 22:14	3	0	3
22:15 - 22:29	7	0	7
22:30 - 22:44	1	0	1
22:45 - 22:59	0	0	0
23:00 - 23:14	3	0	3
23:15 - 23:29	2	0	2
23:30 - 23:44	1	0	1
23:45 - 23:59	3	0	3
Totals	155	7	162
AM Peak Time	00:26 - 01:25	10:33 - 11:32	00:26 - 01:25
AM Peak Volume	10	2	10
PM Peak Time	16:49 - 17:48	12:00 - 12:59	16:49 - 17:48
PM Peak Volume	23	1	23

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/10/2024  
Unit ID: MAINE  
Location: Palm Beach Kennel Club Exit from South Parking Lot  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	4	0	4
00:15 - 00:29	2	0	2
00:30 - 00:44	1	0	1
00:45 - 00:59	1	0	1
01:00 - 01:14	3	0	3
01:15 - 01:29	0	0	0
01:30 - 01:44	0	0	0
01:45 - 01:59	1	0	1
02:00 - 02:14	2	0	2
02:15 - 02:29	1	0	1
02:30 - 02:44	0	0	0
02:45 - 02:59	0	0	0
03:00 - 03:14	3	1	4
03:15 - 03:29	1	0	1
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	1	0	1
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	2	1	3
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	1	0	1
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	4	0	4
09:00 - 09:14	1	0	1
09:15 - 09:29	0	0	0
09:30 - 09:44	0	0	0
09:45 - 09:59	0	0	0
10:00 - 10:14	2	0	2
10:15 - 10:29	1	0	1
10:30 - 10:44	1	0	1
10:45 - 10:59	0	1	1
11:00 - 11:14	0	0	0
11:15 - 11:29	0	0	0
11:30 - 11:44	1	0	1
11:45 - 11:59	0	0	0
12:00 - 12:14	1	0	1
12:15 - 12:29	1	0	1
12:30 - 12:44	1	0	1
12:45 - 12:59	1	1	2

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	1	0	1
13:15 - 13:29	2	0	2
13:30 - 13:44	1	0	1
13:45 - 13:59	0	0	0
14:00 - 14:14	4	0	4
14:15 - 14:29	2	0	2
14:30 - 14:44	1	0	1
14:45 - 14:59	2	0	2
15:00 - 15:14	3	0	3
15:15 - 15:29	2	0	2
15:30 - 15:44	1	0	1
15:45 - 15:59	4	0	4
16:00 - 16:14	5	0	5
16:15 - 16:29	3	0	3
16:30 - 16:44	7	0	7
16:45 - 16:59	3	0	3
17:00 - 17:14	8	0	8
17:15 - 17:29	3	1	4
17:30 - 17:44	3	0	3
17:45 - 17:59	5	1	6
18:00 - 18:14	6	0	6
18:15 - 18:29	5	0	5
18:30 - 18:44	0	0	0
18:45 - 18:59	3	0	3
19:00 - 19:14	5	0	5
19:15 - 19:29	4	0	4
19:30 - 19:44	3	0	3
19:45 - 19:59	1	0	1
20:00 - 20:14	1	0	1
20:15 - 20:29	0	0	0
20:30 - 20:44	3	0	3
20:45 - 20:59	0	0	0
21:00 - 21:14	0	0	0
21:15 - 21:29	2	0	2
21:30 - 21:44	0	0	0
21:45 - 21:59	0	0	0
22:00 - 22:14	6	0	6
22:15 - 22:29	1	0	1
22:30 - 22:44	4	0	4
22:45 - 22:59	1	0	1
23:00 - 23:14	1	0	1
23:15 - 23:29	3	0	3
23:30 - 23:44	1	0	1
23:45 - 23:59	0	1	1
Totals	149	7	156
AM Peak Time	00:00 - 00:59	02:13 - 03:12	00:00 - 00:59
AM Peak Volume	8	1	8
PM Peak Time	16:10 - 17:09	16:56 - 17:55	16:10 - 17:09
PM Peak Volume	24	2	24



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/11/2024  
Unit ID: MAINE  
Location: Palm Beach Kennel Club Exit from South Parking Lot  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	2	0	2
00:15 - 00:29	0	0	0
00:30 - 00:44	2	1	3
00:45 - 00:59	4	0	4
01:00 - 01:14	2	0	2
01:15 - 01:29	0	1	1
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	2	0	2
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	2	0	2
03:00 - 03:14	1	1	2
03:15 - 03:29	4	0	4
03:30 - 03:44	0	0	0
03:45 - 03:59	1	0	1
04:00 - 04:14	1	0	1
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	1	0	1
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	1	1
08:15 - 08:29	0	0	0
08:30 - 08:44	0	1	1
08:45 - 08:59	0	0	0
09:00 - 09:14	5	0	5
09:15 - 09:29	0	0	0
09:30 - 09:44	0	1	1
09:45 - 09:59	2	0	2
10:00 - 10:14	2	0	2
10:15 - 10:29	2	0	2
10:30 - 10:44	1	0	1
10:45 - 10:59	2	0	2
11:00 - 11:14	0	0	0
11:15 - 11:29	1	0	1
11:30 - 11:44	0	0	0
11:45 - 11:59	4	0	4
12:00 - 12:14	1	0	1
12:15 - 12:29	1	0	1
12:30 - 12:44	0	0	0
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	1	0	1
13:15 - 13:29	0	0	0
13:30 - 13:44	0	0	0
13:45 - 13:59	0	0	0
14:00 - 14:14	3	0	3
14:15 - 14:29	2	0	2
14:30 - 14:44	6	0	6
14:45 - 14:59	3	0	3
15:00 - 15:14	4	0	4
15:15 - 15:29	3	1	4
15:30 - 15:44	4	0	4
15:45 - 15:59	3	0	3
16:00 - 16:14	13	0	13
16:15 - 16:29	4	1	5
16:30 - 16:44	6	0	6
16:45 - 16:59	3	1	4
17:00 - 17:14	3	0	3
17:15 - 17:29	5	0	5
17:30 - 17:44	5	0	5
17:45 - 17:59	6	0	6
18:00 - 18:14	5	0	5
18:15 - 18:29	11	0	11
18:30 - 18:44	5	0	5
18:45 - 18:59	2	0	2
19:00 - 19:14	1	0	1
19:15 - 19:29	4	0	4
19:30 - 19:44	12	0	12
19:45 - 19:59	3	0	3
20:00 - 20:14	7	0	7
20:15 - 20:29	2	1	3
20:30 - 20:44	4	0	4
20:45 - 20:59	0	0	0
21:00 - 21:14	5	0	5
21:15 - 21:29	4	0	4
21:30 - 21:44	3	0	3
21:45 - 21:59	2	0	2
22:00 - 22:14	9	1	10
22:15 - 22:29	10	2	12
22:30 - 22:44	5	0	5
22:45 - 22:59	1	0	1
23:00 - 23:14	4	0	4
23:15 - 23:29	1	0	1
23:30 - 23:44	4	0	4
23:45 - 23:59	1	0	1
Totals	224	13	237
AM Peak Time	00:13 - 01:12	00:21 - 01:20	00:13 - 01:12
AM Peak Volume	9	2	10
PM Peak Time	17:36 - 18:35	21:26 - 22:25	17:36 - 18:35
PM Peak Volume	30	3	30

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Friday, 01/12/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	3	0	3
00:30 - 00:44	0	0	0
00:45 - 00:59	3	0	3
01:00 - 01:14	2	0	2
01:15 - 01:29	3	0	3
01:30 - 01:44	5	0	5
01:45 - 01:59	1	0	1
02:00 - 02:14	2	0	2
02:15 - 02:29	2	0	2
02:30 - 02:44	2	0	2
02:45 - 02:59	2	0	2
03:00 - 03:14	3	1	4
03:15 - 03:29	3	0	3
03:30 - 03:44	0	0	0
03:45 - 03:59	1	0	1
04:00 - 04:14	1	0	1
04:15 - 04:29	2	0	2
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	4	0	4
05:15 - 05:29	3	0	3
05:30 - 05:44	1	1	2
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	1	1
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	0	0	0
09:00 - 09:14	0	0	0
09:15 - 09:29	1	0	1
09:30 - 09:44	0	0	0
09:45 - 09:59	3	0	3
10:00 - 10:14	2	1	3
10:15 - 10:29	1	0	1
10:30 - 10:44	1	1	2
10:45 - 10:59	0	0	0
11:00 - 11:14	0	0	0
11:15 - 11:29	1	0	1
11:30 - 11:44	0	0	0
11:45 - 11:59	1	0	1
12:00 - 12:14	2	1	3
12:15 - 12:29	3	0	3
12:30 - 12:44	0	0	0
12:45 - 12:59	0	0	0

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	3	0	3
13:15 - 13:29	2	0	2
13:30 - 13:44	0	0	0
13:45 - 13:59	1	0	1
14:00 - 14:14	2	0	2
14:15 - 14:29	0	0	0
14:30 - 14:44	1	1	2
14:45 - 14:59	2	0	2
15:00 - 15:14	2	0	2
15:15 - 15:29	1	0	1
15:30 - 15:44	4	1	5
15:45 - 15:59	4	1	5
16:00 - 16:14	6	0	6
16:15 - 16:29	3	0	3
16:30 - 16:44	4	0	4
16:45 - 16:59	3	0	3
17:00 - 17:14	7	0	7
17:15 - 17:29	5	0	5
17:30 - 17:44	5	0	5
17:45 - 17:59	6	0	6
18:00 - 18:14	4	0	4
18:15 - 18:29	5	1	6
18:30 - 18:44	2	0	2
18:45 - 18:59	5	0	5
19:00 - 19:14	4	0	4
19:15 - 19:29	3	0	3
19:30 - 19:44	1	0	1
19:45 - 19:59	3	0	3
20:00 - 20:14	2	0	2
20:15 - 20:29	2	0	2
20:30 - 20:44	2	0	2
20:45 - 20:59	3	0	3
21:00 - 21:14	6	1	7
21:15 - 21:29	5	0	5
21:30 - 21:44	6	0	6
21:45 - 21:59	6	0	6
22:00 - 22:14	4	0	4
22:15 - 22:29	3	0	3
22:30 - 22:44	3	1	4
22:45 - 22:59	1	1	2
23:00 - 23:14	1	0	1
23:15 - 23:29	0	0	0
23:30 - 23:44	4	0	4
23:45 - 23:59	0	0	0
Totals	195	13	208
AM Peak Time	00:44 - 01:43	09:35 - 10:34	00:44 - 01:43
AM Peak Volume	13	2	13
PM Peak Time	21:05 - 22:04	14:36 - 15:35	21:05 - 22:04
PM Peak Volume	25	2	25

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Saturday, 01/13/2024  
Unit ID: MAINE  
Location: Palm Beach Kennel Club Exit from South Parking Lot  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	3	0	3
00:30 - 00:44	2	0	2
00:45 - 00:59	6	0	6
01:00 - 01:14	3	0	3
01:15 - 01:29	1	0	1
01:30 - 01:44	1	0	1
01:45 - 01:59	1	0	1
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	1	0	1
02:45 - 02:59	3	1	4
03:00 - 03:14	3	1	4
03:15 - 03:29	6	0	6
03:30 - 03:44	1	0	1
03:45 - 03:59	1	0	1
04:00 - 04:14	0	0	0
04:15 - 04:29	2	0	2
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	3	0	3
05:15 - 05:29	4	0	4
05:30 - 05:44	1	0	1
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	1	0	1
08:30 - 08:44	1	0	1
08:45 - 08:59	1	0	1
09:00 - 09:14	2	0	2
09:15 - 09:29	0	0	0
09:30 - 09:44	0	0	0
09:45 - 09:59	1	0	1
10:00 - 10:14	1	1	2
10:15 - 10:29	1	0	1
10:30 - 10:44	2	0	2
10:45 - 10:59	0	0	0
11:00 - 11:14	2	0	2
11:15 - 11:29	0	0	0
11:30 - 11:44	0	0	0
11:45 - 11:59	1	0	1
12:00 - 12:14	0	1	1
12:15 - 12:29	0	0	0
12:30 - 12:44	0	0	0
12:45 - 12:59	1	0	1



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	1	0	1
13:15 - 13:29	0	0	0
13:30 - 13:44	2	0	2
13:45 - 13:59	0	0	0
14:00 - 14:14	1	0	1
14:15 - 14:29	0	0	0
14:30 - 14:44	1	0	1
14:45 - 14:59	1	0	1
15:00 - 15:14	0	0	0
15:15 - 15:29	1	0	1
15:30 - 15:44	0	0	0
15:45 - 15:59	1	0	1
16:00 - 16:14	1	0	1
16:15 - 16:29	1	0	1
16:30 - 16:44	3	0	3
16:45 - 16:59	2	1	3
17:00 - 17:14	6	0	6
17:15 - 17:29	1	0	1
17:30 - 17:44	6	0	6
17:45 - 17:59	3	0	3
18:00 - 18:14	4	0	4
18:15 - 18:29	3	0	3
18:30 - 18:44	1	0	1
18:45 - 18:59	1	0	1
19:00 - 19:14	9	0	9
19:15 - 19:29	1	0	1
19:30 - 19:44	1	0	1
19:45 - 19:59	0	0	0
20:00 - 20:14	2	0	2
20:15 - 20:29	0	0	0
20:30 - 20:44	4	0	4
20:45 - 20:59	1	0	1
21:00 - 21:14	2	0	2
21:15 - 21:29	1	0	1
21:30 - 21:44	0	0	0
21:45 - 21:59	0	0	0
22:00 - 22:14	0	0	0
22:15 - 22:29	0	0	0
22:30 - 22:44	0	0	0
22:45 - 22:59	1	0	1
23:00 - 23:14	1	0	1
23:15 - 23:29	1	0	1
23:30 - 23:44	1	0	1
23:45 - 23:59	0	0	0
Totals	123	5	128
AM Peak Time	00:07 - 01:06	02:12 - 03:11	02:31 - 03:30
AM Peak Volume	14	2	16
PM Peak Time	16:59 - 17:58	12:00 - 12:59	16:42 - 17:41
PM Peak Volume	16	1	16

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Sunday, 01/14/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc. Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	0	0	0
00:30 - 00:44	2	0	2
00:45 - 00:59	2	0	2
01:00 - 01:14	3	0	3
01:15 - 01:29	0	0	0
01:30 - 01:44	1	0	1
01:45 - 01:59	1	0	1
02:00 - 02:14	2	0	2
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	1	0	1
03:00 - 03:14	8	1	9
03:15 - 03:29	2	0	2
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	1	1	2
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	3	0	3
09:00 - 09:14	1	0	1
09:15 - 09:29	1	0	1
09:30 - 09:44	2	0	2
09:45 - 09:59	0	0	0
10:00 - 10:14	2	0	2
10:15 - 10:29	1	0	1
10:30 - 10:44	1	0	1
10:45 - 10:59	1	0	1
11:00 - 11:14	0	0	0
11:15 - 11:29	1	0	1
11:30 - 11:44	0	0	0
11:45 - 11:59	0	0	0
12:00 - 12:14	1	0	1
12:15 - 12:29	0	0	0
12:30 - 12:44	0	0	0
12:45 - 12:59	0	1	1

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	2	0	2
13:15 - 13:29	0	0	0
13:30 - 13:44	1	0	1
13:45 - 13:59	1	0	1
14:00 - 14:14	0	1	1
14:15 - 14:29	1	0	1
14:30 - 14:44	1	0	1
14:45 - 14:59	1	0	1
15:00 - 15:14	1	0	1
15:15 - 15:29	2	1	3
15:30 - 15:44	1	0	1
15:45 - 15:59	2	0	2
16:00 - 16:14	7	0	7
16:15 - 16:29	2	0	2
16:30 - 16:44	4	0	4
16:45 - 16:59	5	0	5
17:00 - 17:14	2	0	2
17:15 - 17:29	1	0	1
17:30 - 17:44	4	1	5
17:45 - 17:59	2	0	2
18:00 - 18:14	4	0	4
18:15 - 18:29	5	0	5
18:30 - 18:44	1	0	1
18:45 - 18:59	1	0	1
19:00 - 19:14	3	0	3
19:15 - 19:29	2	0	2
19:30 - 19:44	0	1	1
19:45 - 19:59	3	0	3
20:00 - 20:14	2	0	2
20:15 - 20:29	4	0	4
20:30 - 20:44	3	0	3
20:45 - 20:59	0	0	0
21:00 - 21:14	0	0	0
21:15 - 21:29	2	0	2
21:30 - 21:44	4	0	4
21:45 - 21:59	1	0	1
22:00 - 22:14	2	0	2
22:15 - 22:29	1	0	1
22:30 - 22:44	0	0	0
22:45 - 22:59	3	0	3
23:00 - 23:14	0	0	0
23:15 - 23:29	0	0	0
23:30 - 23:44	0	0	0
23:45 - 23:59	2	0	2
Totals	122	7	129
AM Peak Time	02:18 - 03:17	02:12 - 03:11	02:18 - 03:17
AM Peak Volume	11	1	12
PM Peak Time	15:55 - 16:54	12:00 - 12:59	15:55 - 16:54
PM Peak Volume	19	1	19



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Monday, 01/15/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc. Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	1	0	1
00:30 - 00:44	2	0	2
00:45 - 00:59	0	0	0
01:00 - 01:14	3	0	3
01:15 - 01:29	3	0	3
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	1	0	1
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	2	0	2
03:00 - 03:14	5	0	5
03:15 - 03:29	1	0	1
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	2	2
07:45 - 07:59	3	0	3
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	1	0	1
09:00 - 09:14	0	0	0
09:15 - 09:29	2	0	2
09:30 - 09:44	1	1	2
09:45 - 09:59	1	0	1
10:00 - 10:14	0	0	0
10:15 - 10:29	0	0	0
10:30 - 10:44	0	0	0
10:45 - 10:59	0	0	0
11:00 - 11:14	1	0	1
11:15 - 11:29	0	0	0
11:30 - 11:44	2	0	2
11:45 - 11:59	0	0	0
12:00 - 12:14	0	0	0
12:15 - 12:29	1	0	1
12:30 - 12:44	1	0	1
12:45 - 12:59	0	0	0

## All Traffic Data Services, Inc. Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	7	0	7
13:15 - 13:29	2	0	2
13:30 - 13:44	2	1	3
13:45 - 13:59	1	0	1
14:00 - 14:14	0	0	0
14:15 - 14:29	0	0	0
14:30 - 14:44	0	0	0
14:45 - 14:59	0	0	0
15:00 - 15:14	1	0	1
15:15 - 15:29	0	0	0
15:30 - 15:44	3	0	3
15:45 - 15:59	3	0	3
16:00 - 16:14	6	0	6
16:15 - 16:29	3	0	3
16:30 - 16:44	2	0	2
16:45 - 16:59	1	0	1
17:00 - 17:14	2	0	2
17:15 - 17:29	5	0	5
17:30 - 17:44	2	1	3
17:45 - 17:59	2	0	2
18:00 - 18:14	2	1	3
18:15 - 18:29	3	0	3
18:30 - 18:44	1	0	1
18:45 - 18:59	2	1	3
19:00 - 19:14	2	0	2
19:15 - 19:29	3	0	3
19:30 - 19:44	2	0	2
19:45 - 19:59	1	0	1
20:00 - 20:14	0	0	0
20:15 - 20:29	2	0	2
20:30 - 20:44	1	0	1
20:45 - 20:59	1	0	1
21:00 - 21:14	2	0	2
21:15 - 21:29	1	0	1
21:30 - 21:44	2	1	3
21:45 - 21:59	0	0	0
22:00 - 22:14	2	0	2
22:15 - 22:29	1	0	1
22:30 - 22:44	2	0	2
22:45 - 22:59	1	0	1
23:00 - 23:14	3	0	3
23:15 - 23:29	3	0	3
23:30 - 23:44	2	0	2
23:45 - 23:59	2	0	2
Totals	115	8	123
AM Peak Time	00:29 - 01:28	06:40 - 07:39	00:29 - 01:28
AM Peak Volume	8	2	8
PM Peak Time	15:33 - 16:32	17:09 - 18:08	15:33 - 16:32
PM Peak Volume	17	2	17

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/16/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	1	0	1
00:30 - 00:44	0	0	0
00:45 - 00:59	6	0	6
01:00 - 01:14	4	0	4
01:15 - 01:29	0	0	0
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	1	0	1
02:15 - 02:29	1	0	1
02:30 - 02:44	0	0	0
02:45 - 02:59	0	0	0
03:00 - 03:14	4	0	4
03:15 - 03:29	1	0	1
03:30 - 03:44	2	0	2
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	1	0	1
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	0	1
07:15 - 07:29	0	1	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	0	0	0
09:00 - 09:14	0	0	0
09:15 - 09:29	1	0	1
09:30 - 09:44	1	0	1
09:45 - 09:59	0	0	0
10:00 - 10:14	1	0	1
10:15 - 10:29	1	0	1
10:30 - 10:44	0	0	0
10:45 - 10:59	1	1	2
11:00 - 11:14	1	0	1
11:15 - 11:29	1	0	1
11:30 - 11:44	0	0	0
11:45 - 11:59	0	0	0
12:00 - 12:14	2	0	2
12:15 - 12:29	1	0	1
12:30 - 12:44	0	0	0
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	3	0	3
13:15 - 13:29	0	0	0
13:30 - 13:44	1	0	1
13:45 - 13:59	0	0	0
14:00 - 14:14	1	0	1
14:15 - 14:29	0	0	0
14:30 - 14:44	1	0	1
14:45 - 14:59	1	1	2
15:00 - 15:14	1	0	1
15:15 - 15:29	1	0	1
15:30 - 15:44	0	0	0
15:45 - 15:59	1	0	1
16:00 - 16:14	3	0	3
16:15 - 16:29	7	0	7
16:30 - 16:44	5	0	5
16:45 - 16:59	6	0	6
17:00 - 17:14	7	0	7
17:15 - 17:29	5	0	5
17:30 - 17:44	2	0	2
17:45 - 17:59	4	0	4
18:00 - 18:14	2	0	2
18:15 - 18:29	5	0	5
18:30 - 18:44	1	1	2
18:45 - 18:59	3	0	3
19:00 - 19:14	6	0	6
19:15 - 19:29	4	0	4
19:30 - 19:44	5	0	5
19:45 - 19:59	2	1	3
20:00 - 20:14	4	0	4
20:15 - 20:29	1	0	1
20:30 - 20:44	4	0	4
20:45 - 20:59	0	0	0
21:00 - 21:14	3	0	3
21:15 - 21:29	3	1	4
21:30 - 21:44	2	0	2
21:45 - 21:59	3	0	3
22:00 - 22:14	4	0	4
22:15 - 22:29	0	0	0
22:30 - 22:44	3	0	3
22:45 - 22:59	0	0	0
23:00 - 23:14	2	0	2
23:15 - 23:29	0	0	0
23:30 - 23:44	3	0	3
23:45 - 23:59	4	0	4
Totals	147	6	153
AM Peak Time	00:15 - 01:14	06:18 - 07:17	00:15 - 01:14
AM Peak Volume	11	1	11
PM Peak Time	16:12 - 17:11	13:48 - 14:47	16:12 - 17:11
PM Peak Volume	26	1	26

## **All Traffic Data Services, Inc.**

# **Daily Vehicle Volume Report**

Study Date: Wednesday, 01/17/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc. Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	4	1	5
00:30 - 00:44	3	0	3
00:45 - 00:59	2	0	2
01:00 - 01:14	1	0	1
01:15 - 01:29	2	0	2
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	0	0	0
02:15 - 02:29	1	0	1
02:30 - 02:44	1	0	1
02:45 - 02:59	0	0	0
03:00 - 03:14	4	1	5
03:15 - 03:29	0	0	0
03:30 - 03:44	2	0	2
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	1	0	1
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	1	0	1
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	1	2
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	3	0	3
09:00 - 09:14	1	0	1
09:15 - 09:29	0	0	0
09:30 - 09:44	0	1	1
09:45 - 09:59	1	0	1
10:00 - 10:14	3	0	3
10:15 - 10:29	0	0	0
10:30 - 10:44	0	1	1
10:45 - 10:59	0	0	0
11:00 - 11:14	1	0	1
11:15 - 11:29	0	0	0
11:30 - 11:44	1	0	1
11:45 - 11:59	1	0	1
12:00 - 12:14	2	0	2
12:15 - 12:29	3	1	4
12:30 - 12:44	1	0	1
12:45 - 12:59	0	0	0



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: MAINE

Location: Palm Beach Kennel Club Exit from South Parking Lot

Comments: West Palm Beach, Florida

	Northbound Volume	Southbound Volume	Total Volume
13:00 - 13:14	1	0	1
13:15 - 13:29	0	0	0
13:30 - 13:44	3	0	3
13:45 - 13:59	4	0	4
14:00 - 14:14	4	0	4
14:15 - 14:29	2	1	3
14:30 - 14:44	1	0	1
14:45 - 14:59	2	0	2
15:00 - 15:14	3	0	3
15:15 - 15:29	3	0	3
15:30 - 15:44	2	1	3
15:45 - 15:59	5	1	6
16:00 - 16:14	3	0	3
16:15 - 16:29	6	0	6
16:30 - 16:44	2	0	2
16:45 - 16:59	4	0	4
17:00 - 17:14	9	0	9
17:15 - 17:29	7	0	7
17:30 - 17:44	6	0	6
17:45 - 17:59	3	0	3
18:00 - 18:14	10	1	11
18:15 - 18:29	6	1	7
18:30 - 18:44	2	1	3
18:45 - 18:59	3	0	3
19:00 - 19:14	5	0	5
19:15 - 19:29	4	1	5
19:30 - 19:44	1	0	1
19:45 - 19:59	2	0	2
20:00 - 20:14	3	0	3
20:15 - 20:29	1	0	1
20:30 - 20:44	1	0	1
20:45 - 20:59	0	0	0
21:00 - 21:14	3	0	3
21:15 - 21:29	0	0	0
21:30 - 21:44	1	0	1
21:45 - 21:59	1	0	1
22:00 - 22:14	7	1	8
22:15 - 22:29	0	0	0
22:30 - 22:44	0	0	0
22:45 - 22:59	2	0	2
23:00 - 23:14	2	0	2
23:15 - 23:29	4	0	4
23:30 - 23:44	1	0	1
23:45 - 23:59	1	0	1
Totals	172	14	186
AM Peak Time	00:18 - 01:17	00:00 - 00:59	00:18 - 01:17
AM Peak Volume	12	1	13
PM Peak Time	16:42 - 17:41	17:41 - 18:40	17:32 - 18:31
PM Peak Volume	27	3	28

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/18/2024  
Unit ID: MAINE  
Location: Palm Beach Kennel Club Exit from South Parking Lot  
Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	5
00:15 - 00:29	3
00:30 - 00:44	2
00:45 - 00:59	1
01:00 - 01:14	3
01:15 - 01:29	1
01:30 - 01:44	1
01:45 - 01:59	1
02:00 - 02:14	0
02:15 - 02:29	3
02:30 - 02:44	0
02:45 - 02:59	3
03:00 - 03:14	3
03:15 - 03:29	0
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	1
04:45 - 04:59	2
05:00 - 05:14	1
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	1
06:15 - 06:29	1
06:30 - 06:44	2
06:45 - 06:59	0
07:00 - 07:14	3
07:15 - 07:29	6
07:30 - 07:44	2
07:45 - 07:59	1
08:00 - 08:14	6
08:15 - 08:29	7
08:30 - 08:44	3
08:45 - 08:59	7
09:00 - 09:14	7
09:15 - 09:29	8
09:30 - 09:44	8
09:45 - 09:59	9
10:00 - 10:14	6
10:15 - 10:29	7
10:30 - 10:44	12
10:45 - 10:59	13
11:00 - 11:14	14
11:15 - 11:29	17
11:30 - 11:44	14
11:45 - 11:59	11
12:00 - 12:14	11
12:15 - 12:29	11
12:30 - 12:44	11
12:45 - 12:59	13

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	13
13:15 - 13:29	8
13:30 - 13:44	14
13:45 - 13:59	8
14:00 - 14:14	12
14:15 - 14:29	11
14:30 - 14:44	12
14:45 - 14:59	8
15:00 - 15:14	14
15:15 - 15:29	7
15:30 - 15:44	10
15:45 - 15:59	8
16:00 - 16:14	7
16:15 - 16:29	5
16:30 - 16:44	2
16:45 - 16:59	9
17:00 - 17:14	7
17:15 - 17:29	11
17:30 - 17:44	11
17:45 - 17:59	11
18:00 - 18:14	16
18:15 - 18:29	13
18:30 - 18:44	8
18:45 - 18:59	10
19:00 - 19:14	11
19:15 - 19:29	10
19:30 - 19:44	9
19:45 - 19:59	7
20:00 - 20:14	7
20:15 - 20:29	4
20:30 - 20:44	8
20:45 - 20:59	4
21:00 - 21:14	6
21:15 - 21:29	9
21:30 - 21:44	9
21:45 - 21:59	9
22:00 - 22:14	4
22:15 - 22:29	9
22:30 - 22:44	5
22:45 - 22:59	1
23:00 - 23:14	0
23:15 - 23:29	3
23:30 - 23:44	3
23:45 - 23:59	3
Totals	597
AM Peak Time	10:37 - 11:36
AM Peak Volume	61
PM Peak Time	17:34 - 18:33
PM Peak Volume	56



## **All Traffic Data Services, Inc.**

### **Daily Vehicle Volume Report**

Study Date: Tuesday, 01/09/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	1
00:15 - 00:29	3
00:30 - 00:44	2
00:45 - 00:59	0
01:00 - 01:14	2
01:15 - 01:29	1
01:30 - 01:44	0
01:45 - 01:59	0
02:00 - 02:14	1
02:15 - 02:29	0
02:30 - 02:44	4
02:45 - 02:59	3
03:00 - 03:14	0
03:15 - 03:29	0
03:30 - 03:44	1
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	1
04:45 - 04:59	0
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	1
06:15 - 06:29	1
06:30 - 06:44	1
06:45 - 06:59	0
07:00 - 07:14	2
07:15 - 07:29	5
07:30 - 07:44	4
07:45 - 07:59	2
08:00 - 08:14	6
08:15 - 08:29	3
08:30 - 08:44	3
08:45 - 08:59	7
09:00 - 09:14	9
09:15 - 09:29	10
09:30 - 09:44	11
09:45 - 09:59	13
10:00 - 10:14	7
10:15 - 10:29	8
10:30 - 10:44	9
10:45 - 10:59	19
11:00 - 11:14	19
11:15 - 11:29	22
11:30 - 11:44	22
11:45 - 11:59	30
12:00 - 12:14	24
12:15 - 12:29	21
12:30 - 12:44	23
12:45 - 12:59	20

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	17
13:15 - 13:29	18
13:30 - 13:44	23
13:45 - 13:59	15
14:00 - 14:14	10
14:15 - 14:29	19
14:30 - 14:44	13
14:45 - 14:59	10
15:00 - 15:14	14
15:15 - 15:29	13
15:30 - 15:44	10
15:45 - 15:59	16
16:00 - 16:14	18
16:15 - 16:29	12
16:30 - 16:44	13
16:45 - 16:59	12
17:00 - 17:14	15
17:15 - 17:29	16
17:30 - 17:44	8
17:45 - 17:59	20
18:00 - 18:14	17
18:15 - 18:29	12
18:30 - 18:44	16
18:45 - 18:59	19
19:00 - 19:14	15
19:15 - 19:29	17
19:30 - 19:44	10
19:45 - 19:59	9
20:00 - 20:14	8
20:15 - 20:29	8
20:30 - 20:44	8
20:45 - 20:59	9
21:00 - 21:14	3
21:15 - 21:29	6
21:30 - 21:44	6
21:45 - 21:59	6
22:00 - 22:14	3
22:15 - 22:29	3
22:30 - 22:44	2
22:45 - 22:59	6
23:00 - 23:14	8
23:15 - 23:29	5
23:30 - 23:44	4
23:45 - 23:59	2
Totals	815
AM Peak Time	10:55 - 11:54
AM Peak Volume	98
PM Peak Time	12:03 - 13:02
PM Peak Volume	93

## **All Traffic Data Services, Inc.**

### **Daily Vehicle Volume Report**

Study Date: Wednesday, 01/10/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	1
00:15 - 00:29	4
00:30 - 00:44	1
00:45 - 00:59	1
01:00 - 01:14	2
01:15 - 01:29	2
01:30 - 01:44	1
01:45 - 01:59	2
02:00 - 02:14	0
02:15 - 02:29	0
02:30 - 02:44	0
02:45 - 02:59	1
03:00 - 03:14	0
03:15 - 03:29	0
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	1
04:30 - 04:44	0
04:45 - 04:59	1
05:00 - 05:14	0
05:15 - 05:29	1
05:30 - 05:44	1
05:45 - 05:59	1
06:00 - 06:14	3
06:15 - 06:29	1
06:30 - 06:44	5
06:45 - 06:59	15
07:00 - 07:14	10
07:15 - 07:29	4
07:30 - 07:44	2
07:45 - 07:59	4
08:00 - 08:14	3
08:15 - 08:29	4
08:30 - 08:44	7
08:45 - 08:59	9
09:00 - 09:14	5
09:15 - 09:29	10
09:30 - 09:44	3
09:45 - 09:59	10
10:00 - 10:14	15
10:15 - 10:29	4
10:30 - 10:44	5
10:45 - 10:59	16
11:00 - 11:14	23
11:15 - 11:29	22
11:30 - 11:44	28
11:45 - 11:59	27
12:00 - 12:14	30
12:15 - 12:29	33
12:30 - 12:44	32
12:45 - 12:59	22

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	22
13:15 - 13:29	19
13:30 - 13:44	20
13:45 - 13:59	17
14:00 - 14:14	21
14:15 - 14:29	20
14:30 - 14:44	12
14:45 - 14:59	21
15:00 - 15:14	18
15:15 - 15:29	18
15:30 - 15:44	15
15:45 - 15:59	19
16:00 - 16:14	13
16:15 - 16:29	12
16:30 - 16:44	15
16:45 - 16:59	11
17:00 - 17:14	19
17:15 - 17:29	20
17:30 - 17:44	16
17:45 - 17:59	19
18:00 - 18:14	16
18:15 - 18:29	15
18:30 - 18:44	19
18:45 - 18:59	12
19:00 - 19:14	15
19:15 - 19:29	15
19:30 - 19:44	10
19:45 - 19:59	7
20:00 - 20:14	14
20:15 - 20:29	7
20:30 - 20:44	11
20:45 - 20:59	6
21:00 - 21:14	7
21:15 - 21:29	6
21:30 - 21:44	12
21:45 - 21:59	5
22:00 - 22:14	9
22:15 - 22:29	10
22:30 - 22:44	6
22:45 - 22:59	5
23:00 - 23:14	6
23:15 - 23:29	5
23:30 - 23:44	3
23:45 - 23:59	3
Totals	943
AM Peak Time	11:00 - 11:59
AM Peak Volume	100
PM Peak Time	12:03 - 13:02
PM Peak Volume	118

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/11/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	5
00:15 - 00:29	2
00:30 - 00:44	3
00:45 - 00:59	2
01:00 - 01:14	1
01:15 - 01:29	2
01:30 - 01:44	4
01:45 - 01:59	0
02:00 - 02:14	1
02:15 - 02:29	0
02:30 - 02:44	1
02:45 - 02:59	1
03:00 - 03:14	1
03:15 - 03:29	0
03:30 - 03:44	1
03:45 - 03:59	2
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	2
04:45 - 04:59	0
05:00 - 05:14	1
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	1
06:00 - 06:14	1
06:15 - 06:29	1
06:30 - 06:44	0
06:45 - 06:59	2
07:00 - 07:14	4
07:15 - 07:29	3
07:30 - 07:44	2
07:45 - 07:59	4
08:00 - 08:14	9
08:15 - 08:29	7
08:30 - 08:44	13
08:45 - 08:59	11
09:00 - 09:14	8
09:15 - 09:29	9
09:30 - 09:44	18
09:45 - 09:59	17
10:00 - 10:14	17
10:15 - 10:29	19
10:30 - 10:44	24
10:45 - 10:59	32
11:00 - 11:14	42
11:15 - 11:29	36
11:30 - 11:44	31
11:45 - 11:59	48
12:00 - 12:14	41
12:15 - 12:29	43
12:30 - 12:44	39
12:45 - 12:59	38



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	22
13:15 - 13:29	36
13:30 - 13:44	13
13:45 - 13:59	23
14:00 - 14:14	27
14:15 - 14:29	14
14:30 - 14:44	19
14:45 - 14:59	24
15:00 - 15:14	19
15:15 - 15:29	19
15:30 - 15:44	27
15:45 - 15:59	17
16:00 - 16:14	18
16:15 - 16:29	22
16:30 - 16:44	24
16:45 - 16:59	25
17:00 - 17:14	23
17:15 - 17:29	18
17:30 - 17:44	21
17:45 - 17:59	21
18:00 - 18:14	29
18:15 - 18:29	49
18:30 - 18:44	41
18:45 - 18:59	28
19:00 - 19:14	28
19:15 - 19:29	37
19:30 - 19:44	31
19:45 - 19:59	28
20:00 - 20:14	15
20:15 - 20:29	19
20:30 - 20:44	15
20:45 - 20:59	12
21:00 - 21:14	8
21:15 - 21:29	12
21:30 - 21:44	10
21:45 - 21:59	4
22:00 - 22:14	17
22:15 - 22:29	17
22:30 - 22:44	7
22:45 - 22:59	10
23:00 - 23:14	12
23:15 - 23:29	6
23:30 - 23:44	7
23:45 - 23:59	6
Totals	1429
AM Peak Time	10:58 - 11:57
AM Peak Volume	159
PM Peak Time	12:02 - 13:01
PM Peak Volume	165

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Friday, 01/12/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	3
00:15 - 00:29	6
00:30 - 00:44	5
00:45 - 00:59	2
01:00 - 01:14	1
01:15 - 01:29	3
01:30 - 01:44	5
01:45 - 01:59	4
02:00 - 02:14	4
02:15 - 02:29	1
02:30 - 02:44	1
02:45 - 02:59	0
03:00 - 03:14	1
03:15 - 03:29	2
03:30 - 03:44	0
03:45 - 03:59	1
04:00 - 04:14	1
04:15 - 04:29	2
04:30 - 04:44	3
04:45 - 04:59	0
05:00 - 05:14	1
05:15 - 05:29	4
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	1
06:45 - 06:59	1
07:00 - 07:14	1
07:15 - 07:29	1
07:30 - 07:44	4
07:45 - 07:59	2
08:00 - 08:14	3
08:15 - 08:29	15
08:30 - 08:44	18
08:45 - 08:59	7
09:00 - 09:14	9
09:15 - 09:29	9
09:30 - 09:44	11
09:45 - 09:59	10
10:00 - 10:14	17
10:15 - 10:29	11
10:30 - 10:44	16
10:45 - 10:59	37
11:00 - 11:14	29
11:15 - 11:29	42
11:30 - 11:44	54
11:45 - 11:59	46
12:00 - 12:14	44
12:15 - 12:29	40
12:30 - 12:44	36
12:45 - 12:59	38

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	29
13:15 - 13:29	20
13:30 - 13:44	19
13:45 - 13:59	30
14:00 - 14:14	21
14:15 - 14:29	23
14:30 - 14:44	18
14:45 - 14:59	21
15:00 - 15:14	16
15:15 - 15:29	23
15:30 - 15:44	25
15:45 - 15:59	8
16:00 - 16:14	20
16:15 - 16:29	17
16:30 - 16:44	16
16:45 - 16:59	14
17:00 - 17:14	17
17:15 - 17:29	11
17:30 - 17:44	18
17:45 - 17:59	24
18:00 - 18:14	20
18:15 - 18:29	18
18:30 - 18:44	18
18:45 - 18:59	18
19:00 - 19:14	20
19:15 - 19:29	14
19:30 - 19:44	15
19:45 - 19:59	24
20:00 - 20:14	17
20:15 - 20:29	12
20:30 - 20:44	15
20:45 - 20:59	10
21:00 - 21:14	15
21:15 - 21:29	12
21:30 - 21:44	5
21:45 - 21:59	7
22:00 - 22:14	10
22:15 - 22:29	14
22:30 - 22:44	4
22:45 - 22:59	11
23:00 - 23:14	9
23:15 - 23:29	13
23:30 - 23:44	5
23:45 - 23:59	7
Totals	1255
AM Peak Time	10:52 - 11:51
AM Peak Volume	174
PM Peak Time	12:00 - 12:59
PM Peak Volume	158



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Saturday, 01/13/2024  
Unit ID: Georgia  
Location: Palm Beach Kennel Club Main Driveway Entering Traffic  
Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	5
00:15 - 00:29	8
00:30 - 00:44	3
00:45 - 00:59	5
01:00 - 01:14	7
01:15 - 01:29	5
01:30 - 01:44	2
01:45 - 01:59	2
02:00 - 02:14	3
02:15 - 02:29	2
02:30 - 02:44	0
02:45 - 02:59	1
03:00 - 03:14	3
03:15 - 03:29	0
03:30 - 03:44	2
03:45 - 03:59	1
04:00 - 04:14	2
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	2
05:00 - 05:14	2
05:15 - 05:29	1
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	1
07:00 - 07:14	1
07:15 - 07:29	2
07:30 - 07:44	2
07:45 - 07:59	1
08:00 - 08:14	2
08:15 - 08:29	1
08:30 - 08:44	1
08:45 - 08:59	2
09:00 - 09:14	3
09:15 - 09:29	5
09:30 - 09:44	7
09:45 - 09:59	5
10:00 - 10:14	10
10:15 - 10:29	6
10:30 - 10:44	16
10:45 - 10:59	17
11:00 - 11:14	15
11:15 - 11:29	18
11:30 - 11:44	35
11:45 - 11:59	26
12:00 - 12:14	36
12:15 - 12:29	32
12:30 - 12:44	32
12:45 - 12:59	35

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	25
13:15 - 13:29	23
13:30 - 13:44	24
13:45 - 13:59	20
14:00 - 14:14	24
14:15 - 14:29	14
14:30 - 14:44	12
14:45 - 14:59	22
15:00 - 15:14	13
15:15 - 15:29	15
15:30 - 15:44	9
15:45 - 15:59	10
16:00 - 16:14	13
16:15 - 16:29	16
16:30 - 16:44	11
16:45 - 16:59	9
17:00 - 17:14	12
17:15 - 17:29	9
17:30 - 17:44	7
17:45 - 17:59	9
18:00 - 18:14	6
18:15 - 18:29	10
18:30 - 18:44	7
18:45 - 18:59	11
19:00 - 19:14	3
19:15 - 19:29	6
19:30 - 19:44	3
19:45 - 19:59	10
20:00 - 20:14	14
20:15 - 20:29	9
20:30 - 20:44	3
20:45 - 20:59	6
21:00 - 21:14	10
21:15 - 21:29	8
21:30 - 21:44	2
21:45 - 21:59	9
22:00 - 22:14	3
22:15 - 22:29	4
22:30 - 22:44	3
22:45 - 22:59	4
23:00 - 23:14	7
23:15 - 23:29	1
23:30 - 23:44	4
23:45 - 23:59	6
Totals	813
AM Peak Time	10:55 - 11:54
AM Peak Volume	95
PM Peak Time	12:00 - 12:59
PM Peak Volume	135

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Sunday, 01/14/2024  
Unit ID: Georgia  
Location: Palm Beach Kennel Club Main Driveway Entering Traffic  
Comments: West Palm Beach, Florida



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	2
00:15 - 00:29	2
00:30 - 00:44	0
00:45 - 00:59	2
01:00 - 01:14	4
01:15 - 01:29	0
01:30 - 01:44	4
01:45 - 01:59	1
02:00 - 02:14	0
02:15 - 02:29	1
02:30 - 02:44	3
02:45 - 02:59	3
03:00 - 03:14	0
03:15 - 03:29	0
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	1
04:45 - 04:59	0
05:00 - 05:14	1
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	1
06:30 - 06:44	1
06:45 - 06:59	0
07:00 - 07:14	2
07:15 - 07:29	3
07:30 - 07:44	1
07:45 - 07:59	6
08:00 - 08:14	1
08:15 - 08:29	3
08:30 - 08:44	4
08:45 - 08:59	5
09:00 - 09:14	2
09:15 - 09:29	12
09:30 - 09:44	12
09:45 - 09:59	11
10:00 - 10:14	11
10:15 - 10:29	7
10:30 - 10:44	9
10:45 - 10:59	10
11:00 - 11:14	20
11:15 - 11:29	15
11:30 - 11:44	16
11:45 - 11:59	14
12:00 - 12:14	16
12:15 - 12:29	19
12:30 - 12:44	24
12:45 - 12:59	16

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	14
13:15 - 13:29	18
13:30 - 13:44	17
13:45 - 13:59	10
14:00 - 14:14	15
14:15 - 14:29	11
14:30 - 14:44	13
14:45 - 14:59	9
15:00 - 15:14	13
15:15 - 15:29	13
15:30 - 15:44	18
15:45 - 15:59	14
16:00 - 16:14	18
16:15 - 16:29	14
16:30 - 16:44	12
16:45 - 16:59	4
17:00 - 17:14	9
17:15 - 17:29	9
17:30 - 17:44	9
17:45 - 17:59	13
18:00 - 18:14	15
18:15 - 18:29	22
18:30 - 18:44	7
18:45 - 18:59	9
19:00 - 19:14	5
19:15 - 19:29	7
19:30 - 19:44	9
19:45 - 19:59	7
20:00 - 20:14	11
20:15 - 20:29	4
20:30 - 20:44	5
20:45 - 20:59	5
21:00 - 21:14	5
21:15 - 21:29	5
21:30 - 21:44	2
21:45 - 21:59	5
22:00 - 22:14	6
22:15 - 22:29	2
22:30 - 22:44	2
22:45 - 22:59	7
23:00 - 23:14	7
23:15 - 23:29	2
23:30 - 23:44	5
23:45 - 23:59	7
Totals	679
AM Peak Time	10:50 - 11:49
AM Peak Volume	68
PM Peak Time	12:10 - 13:09
PM Peak Volume	76

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Monday, 01/15/2024  
Unit ID: Georgia  
Location: Palm Beach Kennel Club Main Driveway Entering Traffic  
Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	2
00:15 - 00:29	1
00:30 - 00:44	0
00:45 - 00:59	1
01:00 - 01:14	3
01:15 - 01:29	2
01:30 - 01:44	1
01:45 - 01:59	0
02:00 - 02:14	0
02:15 - 02:29	0
02:30 - 02:44	0
02:45 - 02:59	1
03:00 - 03:14	2
03:15 - 03:29	1
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	1
04:30 - 04:44	1
04:45 - 04:59	1
05:00 - 05:14	0
05:15 - 05:29	1
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	1
06:15 - 06:29	0
06:30 - 06:44	2
06:45 - 06:59	2
07:00 - 07:14	1
07:15 - 07:29	2
07:30 - 07:44	1
07:45 - 07:59	4
08:00 - 08:14	2
08:15 - 08:29	3
08:30 - 08:44	7
08:45 - 08:59	10
09:00 - 09:14	7
09:15 - 09:29	4
09:30 - 09:44	9
09:45 - 09:59	13
10:00 - 10:14	12
10:15 - 10:29	11
10:30 - 10:44	8
10:45 - 10:59	15
11:00 - 11:14	23
11:15 - 11:29	14
11:30 - 11:44	20
11:45 - 11:59	16
12:00 - 12:14	11
12:15 - 12:29	13
12:30 - 12:44	14
12:45 - 12:59	16



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	11
13:15 - 13:29	6
13:30 - 13:44	12
13:45 - 13:59	10
14:00 - 14:14	10
14:15 - 14:29	6
14:30 - 14:44	3
14:45 - 14:59	9
15:00 - 15:14	10
15:15 - 15:29	7
15:30 - 15:44	12
15:45 - 15:59	13
16:00 - 16:14	7
16:15 - 16:29	4
16:30 - 16:44	11
16:45 - 16:59	5
17:00 - 17:14	7
17:15 - 17:29	9
17:30 - 17:44	8
17:45 - 17:59	12
18:00 - 18:14	18
18:15 - 18:29	13
18:30 - 18:44	1
18:45 - 18:59	11
19:00 - 19:14	9
19:15 - 19:29	10
19:30 - 19:44	8
19:45 - 19:59	7
20:00 - 20:14	14
20:15 - 20:29	4
20:30 - 20:44	6
20:45 - 20:59	6
21:00 - 21:14	7
21:15 - 21:29	8
21:30 - 21:44	6
21:45 - 21:59	4
22:00 - 22:14	6
22:15 - 22:29	4
22:30 - 22:44	4
22:45 - 22:59	1
23:00 - 23:14	3
23:15 - 23:29	5
23:30 - 23:44	5
23:45 - 23:59	2
Totals	593
AM Peak Time	10:52 - 11:51
AM Peak Volume	77
PM Peak Time	12:05 - 13:04
PM Peak Volume	57

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/16/2024  
Unit ID: Georgia  
Location: Palm Beach Kennel Club Main Driveway Entering Traffic  
Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	0
00:15 - 00:29	2
00:30 - 00:44	1
00:45 - 00:59	1
01:00 - 01:14	3
01:15 - 01:29	0
01:30 - 01:44	1
01:45 - 01:59	0
02:00 - 02:14	1
02:15 - 02:29	0
02:30 - 02:44	1
02:45 - 02:59	0
03:00 - 03:14	2
03:15 - 03:29	1
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	1
04:45 - 04:59	0
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	1
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	1
06:45 - 06:59	3
07:00 - 07:14	2
07:15 - 07:29	1
07:30 - 07:44	1
07:45 - 07:59	4
08:00 - 08:14	6
08:15 - 08:29	4
08:30 - 08:44	4
08:45 - 08:59	7
09:00 - 09:14	9
09:15 - 09:29	5
09:30 - 09:44	12
09:45 - 09:59	10
10:00 - 10:14	5
10:15 - 10:29	13
10:30 - 10:44	11
10:45 - 10:59	14
11:00 - 11:14	16
11:15 - 11:29	31
11:30 - 11:44	29
11:45 - 11:59	24
12:00 - 12:14	27
12:15 - 12:29	25
12:30 - 12:44	24
12:45 - 12:59	21

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	22
13:15 - 13:29	17
13:30 - 13:44	18
13:45 - 13:59	15
14:00 - 14:14	11
14:15 - 14:29	24
14:30 - 14:44	17
14:45 - 14:59	17
15:00 - 15:14	11
15:15 - 15:29	16
15:30 - 15:44	11
15:45 - 15:59	12
16:00 - 16:14	16
16:15 - 16:29	10
16:30 - 16:44	8
16:45 - 16:59	6
17:00 - 17:14	15
17:15 - 17:29	10
17:30 - 17:44	13
17:45 - 17:59	19
18:00 - 18:14	9
18:15 - 18:29	17
18:30 - 18:44	22
18:45 - 18:59	18
19:00 - 19:14	10
19:15 - 19:29	10
19:30 - 19:44	6
19:45 - 19:59	9
20:00 - 20:14	13
20:15 - 20:29	5
20:30 - 20:44	7
20:45 - 20:59	10
21:00 - 21:14	6
21:15 - 21:29	4
21:30 - 21:44	3
21:45 - 21:59	7
22:00 - 22:14	4
22:15 - 22:29	5
22:30 - 22:44	5
22:45 - 22:59	3
23:00 - 23:14	5
23:15 - 23:29	3
23:30 - 23:44	1
23:45 - 23:59	1
Totals	795
AM Peak Time	10:54 - 11:53
AM Peak Volume	107
PM Peak Time	12:00 - 12:59
PM Peak Volume	97

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/17/2024  
Unit ID: Georgia  
Location: Palm Beach Kennel Club Main Driveway Entering Traffic  
Comments: West Palm Beach, Florida



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
00:00 - 00:14	4
00:15 - 00:29	2
00:30 - 00:44	3
00:45 - 00:59	2
01:00 - 01:14	2
01:15 - 01:29	0
01:30 - 01:44	0
01:45 - 01:59	1
02:00 - 02:14	1
02:15 - 02:29	1
02:30 - 02:44	0
02:45 - 02:59	1
03:00 - 03:14	0
03:15 - 03:29	0
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	1
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	1
05:00 - 05:14	0
05:15 - 05:29	1
05:30 - 05:44	1
05:45 - 05:59	1
06:00 - 06:14	0
06:15 - 06:29	4
06:30 - 06:44	10
06:45 - 06:59	9
07:00 - 07:14	7
07:15 - 07:29	1
07:30 - 07:44	3
07:45 - 07:59	4
08:00 - 08:14	2
08:15 - 08:29	2
08:30 - 08:44	7
08:45 - 08:59	9
09:00 - 09:14	5
09:15 - 09:29	8
09:30 - 09:44	9
09:45 - 09:59	9
10:00 - 10:14	13
10:15 - 10:29	6
10:30 - 10:44	9
10:45 - 10:59	16
11:00 - 11:14	21
11:15 - 11:29	21
11:30 - 11:44	26
11:45 - 11:59	15
12:00 - 12:14	26
12:15 - 12:29	30
12:30 - 12:44	28
12:45 - 12:59	27

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: Georgia

Location: Palm Beach Kennel Club Main Driveway Entering Traffic

Comments: West Palm Beach, Florida

	Westbound Volume
13:00 - 13:14	30
13:15 - 13:29	15
13:30 - 13:44	27
13:45 - 13:59	18
14:00 - 14:14	16
14:15 - 14:29	13
14:30 - 14:44	15
14:45 - 14:59	15
15:00 - 15:14	14
15:15 - 15:29	17
15:30 - 15:44	12
15:45 - 15:59	15
16:00 - 16:14	13
16:15 - 16:29	14
16:30 - 16:44	21
16:45 - 16:59	22
17:00 - 17:14	8
17:15 - 17:29	20
17:30 - 17:44	37
17:45 - 17:59	38
18:00 - 18:14	47
18:15 - 18:29	43
18:30 - 18:44	27
18:45 - 18:59	21
19:00 - 19:14	14
19:15 - 19:29	15
19:30 - 19:44	9
19:45 - 19:59	6
20:00 - 20:14	19
20:15 - 20:29	12
20:30 - 20:44	10
20:45 - 20:59	12
21:00 - 21:14	8
21:15 - 21:29	6
21:30 - 21:44	10
21:45 - 21:59	7
22:00 - 22:14	13
22:15 - 22:29	4
22:30 - 22:44	10
22:45 - 22:59	5
23:00 - 23:14	7
23:15 - 23:29	2
23:30 - 23:44	3
23:45 - 23:59	6
Totals	1045
AM Peak Time	10:47 - 11:46
AM Peak Volume	87
PM Peak Time	17:27 - 18:26
PM Peak Volume	168

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/18/2024  
Unit ID: Georgia  
Location: Palm Beach Kennel Club Main Driveway Entering Traffic  
Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	10
00:15 - 00:29	8
00:30 - 00:44	5
00:45 - 00:59	2
01:00 - 01:14	8
01:15 - 01:29	5
01:30 - 01:44	2
01:45 - 01:59	0
02:00 - 02:14	2
02:15 - 02:29	3
02:30 - 02:44	1
02:45 - 02:59	9
03:00 - 03:14	2
03:15 - 03:29	1
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	2
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	1
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	1
07:00 - 07:14	1
07:15 - 07:29	2
07:30 - 07:44	1
07:45 - 07:59	0
08:00 - 08:14	0
08:15 - 08:29	0
08:30 - 08:44	1
08:45 - 08:59	1
09:00 - 09:14	0
09:15 - 09:29	4
09:30 - 09:44	3
09:45 - 09:59	2
10:00 - 10:14	2
10:15 - 10:29	1
10:30 - 10:44	1
10:45 - 10:59	3
11:00 - 11:14	4
11:15 - 11:29	6
11:30 - 11:44	4
11:45 - 11:59	6
12:00 - 12:14	6
12:15 - 12:29	9
12:30 - 12:44	6
12:45 - 12:59	9

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	2
13:15 - 13:29	9
13:30 - 13:44	8
13:45 - 13:59	8
14:00 - 14:14	12
14:15 - 14:29	9
14:30 - 14:44	5
14:45 - 14:59	10
15:00 - 15:14	9
15:15 - 15:29	9
15:30 - 15:44	12
15:45 - 15:59	12
16:00 - 16:14	11
16:15 - 16:29	6
16:30 - 16:44	15
16:45 - 16:59	12
17:00 - 17:14	15
17:15 - 17:29	13
17:30 - 17:44	12
17:45 - 17:59	4
18:00 - 18:14	11
18:15 - 18:29	9
18:30 - 18:44	2
18:45 - 18:59	7
19:00 - 19:14	6
19:15 - 19:29	10
19:30 - 19:44	6
19:45 - 19:59	4
20:00 - 20:14	5
20:15 - 20:29	5
20:30 - 20:44	10
20:45 - 20:59	7
21:00 - 21:14	6
21:15 - 21:29	6
21:30 - 21:44	9
21:45 - 21:59	8
22:00 - 22:14	8
22:15 - 22:29	10
22:30 - 22:44	8
22:45 - 22:59	6
23:00 - 23:14	9
23:15 - 23:29	7
23:30 - 23:44	5
23:45 - 23:59	10
Totals	501
AM Peak Time	00:00 - 00:59
AM Peak Volume	25
PM Peak Time	16:32 - 17:31
PM Peak Volume	56



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/09/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	10
00:15 - 00:29	6
00:30 - 00:44	5
00:45 - 00:59	1
01:00 - 01:14	8
01:15 - 01:29	2
01:30 - 01:44	7
01:45 - 01:59	4
02:00 - 02:14	4
02:15 - 02:29	1
02:30 - 02:44	4
02:45 - 02:59	7
03:00 - 03:14	3
03:15 - 03:29	0
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	1
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	1
07:00 - 07:14	1
07:15 - 07:29	1
07:30 - 07:44	1
07:45 - 07:59	1
08:00 - 08:14	2
08:15 - 08:29	0
08:30 - 08:44	2
08:45 - 08:59	4
09:00 - 09:14	1
09:15 - 09:29	0
09:30 - 09:44	0
09:45 - 09:59	5
10:00 - 10:14	1
10:15 - 10:29	0
10:30 - 10:44	2
10:45 - 10:59	4
11:00 - 11:14	3
11:15 - 11:29	3
11:30 - 11:44	6
11:45 - 11:59	12
12:00 - 12:14	9
12:15 - 12:29	9
12:30 - 12:44	6
12:45 - 12:59	13

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	9
13:15 - 13:29	12
13:30 - 13:44	11
13:45 - 13:59	14
14:00 - 14:14	18
14:15 - 14:29	19
14:30 - 14:44	11
14:45 - 14:59	19
15:00 - 15:14	21
15:15 - 15:29	22
15:30 - 15:44	20
15:45 - 15:59	15
16:00 - 16:14	19
16:15 - 16:29	14
16:30 - 16:44	26
16:45 - 16:59	20
17:00 - 17:14	21
17:15 - 17:29	17
17:30 - 17:44	15
17:45 - 17:59	8
18:00 - 18:14	12
18:15 - 18:29	10
18:30 - 18:44	10
18:45 - 18:59	9
19:00 - 19:14	8
19:15 - 19:29	8
19:30 - 19:44	10
19:45 - 19:59	10
20:00 - 20:14	14
20:15 - 20:29	5
20:30 - 20:44	9
20:45 - 20:59	16
21:00 - 21:14	10
21:15 - 21:29	8
21:30 - 21:44	13
21:45 - 21:59	12
22:00 - 22:14	15
22:15 - 22:29	8
22:30 - 22:44	6
22:45 - 22:59	10
23:00 - 23:14	7
23:15 - 23:29	10
23:30 - 23:44	7
23:45 - 23:59	6
Totals	714
AM Peak Time	00:08 - 01:07
AM Peak Volume	25
PM Peak Time	16:29 - 17:28
PM Peak Volume	85

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/10/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	11
00:15 - 00:29	6
00:30 - 00:44	4
00:45 - 00:59	4
01:00 - 01:14	10
01:15 - 01:29	0
01:30 - 01:44	2
01:45 - 01:59	1
02:00 - 02:14	1
02:15 - 02:29	2
02:30 - 02:44	1
02:45 - 02:59	11
03:00 - 03:14	2
03:15 - 03:29	3
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	1
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	1
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	0
07:00 - 07:14	0
07:15 - 07:29	0
07:30 - 07:44	0
07:45 - 07:59	2
08:00 - 08:14	1
08:15 - 08:29	1
08:30 - 08:44	10
08:45 - 08:59	17
09:00 - 09:14	5
09:15 - 09:29	0
09:30 - 09:44	1
09:45 - 09:59	1
10:00 - 10:14	2
10:15 - 10:29	2
10:30 - 10:44	2
10:45 - 10:59	3
11:00 - 11:14	4
11:15 - 11:29	7
11:30 - 11:44	7
11:45 - 11:59	8
12:00 - 12:14	6
12:15 - 12:29	11
12:30 - 12:44	6
12:45 - 12:59	7



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	6
13:15 - 13:29	13
13:30 - 13:44	12
13:45 - 13:59	10
14:00 - 14:14	13
14:15 - 14:29	20
14:30 - 14:44	12
14:45 - 14:59	13
15:00 - 15:14	20
15:15 - 15:29	18
15:30 - 15:44	9
15:45 - 15:59	21
16:00 - 16:14	19
16:15 - 16:29	37
16:30 - 16:44	32
16:45 - 16:59	19
17:00 - 17:14	30
17:15 - 17:29	26
17:30 - 17:44	18
17:45 - 17:59	7
18:00 - 18:14	16
18:15 - 18:29	10
18:30 - 18:44	7
18:45 - 18:59	10
19:00 - 19:14	5
19:15 - 19:29	8
19:30 - 19:44	7
19:45 - 19:59	9
20:00 - 20:14	10
20:15 - 20:29	16
20:30 - 20:44	6
20:45 - 20:59	13
21:00 - 21:14	6
21:15 - 21:29	14
21:30 - 21:44	9
21:45 - 21:59	15
22:00 - 22:14	25
22:15 - 22:29	10
22:30 - 22:44	10
22:45 - 22:59	8
23:00 - 23:14	4
23:15 - 23:29	4
23:30 - 23:44	4
23:45 - 23:59	8
Totals	752
AM Peak Time	08:06 - 09:05
AM Peak Volume	34
PM Peak Time	16:18 - 17:17
PM Peak Volume	120

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/11/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	9
00:15 - 00:29	3
00:30 - 00:44	3
00:45 - 00:59	10
01:00 - 01:14	9
01:15 - 01:29	3
01:30 - 01:44	2
01:45 - 01:59	1
02:00 - 02:14	3
02:15 - 02:29	1
02:30 - 02:44	3
02:45 - 02:59	18
03:00 - 03:14	7
03:15 - 03:29	1
03:30 - 03:44	2
03:45 - 03:59	6
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	1
04:45 - 04:59	0
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	1
06:00 - 06:14	1
06:15 - 06:29	0
06:30 - 06:44	1
06:45 - 06:59	0
07:00 - 07:14	1
07:15 - 07:29	0
07:30 - 07:44	2
07:45 - 07:59	1
08:00 - 08:14	3
08:15 - 08:29	2
08:30 - 08:44	2
08:45 - 08:59	1
09:00 - 09:14	4
09:15 - 09:29	1
09:30 - 09:44	3
09:45 - 09:59	1
10:00 - 10:14	2
10:15 - 10:29	3
10:30 - 10:44	5
10:45 - 10:59	5
11:00 - 11:14	5
11:15 - 11:29	12
11:30 - 11:44	8
11:45 - 11:59	16
12:00 - 12:14	18
12:15 - 12:29	7
12:30 - 12:44	17
12:45 - 12:59	14

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	9
13:15 - 13:29	15
13:30 - 13:44	12
13:45 - 13:59	17
14:00 - 14:14	23
14:15 - 14:29	23
14:30 - 14:44	26
14:45 - 14:59	22
15:00 - 15:14	24
15:15 - 15:29	37
15:30 - 15:44	30
15:45 - 15:59	23
16:00 - 16:14	33
16:15 - 16:29	26
16:30 - 16:44	30
16:45 - 16:59	24
17:00 - 17:14	26
17:15 - 17:29	21
17:30 - 17:44	17
17:45 - 17:59	21
18:00 - 18:14	17
18:15 - 18:29	23
18:30 - 18:44	14
18:45 - 18:59	13
19:00 - 19:14	17
19:15 - 19:29	16
19:30 - 19:44	8
19:45 - 19:59	17
20:00 - 20:14	25
20:15 - 20:29	25
20:30 - 20:44	20
20:45 - 20:59	14
21:00 - 21:14	18
21:15 - 21:29	44
21:30 - 21:44	55
21:45 - 21:59	47
22:00 - 22:14	28
22:15 - 22:29	35
22:30 - 22:44	17
22:45 - 22:59	23
23:00 - 23:14	20
23:15 - 23:29	12
23:30 - 23:44	10
23:45 - 23:59	7
Totals	1202
AM Peak Time	11:00 - 11:59
AM Peak Volume	41
PM Peak Time	21:22 - 22:21
PM Peak Volume	190

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Friday, 01/12/2024  
Unit ID: KENTUCKY  
Location: Palm Beach Kennel Club Main Driveway Exiting Traffic  
Comments: West Palm Beach, Florida



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	15
00:15 - 00:29	14
00:30 - 00:44	16
00:45 - 00:59	11
01:00 - 01:14	12
01:15 - 01:29	13
01:30 - 01:44	10
01:45 - 01:59	4
02:00 - 02:14	7
02:15 - 02:29	5
02:30 - 02:44	8
02:45 - 02:59	3
03:00 - 03:14	6
03:15 - 03:29	10
03:30 - 03:44	2
03:45 - 03:59	1
04:00 - 04:14	2
04:15 - 04:29	4
04:30 - 04:44	2
04:45 - 04:59	10
05:00 - 05:14	6
05:15 - 05:29	3
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	0
07:00 - 07:14	2
07:15 - 07:29	0
07:30 - 07:44	0
07:45 - 07:59	0
08:00 - 08:14	2
08:15 - 08:29	1
08:30 - 08:44	4
08:45 - 08:59	4
09:00 - 09:14	2
09:15 - 09:29	1
09:30 - 09:44	2
09:45 - 09:59	3
10:00 - 10:14	3
10:15 - 10:29	0
10:30 - 10:44	2
10:45 - 10:59	5
11:00 - 11:14	10
11:15 - 11:29	7
11:30 - 11:44	1
11:45 - 11:59	12
12:00 - 12:14	11
12:15 - 12:29	14
12:30 - 12:44	13
12:45 - 12:59	13

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	14
13:15 - 13:29	12
13:30 - 13:44	13
13:45 - 13:59	11
14:00 - 14:14	21
14:15 - 14:29	11
14:30 - 14:44	13
14:45 - 14:59	25
15:00 - 15:14	31
15:15 - 15:29	32
15:30 - 15:44	23
15:45 - 15:59	34
16:00 - 16:14	23
16:15 - 16:29	32
16:30 - 16:44	24
16:45 - 16:59	39
17:00 - 17:14	14
17:15 - 17:29	38
17:30 - 17:44	24
17:45 - 17:59	26
18:00 - 18:14	12
18:15 - 18:29	18
18:30 - 18:44	20
18:45 - 18:59	11
19:00 - 19:14	13
19:15 - 19:29	11
19:30 - 19:44	11
19:45 - 19:59	12
20:00 - 20:14	11
20:15 - 20:29	19
20:30 - 20:44	7
20:45 - 20:59	14
21:00 - 21:14	14
21:15 - 21:29	20
21:30 - 21:44	16
21:45 - 21:59	13
22:00 - 22:14	12
22:15 - 22:29	15
22:30 - 22:44	15
22:45 - 22:59	10
23:00 - 23:14	15
23:15 - 23:29	16
23:30 - 23:44	11
23:45 - 23:59	10
Totals	1062
AM Peak Time	00:01 - 01:00
AM Peak Volume	57
PM Peak Time	15:57 - 16:56
PM Peak Volume	124

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Saturday, 01/13/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	23
00:15 - 00:29	13
00:30 - 00:44	5
00:45 - 00:59	9
01:00 - 01:14	7
01:15 - 01:29	5
01:30 - 01:44	6
01:45 - 01:59	5
02:00 - 02:14	8
02:15 - 02:29	5
02:30 - 02:44	12
02:45 - 02:59	6
03:00 - 03:14	18
03:15 - 03:29	9
03:30 - 03:44	1
03:45 - 03:59	3
04:00 - 04:14	6
04:15 - 04:29	1
04:30 - 04:44	4
04:45 - 04:59	9
05:00 - 05:14	7
05:15 - 05:29	1
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	1
06:45 - 06:59	0
07:00 - 07:14	1
07:15 - 07:29	0
07:30 - 07:44	0
07:45 - 07:59	0
08:00 - 08:14	0
08:15 - 08:29	0
08:30 - 08:44	0
08:45 - 08:59	1
09:00 - 09:14	1
09:15 - 09:29	1
09:30 - 09:44	2
09:45 - 09:59	0
10:00 - 10:14	0
10:15 - 10:29	1
10:30 - 10:44	1
10:45 - 10:59	4
11:00 - 11:14	3
11:15 - 11:29	6
11:30 - 11:44	4
11:45 - 11:59	17
12:00 - 12:14	10
12:15 - 12:29	10
12:30 - 12:44	8
12:45 - 12:59	12

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	10
13:15 - 13:29	9
13:30 - 13:44	7
13:45 - 13:59	10
14:00 - 14:14	16
14:15 - 14:29	8
14:30 - 14:44	9
14:45 - 14:59	15
15:00 - 15:14	22
15:15 - 15:29	21
15:30 - 15:44	16
15:45 - 15:59	25
16:00 - 16:14	20
16:15 - 16:29	21
16:30 - 16:44	25
16:45 - 16:59	33
17:00 - 17:14	16
17:15 - 17:29	12
17:30 - 17:44	20
17:45 - 17:59	19
18:00 - 18:14	12
18:15 - 18:29	7
18:30 - 18:44	11
18:45 - 18:59	10
19:00 - 19:14	8
19:15 - 19:29	9
19:30 - 19:44	2
19:45 - 19:59	7
20:00 - 20:14	9
20:15 - 20:29	9
20:30 - 20:44	7
20:45 - 20:59	11
21:00 - 21:14	4
21:15 - 21:29	8
21:30 - 21:44	3
21:45 - 21:59	5
22:00 - 22:14	6
22:15 - 22:29	6
22:30 - 22:44	8
22:45 - 22:59	6
23:00 - 23:14	6
23:15 - 23:29	7
23:30 - 23:44	6
23:45 - 23:59	6
Totals	753
AM Peak Time	00:01 - 01:00
AM Peak Volume	51
PM Peak Time	15:53 - 16:52
PM Peak Volume	102



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Sunday, 01/14/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	4
00:15 - 00:29	3
00:30 - 00:44	6
00:45 - 00:59	9
01:00 - 01:14	8
01:15 - 01:29	3
01:30 - 01:44	2
01:45 - 01:59	2
02:00 - 02:14	0
02:15 - 02:29	2
02:30 - 02:44	5
02:45 - 02:59	16
03:00 - 03:14	2
03:15 - 03:29	1
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	0
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	1
06:30 - 06:44	0
06:45 - 06:59	0
07:00 - 07:14	0
07:15 - 07:29	0
07:30 - 07:44	0
07:45 - 07:59	1
08:00 - 08:14	1
08:15 - 08:29	2
08:30 - 08:44	2
08:45 - 08:59	1
09:00 - 09:14	2
09:15 - 09:29	0
09:30 - 09:44	3
09:45 - 09:59	3
10:00 - 10:14	2
10:15 - 10:29	0
10:30 - 10:44	4
10:45 - 10:59	3
11:00 - 11:14	3
11:15 - 11:29	2
11:30 - 11:44	3
11:45 - 11:59	4
12:00 - 12:14	3
12:15 - 12:29	7
12:30 - 12:44	5
12:45 - 12:59	8

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	6
13:15 - 13:29	7
13:30 - 13:44	5
13:45 - 13:59	12
14:00 - 14:14	15
14:15 - 14:29	18
14:30 - 14:44	15
14:45 - 14:59	15
15:00 - 15:14	10
15:15 - 15:29	13
15:30 - 15:44	19
15:45 - 15:59	17
16:00 - 16:14	20
16:15 - 16:29	12
16:30 - 16:44	17
16:45 - 16:59	14
17:00 - 17:14	12
17:15 - 17:29	14
17:30 - 17:44	11
17:45 - 17:59	17
18:00 - 18:14	25
18:15 - 18:29	10
18:30 - 18:44	11
18:45 - 18:59	4
19:00 - 19:14	11
19:15 - 19:29	4
19:30 - 19:44	8
19:45 - 19:59	4
20:00 - 20:14	10
20:15 - 20:29	9
20:30 - 20:44	9
20:45 - 20:59	7
21:00 - 21:14	5
21:15 - 21:29	9
21:30 - 21:44	5
21:45 - 21:59	7
22:00 - 22:14	9
22:15 - 22:29	12
22:30 - 22:44	6
22:45 - 22:59	6
23:00 - 23:14	6
23:15 - 23:29	7
23:30 - 23:44	5
23:45 - 23:59	4
Totals	585
AM Peak Time	00:06 - 01:05
AM Peak Volume	27
PM Peak Time	17:08 - 18:07
PM Peak Volume	71

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Monday, 01/15/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	4
00:15 - 00:29	3
00:30 - 00:44	1
00:45 - 00:59	6
01:00 - 01:14	6
01:15 - 01:29	4
01:30 - 01:44	3
01:45 - 01:59	3
02:00 - 02:14	2
02:15 - 02:29	2
02:30 - 02:44	1
02:45 - 02:59	6
03:00 - 03:14	9
03:15 - 03:29	1
03:30 - 03:44	1
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	1
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	1
05:45 - 05:59	0
06:00 - 06:14	1
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	2
07:00 - 07:14	0
07:15 - 07:29	0
07:30 - 07:44	0
07:45 - 07:59	1
08:00 - 08:14	2
08:15 - 08:29	0
08:30 - 08:44	1
08:45 - 08:59	1
09:00 - 09:14	0
09:15 - 09:29	1
09:30 - 09:44	4
09:45 - 09:59	1
10:00 - 10:14	2
10:15 - 10:29	1
10:30 - 10:44	1
10:45 - 10:59	3
11:00 - 11:14	3
11:15 - 11:29	5
11:30 - 11:44	6
11:45 - 11:59	5
12:00 - 12:14	6
12:15 - 12:29	6
12:30 - 12:44	8
12:45 - 12:59	11



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	13
13:15 - 13:29	8
13:30 - 13:44	13
13:45 - 13:59	13
14:00 - 14:14	10
14:15 - 14:29	12
14:30 - 14:44	9
14:45 - 14:59	8
15:00 - 15:14	11
15:15 - 15:29	16
15:30 - 15:44	9
15:45 - 15:59	12
16:00 - 16:14	13
16:15 - 16:29	12
16:30 - 16:44	6
16:45 - 16:59	10
17:00 - 17:14	12
17:15 - 17:29	5
17:30 - 17:44	4
17:45 - 17:59	3
18:00 - 18:14	10
18:15 - 18:29	10
18:30 - 18:44	8
18:45 - 18:59	9
19:00 - 19:14	6
19:15 - 19:29	8
19:30 - 19:44	12
19:45 - 19:59	5
20:00 - 20:14	9
20:15 - 20:29	9
20:30 - 20:44	6
20:45 - 20:59	7
21:00 - 21:14	15
21:15 - 21:29	7
21:30 - 21:44	5
21:45 - 21:59	4
22:00 - 22:14	2
22:15 - 22:29	12
22:30 - 22:44	7
22:45 - 22:59	8
23:00 - 23:14	11
23:15 - 23:29	10
23:30 - 23:44	5
23:45 - 23:59	3
Totals	512
AM Peak Time	02:12 - 03:11
AM Peak Volume	20
PM Peak Time	13:27 - 14:26
PM Peak Volume	52

## **All Traffic Data Services, Inc.**

### **Daily Vehicle Volume Report**

Study Date: Tuesday, 01/16/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	4
00:15 - 00:29	4
00:30 - 00:44	4
00:45 - 00:59	6
01:00 - 01:14	5
01:15 - 01:29	0
01:30 - 01:44	2
01:45 - 01:59	0
02:00 - 02:14	6
02:15 - 02:29	4
02:30 - 02:44	4
02:45 - 02:59	10
03:00 - 03:14	3
03:15 - 03:29	1
03:30 - 03:44	1
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	0
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	0
06:15 - 06:29	0
06:30 - 06:44	1
06:45 - 06:59	0
07:00 - 07:14	0
07:15 - 07:29	1
07:30 - 07:44	2
07:45 - 07:59	0
08:00 - 08:14	2
08:15 - 08:29	1
08:30 - 08:44	3
08:45 - 08:59	0
09:00 - 09:14	4
09:15 - 09:29	1
09:30 - 09:44	1
09:45 - 09:59	0
10:00 - 10:14	1
10:15 - 10:29	0
10:30 - 10:44	0
10:45 - 10:59	5
11:00 - 11:14	7
11:15 - 11:29	7
11:30 - 11:44	10
11:45 - 11:59	7
12:00 - 12:14	8
12:15 - 12:29	9
12:30 - 12:44	10
12:45 - 12:59	14

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	15
13:15 - 13:29	14
13:30 - 13:44	11
13:45 - 13:59	15
14:00 - 14:14	14
14:15 - 14:29	15
14:30 - 14:44	12
14:45 - 14:59	22
15:00 - 15:14	18
15:15 - 15:29	18
15:30 - 15:44	19
15:45 - 15:59	24
16:00 - 16:14	16
16:15 - 16:29	24
16:30 - 16:44	24
16:45 - 16:59	24
17:00 - 17:14	12
17:15 - 17:29	17
17:30 - 17:44	11
17:45 - 17:59	10
18:00 - 18:14	9
18:15 - 18:29	6
18:30 - 18:44	14
18:45 - 18:59	12
19:00 - 19:14	7
19:15 - 19:29	4
19:30 - 19:44	4
19:45 - 19:59	6
20:00 - 20:14	11
20:15 - 20:29	16
20:30 - 20:44	10
20:45 - 20:59	9
21:00 - 21:14	10
21:15 - 21:29	14
21:30 - 21:44	10
21:45 - 21:59	12
22:00 - 22:14	9
22:15 - 22:29	8
22:30 - 22:44	6
22:45 - 22:59	3
23:00 - 23:14	6
23:15 - 23:29	7
23:30 - 23:44	8
23:45 - 23:59	4
Totals	688
AM Peak Time	10:57 - 11:56
AM Peak Volume	32
PM Peak Time	15:55 - 16:54
PM Peak Volume	92

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/17/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
00:00 - 00:14	9
00:15 - 00:29	1
00:30 - 00:44	5
00:45 - 00:59	13
01:00 - 01:14	5
01:15 - 01:29	7
01:30 - 01:44	3
01:45 - 01:59	1
02:00 - 02:14	1
02:15 - 02:29	1
02:30 - 02:44	5
02:45 - 02:59	6
03:00 - 03:14	3
03:15 - 03:29	3
03:30 - 03:44	0
03:45 - 03:59	0
04:00 - 04:14	0
04:15 - 04:29	0
04:30 - 04:44	0
04:45 - 04:59	0
05:00 - 05:14	0
05:15 - 05:29	0
05:30 - 05:44	0
05:45 - 05:59	0
06:00 - 06:14	1
06:15 - 06:29	0
06:30 - 06:44	0
06:45 - 06:59	1
07:00 - 07:14	0
07:15 - 07:29	1
07:30 - 07:44	0
07:45 - 07:59	1
08:00 - 08:14	1
08:15 - 08:29	1
08:30 - 08:44	12
08:45 - 08:59	12
09:00 - 09:14	4
09:15 - 09:29	0
09:30 - 09:44	2
09:45 - 09:59	2
10:00 - 10:14	0
10:15 - 10:29	0
10:30 - 10:44	3
10:45 - 10:59	4
11:00 - 11:14	3
11:15 - 11:29	2
11:30 - 11:44	5
11:45 - 11:59	4
12:00 - 12:14	4
12:15 - 12:29	7
12:30 - 12:44	14
12:45 - 12:59	12

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: KENTUCKY

Location: Palm Beach Kennel Club Main Driveway Exiting Traffic

Comments: West Palm Beach, Florida

	Eastbound Volume
13:00 - 13:14	12
13:15 - 13:29	12
13:30 - 13:44	15
13:45 - 13:59	13
14:00 - 14:14	11
14:15 - 14:29	20
14:30 - 14:44	15
14:45 - 14:59	20
15:00 - 15:14	20
15:15 - 15:29	23
15:30 - 15:44	19
15:45 - 15:59	16
16:00 - 16:14	15
16:15 - 16:29	30
16:30 - 16:44	34
16:45 - 16:59	23
17:00 - 17:14	24
17:15 - 17:29	15
17:30 - 17:44	15
17:45 - 17:59	16
18:00 - 18:14	18
18:15 - 18:29	12
18:30 - 18:44	6
18:45 - 18:59	13
19:00 - 19:14	12
19:15 - 19:29	13
19:30 - 19:44	10
19:45 - 19:59	9
20:00 - 20:14	18
20:15 - 20:29	23
20:30 - 20:44	14
20:45 - 20:59	26
21:00 - 21:14	72
21:15 - 21:29	29
21:30 - 21:44	16
21:45 - 21:59	26
22:00 - 22:14	14
22:15 - 22:29	8
22:30 - 22:44	6
22:45 - 22:59	13
23:00 - 23:14	7
23:15 - 23:29	3
23:30 - 23:44	5
23:45 - 23:59	5
Totals	905
AM Peak Time	00:35 - 01:34
AM Peak Volume	32
PM Peak Time	20:28 - 21:27
PM Peak Volume	147

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/18/2024  
Unit ID: KENTUCKY  
Location: Palm Beach Kennel Club Main Driveway Exiting Traffic  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	4	0	4
00:15 - 00:29	1	0	1
00:30 - 00:44	0	0	0
00:45 - 00:59	1	0	1
01:00 - 01:14	0	0	0
01:15 - 01:29	0	0	0
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	1	0	1
02:45 - 02:59	0	0	0
03:00 - 03:14	0	0	0
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	1	1	2
06:45 - 06:59	0	1	1
07:00 - 07:14	0	1	1
07:15 - 07:29	0	0	0
07:30 - 07:44	0	1	1
07:45 - 07:59	0	1	1
08:00 - 08:14	1	1	2
08:15 - 08:29	0	0	0
08:30 - 08:44	1	1	2
08:45 - 08:59	0	2	2
09:00 - 09:14	0	1	1
09:15 - 09:29	0	3	3
09:30 - 09:44	1	3	4
09:45 - 09:59	0	1	1
10:00 - 10:14	0	2	2
10:15 - 10:29	2	2	4
10:30 - 10:44	0	3	3
10:45 - 10:59	0	5	5
11:00 - 11:14	1	2	3
11:15 - 11:29	1	3	4
11:30 - 11:44	0	4	4
11:45 - 11:59	2	3	5
12:00 - 12:14	3	2	5
12:15 - 12:29	0	3	3
12:30 - 12:44	2	3	5
12:45 - 12:59	0	4	4

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	2	1	3
13:15 - 13:29	2	1	3
13:30 - 13:44	1	1	2
13:45 - 13:59	2	6	8
14:00 - 14:14	3	6	9
14:15 - 14:29	1	2	3
14:30 - 14:44	0	2	2
14:45 - 14:59	3	1	4
15:00 - 15:14	2	1	3
15:15 - 15:29	3	2	5
15:30 - 15:44	3	1	4
15:45 - 15:59	0	1	1
16:00 - 16:14	3	3	6
16:15 - 16:29	3	1	4
16:30 - 16:44	2	4	6
16:45 - 16:59	7	1	8
17:00 - 17:14	3	2	5
17:15 - 17:29	0	2	2
17:30 - 17:44	2	2	4
17:45 - 17:59	1	2	3
18:00 - 18:14	3	3	6
18:15 - 18:29	1	5	6
18:30 - 18:44	0	1	1
18:45 - 18:59	2	3	5
19:00 - 19:14	3	1	4
19:15 - 19:29	0	3	3
19:30 - 19:44	1	1	2
19:45 - 19:59	1	0	1
20:00 - 20:14	0	2	2
20:15 - 20:29	2	1	3
20:30 - 20:44	3	2	5
20:45 - 20:59	1	2	3
21:00 - 21:14	0	0	0
21:15 - 21:29	2	6	8
21:30 - 21:44	2	0	2
21:45 - 21:59	1	1	2
22:00 - 22:14	1	1	2
22:15 - 22:29	0	1	1
22:30 - 22:44	1	0	1
22:45 - 22:59	0	0	0
23:00 - 23:14	1	2	3
23:15 - 23:29	1	0	1
23:30 - 23:44	1	0	1
23:45 - 23:59	0	0	0
Totals	93	130	223
AM Peak Time	00:00 - 00:59	10:44 - 11:43	10:44 - 11:43
AM Peak Volume	6	15	17
PM Peak Time	16:03 - 17:02	13:25 - 14:24	16:03 - 17:02
PM Peak Volume	17	16	25



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/09/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	1	0	1
00:45 - 00:59	0	0	0
01:00 - 01:14	1	0	1
01:15 - 01:29	0	1	1
01:30 - 01:44	2	0	2
01:45 - 01:59	1	0	1
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	0	1	1
02:45 - 02:59	0	0	0
03:00 - 03:14	1	0	1
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	1	1
06:30 - 06:44	0	0	0
06:45 - 06:59	1	1	2
07:00 - 07:14	0	2	2
07:15 - 07:29	1	0	1
07:30 - 07:44	0	1	1
07:45 - 07:59	0	1	1
08:00 - 08:14	0	1	1
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	1	3	4
09:00 - 09:14	1	3	4
09:15 - 09:29	1	0	1
09:30 - 09:44	2	4	6
09:45 - 09:59	0	2	2
10:00 - 10:14	0	4	4
10:15 - 10:29	1	1	2
10:30 - 10:44	0	2	2
10:45 - 10:59	0	6	6
11:00 - 11:14	2	10	12
11:15 - 11:29	3	7	10
11:30 - 11:44	4	10	14
11:45 - 11:59	3	11	14
12:00 - 12:14	5	11	16
12:15 - 12:29	2	6	8
12:30 - 12:44	4	16	20
12:45 - 12:59	5	7	12

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	3	6	9
13:15 - 13:29	1	3	4
13:30 - 13:44	4	9	13
13:45 - 13:59	1	5	6
14:00 - 14:14	5	5	10
14:15 - 14:29	5	1	6
14:30 - 14:44	4	3	7
14:45 - 14:59	4	2	6
15:00 - 15:14	7	1	8
15:15 - 15:29	5	4	9
15:30 - 15:44	1	4	5
15:45 - 15:59	5	4	9
16:00 - 16:14	6	2	8
16:15 - 16:29	8	4	12
16:30 - 16:44	3	4	7
16:45 - 16:59	4	4	8
17:00 - 17:14	6	3	9
17:15 - 17:29	3	2	5
17:30 - 17:44	2	4	6
17:45 - 17:59	2	3	5
18:00 - 18:14	2	5	7
18:15 - 18:29	0	2	2
18:30 - 18:44	3	8	11
18:45 - 18:59	2	7	9
19:00 - 19:14	5	5	10
19:15 - 19:29	2	5	7
19:30 - 19:44	3	7	10
19:45 - 19:59	2	5	7
20:00 - 20:14	3	2	5
20:15 - 20:29	4	0	4
20:30 - 20:44	3	3	6
20:45 - 20:59	0	0	0
21:00 - 21:14	3	0	3
21:15 - 21:29	3	1	4
21:30 - 21:44	1	1	2
21:45 - 21:59	2	0	2
22:00 - 22:14	10	1	11
22:15 - 22:29	1	2	3
22:30 - 22:44	1	0	1
22:45 - 22:59	3	0	3
23:00 - 23:14	1	2	3
23:15 - 23:29	3	0	3
23:30 - 23:44	0	0	0
23:45 - 23:59	2	1	3
Totals	180	242	422
AM Peak Time	10:58 - 11:57	10:51 - 11:50	11:00 - 11:59
AM Peak Volume	12	39	50
PM Peak Time	15:43 - 16:42	12:00 - 12:59	12:00 - 12:59
PM Peak Volume	22	40	56

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/10/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	0	0	0
00:45 - 00:59	1	0	1
01:00 - 01:14	0	1	1
01:15 - 01:29	1	0	1
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	0	0	0
02:15 - 02:29	0	1	1
02:30 - 02:44	0	0	0
02:45 - 02:59	1	0	1
03:00 - 03:14	0	0	0
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	1	0	1
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	1	1
06:30 - 06:44	1	0	1
06:45 - 06:59	0	1	1
07:00 - 07:14	0	1	1
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	1	1
08:45 - 08:59	1	2	3
09:00 - 09:14	2	2	4
09:15 - 09:29	0	1	1
09:30 - 09:44	0	2	2
09:45 - 09:59	0	2	2
10:00 - 10:14	0	3	3
10:15 - 10:29	2	2	4
10:30 - 10:44	1	3	4
10:45 - 10:59	0	5	5
11:00 - 11:14	2	4	6
11:15 - 11:29	1	4	5
11:30 - 11:44	2	10	12
11:45 - 11:59	1	6	7
12:00 - 12:14	4	5	9
12:15 - 12:29	2	8	10
12:30 - 12:44	1	8	9
12:45 - 12:59	0	8	8



All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	3	5	8
13:15 - 13:29	2	9	11
13:30 - 13:44	2	5	7
13:45 - 13:59	3	5	8
14:00 - 14:14	5	8	13
14:15 - 14:29	3	1	4
14:30 - 14:44	4	4	8
14:45 - 14:59	4	2	6
15:00 - 15:14	5	2	7
15:15 - 15:29	7	2	9
15:30 - 15:44	4	3	7
15:45 - 15:59	3	4	7
16:00 - 16:14	6	3	9
16:15 - 16:29	3	3	6
16:30 - 16:44	7	5	12
16:45 - 16:59	8	4	12
17:00 - 17:14	4	5	9
17:15 - 17:29	4	3	7
17:30 - 17:44	3	2	5
17:45 - 17:59	1	4	5
18:00 - 18:14	2	4	6
18:15 - 18:29	6	2	8
18:30 - 18:44	2	4	6
18:45 - 18:59	2	2	4
19:00 - 19:14	2	4	6
19:15 - 19:29	2	0	2
19:30 - 19:44	2	1	3
19:45 - 19:59	1	3	4
20:00 - 20:14	7	2	9
20:15 - 20:29	2	0	2
20:30 - 20:44	0	1	1
20:45 - 20:59	2	3	5
21:00 - 21:14	2	2	4
21:15 - 21:29	2	0	2
21:30 - 21:44	5	1	6
21:45 - 21:59	7	2	9
22:00 - 22:14	6	1	7
22:15 - 22:29	2	2	4
22:30 - 22:44	4	3	7
22:45 - 22:59	0	4	4
23:00 - 23:14	1	0	1
23:15 - 23:29	0	2	2
23:30 - 23:44	2	0	2
23:45 - 23:59	2	0	2
Totals	169	203	372
AM Peak Time	10:17 - 11:16	10:53 - 11:52	10:53 - 11:52
AM Peak Volume	6	25	30
PM Peak Time	16:06 - 17:05	12:02 - 13:01	16:06 - 17:05
PM Peak Volume	26	31	40

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/11/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	2	0	2
00:45 - 00:59	0	0	0
01:00 - 01:14	0	0	0
01:15 - 01:29	1	1	2
01:30 - 01:44	0	0	0
01:45 - 01:59	1	0	1
02:00 - 02:14	1	0	1
02:15 - 02:29	3	0	3
02:30 - 02:44	0	0	0
02:45 - 02:59	0	0	0
03:00 - 03:14	1	0	1
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	1	1
06:30 - 06:44	0	0	0
06:45 - 06:59	0	2	2
07:00 - 07:14	1	1	2
07:15 - 07:29	0	1	1
07:30 - 07:44	1	2	3
07:45 - 07:59	0	0	0
08:00 - 08:14	0	2	2
08:15 - 08:29	0	0	0
08:30 - 08:44	0	3	3
08:45 - 08:59	0	5	5
09:00 - 09:14	1	3	4
09:15 - 09:29	1	5	6
09:30 - 09:44	1	2	3
09:45 - 09:59	0	4	4
10:00 - 10:14	2	6	8
10:15 - 10:29	0	4	4
10:30 - 10:44	2	5	7
10:45 - 10:59	1	4	5
11:00 - 11:14	4	11	15
11:15 - 11:29	3	15	18
11:30 - 11:44	2	14	16
11:45 - 11:59	2	12	14
12:00 - 12:14	0	10	10
12:15 - 12:29	4	10	14
12:30 - 12:44	3	19	22
12:45 - 12:59	3	7	10

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	6	7	13
13:15 - 13:29	4	5	9
13:30 - 13:44	3	7	10
13:45 - 13:59	5	7	12
14:00 - 14:14	3	4	7
14:15 - 14:29	3	4	7
14:30 - 14:44	7	5	12
14:45 - 14:59	5	5	10
15:00 - 15:14	10	8	18
15:15 - 15:29	6	7	13
15:30 - 15:44	4	5	9
15:45 - 15:59	6	3	9
16:00 - 16:14	4	4	8
16:15 - 16:29	3	2	5
16:30 - 16:44	13	3	16
16:45 - 16:59	5	11	16
17:00 - 17:14	9	5	14
17:15 - 17:29	7	5	12
17:30 - 17:44	5	4	9
17:45 - 17:59	4	9	13
18:00 - 18:14	9	8	17
18:15 - 18:29	6	11	17
18:30 - 18:44	2	4	6
18:45 - 18:59	5	4	9
19:00 - 19:14	4	7	11
19:15 - 19:29	5	10	15
19:30 - 19:44	4	7	11
19:45 - 19:59	4	3	7
20:00 - 20:14	6	2	8
20:15 - 20:29	4	3	7
20:30 - 20:44	7	3	10
20:45 - 20:59	3	1	4
21:00 - 21:14	6	2	8
21:15 - 21:29	5	2	7
21:30 - 21:44	8	0	8
21:45 - 21:59	7	2	9
22:00 - 22:14	6	4	10
22:15 - 22:29	10	3	13
22:30 - 22:44	1	0	1
22:45 - 22:59	6	3	9
23:00 - 23:14	3	4	7
23:15 - 23:29	2	2	4
23:30 - 23:44	0	0	0
23:45 - 23:59	3	0	3
Totals	268	344	612
AM Peak Time	11:00 - 11:59	10:59 - 11:58	10:59 - 11:58
AM Peak Volume	11	53	63
PM Peak Time	16:23 - 17:22	12:00 - 12:59	12:24 - 13:23
PM Peak Volume	35	46	60

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Friday, 01/12/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	2	1	3
00:15 - 00:29	3	2	5
00:30 - 00:44	0	0	0
00:45 - 00:59	0	0	0
01:00 - 01:14	1	0	1
01:15 - 01:29	1	0	1
01:30 - 01:44	2	0	2
01:45 - 01:59	1	0	1
02:00 - 02:14	0	1	1
02:15 - 02:29	1	0	1
02:30 - 02:44	2	0	2
02:45 - 02:59	1	0	1
03:00 - 03:14	0	0	0
03:15 - 03:29	1	0	1
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	2	0	2
04:30 - 04:44	0	0	0
04:45 - 04:59	2	0	2
05:00 - 05:14	1	0	1
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	1	1
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	1	1	2
07:00 - 07:14	0	2	2
07:15 - 07:29	0	0	0
07:30 - 07:44	0	1	1
07:45 - 07:59	1	0	1
08:00 - 08:14	1	0	1
08:15 - 08:29	0	1	1
08:30 - 08:44	1	3	4
08:45 - 08:59	0	1	1
09:00 - 09:14	0	1	1
09:15 - 09:29	0	0	0
09:30 - 09:44	0	6	6
09:45 - 09:59	0	3	3
10:00 - 10:14	1	3	4
10:15 - 10:29	0	4	4
10:30 - 10:44	1	4	5
10:45 - 10:59	0	6	6
11:00 - 11:14	2	7	9
11:15 - 11:29	4	8	12
11:30 - 11:44	0	14	14
11:45 - 11:59	3	10	13
12:00 - 12:14	3	11	14
12:15 - 12:29	1	16	17
12:30 - 12:44	2	6	8
12:45 - 12:59	4	7	11

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	1	12	13
13:15 - 13:29	5	7	12
13:30 - 13:44	2	5	7
13:45 - 13:59	4	6	10
14:00 - 14:14	5	10	15
14:15 - 14:29	3	3	6
14:30 - 14:44	1	3	4
14:45 - 14:59	2	3	5
15:00 - 15:14	4	4	8
15:15 - 15:29	5	7	12
15:30 - 15:44	1	6	7
15:45 - 15:59	3	6	9
16:00 - 16:14	2	2	4
16:15 - 16:29	11	2	13
16:30 - 16:44	6	5	11
16:45 - 16:59	13	4	17
17:00 - 17:14	3	4	7
17:15 - 17:29	3	3	6
17:30 - 17:44	5	2	7
17:45 - 17:59	4	9	13
18:00 - 18:14	1	6	7
18:15 - 18:29	4	8	12
18:30 - 18:44	2	5	7
18:45 - 18:59	2	1	3
19:00 - 19:14	1	1	2
19:15 - 19:29	4	3	7
19:30 - 19:44	4	1	5
19:45 - 19:59	5	2	7
20:00 - 20:14	4	2	6
20:15 - 20:29	4	5	9
20:30 - 20:44	5	1	6
20:45 - 20:59	6	3	9
21:00 - 21:14	1	1	2
21:15 - 21:29	5	1	6
21:30 - 21:44	3	1	4
21:45 - 21:59	6	1	7
22:00 - 22:14	5	3	8
22:15 - 22:29	10	2	12
22:30 - 22:44	1	0	1
22:45 - 22:59	0	0	0
23:00 - 23:14	4	0	4
23:15 - 23:29	2	0	2
23:30 - 23:44	5	1	6
23:45 - 23:59	0	0	0
Totals	213	271	484
AM Peak Time	10:57 - 11:56	10:59 - 11:58	10:59 - 11:58
AM Peak Volume	9	39	48
PM Peak Time	16:10 - 17:09	12:10 - 13:09	12:10 - 13:09
PM Peak Volume	34	45	53

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Saturday, 01/13/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	2	0	2
00:15 - 00:29	0	2	2
00:30 - 00:44	2	0	2
00:45 - 00:59	0	0	0
01:00 - 01:14	2	0	2
01:15 - 01:29	2	1	3
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	0	1	1
02:15 - 02:29	1	0	1
02:30 - 02:44	0	0	0
02:45 - 02:59	1	0	1
03:00 - 03:14	2	0	2
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	1	1
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	1	0	1
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	1	1
06:45 - 06:59	0	2	2
07:00 - 07:14	2	0	2
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	2	2
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	0	0	0
09:00 - 09:14	0	4	4
09:15 - 09:29	0	0	0
09:30 - 09:44	0	2	2
09:45 - 09:59	0	1	1
10:00 - 10:14	0	1	1
10:15 - 10:29	0	2	2
10:30 - 10:44	0	0	0
10:45 - 10:59	1	1	2
11:00 - 11:14	1	2	3
11:15 - 11:29	3	9	12
11:30 - 11:44	3	8	11
11:45 - 11:59	1	11	12
12:00 - 12:14	0	5	5
12:15 - 12:29	1	8	9
12:30 - 12:44	1	7	8
12:45 - 12:59	4	10	14

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	2	9	11
13:15 - 13:29	2	7	9
13:30 - 13:44	1	7	8
13:45 - 13:59	2	5	7
14:00 - 14:14	3	1	4
14:15 - 14:29	3	1	4
14:30 - 14:44	2	3	5
14:45 - 14:59	4	3	7
15:00 - 15:14	1	3	4
15:15 - 15:29	5	6	11
15:30 - 15:44	2	3	5
15:45 - 15:59	4	1	5
16:00 - 16:14	1	4	5
16:15 - 16:29	6	3	9
16:30 - 16:44	5	4	9
16:45 - 16:59	17	6	23
17:00 - 17:14	3	2	5
17:15 - 17:29	7	2	9
17:30 - 17:44	12	2	14
17:45 - 17:59	5	2	7
18:00 - 18:14	2	0	2
18:15 - 18:29	0	2	2
18:30 - 18:44	2	0	2
18:45 - 18:59	3	0	3
19:00 - 19:14	0	0	0
19:15 - 19:29	2	3	5
19:30 - 19:44	1	6	7
19:45 - 19:59	0	3	3
20:00 - 20:14	1	0	1
20:15 - 20:29	1	2	3
20:30 - 20:44	1	1	2
20:45 - 20:59	1	2	3
21:00 - 21:14	2	2	4
21:15 - 21:29	1	0	1
21:30 - 21:44	1	0	1
21:45 - 21:59	1	1	2
22:00 - 22:14	1	0	1
22:15 - 22:29	1	1	2
22:30 - 22:44	0	0	0
22:45 - 22:59	0	1	1
23:00 - 23:14	0	0	0
23:15 - 23:29	1	0	1
23:30 - 23:44	2	0	2
23:45 - 23:59	1	0	1
Totals	143	179	322
AM Peak Time	10:43 - 11:42	10:58 - 11:57	11:00 - 11:59
AM Peak Volume	8	30	38
PM Peak Time	16:44 - 17:43	12:17 - 13:16	16:44 - 17:43
PM Peak Volume	39	37	51



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Sunday, 01/14/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	0	0	0
00:30 - 00:44	0	0	0
00:45 - 00:59	0	0	0
01:00 - 01:14	2	0	2
01:15 - 01:29	0	0	0
01:30 - 01:44	2	0	2
01:45 - 01:59	0	0	0
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	3	0	3
03:00 - 03:14	1	0	1
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	1	1
07:00 - 07:14	1	2	3
07:15 - 07:29	0	0	0
07:30 - 07:44	1	0	1
07:45 - 07:59	0	2	2
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	0	1	1
09:00 - 09:14	0	0	0
09:15 - 09:29	0	3	3
09:30 - 09:44	0	3	3
09:45 - 09:59	0	1	1
10:00 - 10:14	0	2	2
10:15 - 10:29	0	0	0
10:30 - 10:44	0	3	3
10:45 - 10:59	0	8	8
11:00 - 11:14	0	6	6
11:15 - 11:29	1	5	6
11:30 - 11:44	0	3	3
11:45 - 11:59	1	5	6
12:00 - 12:14	1	8	9
12:15 - 12:29	3	3	6
12:30 - 12:44	1	9	10
12:45 - 12:59	2	6	8

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	3	2	5
13:15 - 13:29	2	5	7
13:30 - 13:44	4	6	10
13:45 - 13:59	3	2	5
14:00 - 14:14	2	5	7
14:15 - 14:29	5	5	10
14:30 - 14:44	3	3	6
14:45 - 14:59	7	7	14
15:00 - 15:14	1	4	5
15:15 - 15:29	6	5	11
15:30 - 15:44	5	4	9
15:45 - 15:59	1	4	5
16:00 - 16:14	7	1	8
16:15 - 16:29	5	2	7
16:30 - 16:44	3	6	9
16:45 - 16:59	2	2	4
17:00 - 17:14	2	1	3
17:15 - 17:29	3	2	5
17:30 - 17:44	4	4	8
17:45 - 17:59	8	1	9
18:00 - 18:14	7	2	9
18:15 - 18:29	1	3	4
18:30 - 18:44	2	0	2
18:45 - 18:59	2	3	5
19:00 - 19:14	1	4	5
19:15 - 19:29	1	1	2
19:30 - 19:44	0	0	0
19:45 - 19:59	1	0	1
20:00 - 20:14	1	2	3
20:15 - 20:29	2	1	3
20:30 - 20:44	0	1	1
20:45 - 20:59	1	1	2
21:00 - 21:14	1	1	2
21:15 - 21:29	0	0	0
21:30 - 21:44	1	4	5
21:45 - 21:59	1	0	1
22:00 - 22:14	2	1	3
22:15 - 22:29	0	0	0
22:30 - 22:44	4	0	4
22:45 - 22:59	3	0	3
23:00 - 23:14	1	2	3
23:15 - 23:29	0	0	0
23:30 - 23:44	0	0	0
23:45 - 23:59	2	0	2
Totals	130	168	298
AM Peak Time	00:45 - 01:44	10:31 - 11:30	10:31 - 11:30
AM Peak Volume	4	23	24
PM Peak Time	17:09 - 18:08	12:01 - 13:00	14:44 - 15:43
PM Peak Volume	23	27	41

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Monday, 01/15/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	2	0	2
00:30 - 00:44	0	0	0
00:45 - 00:59	0	0	0
01:00 - 01:14	2	0	2
01:15 - 01:29	0	1	1
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	1	1	2
02:15 - 02:29	1	0	1
02:30 - 02:44	0	0	0
02:45 - 02:59	2	0	2
03:00 - 03:14	0	0	0
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	1	1	2
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	1	1
07:15 - 07:29	0	0	0
07:30 - 07:44	0	1	1
07:45 - 07:59	0	2	2
08:00 - 08:14	0	3	3
08:15 - 08:29	0	0	0
08:30 - 08:44	0	1	1
08:45 - 08:59	0	0	0
09:00 - 09:14	0	2	2
09:15 - 09:29	0	2	2
09:30 - 09:44	0	4	4
09:45 - 09:59	0	2	2
10:00 - 10:14	1	2	3
10:15 - 10:29	1	0	1
10:30 - 10:44	2	6	8
10:45 - 10:59	0	4	4
11:00 - 11:14	0	5	5
11:15 - 11:29	1	7	8
11:30 - 11:44	3	4	7
11:45 - 11:59	1	3	4
12:00 - 12:14	3	4	7
12:15 - 12:29	2	2	4
12:30 - 12:44	1	1	2
12:45 - 12:59	3	2	5



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	0	3	3
13:15 - 13:29	1	2	3
13:30 - 13:44	1	1	2
13:45 - 13:59	3	1	4
14:00 - 14:14	1	1	2
14:15 - 14:29	3	5	8
14:30 - 14:44	4	2	6
14:45 - 14:59	3	0	3
15:00 - 15:14	2	2	4
15:15 - 15:29	2	2	4
15:30 - 15:44	3	9	12
15:45 - 15:59	2	1	3
16:00 - 16:14	1	2	3
16:15 - 16:29	1	2	3
16:30 - 16:44	5	2	7
16:45 - 16:59	3	2	5
17:00 - 17:14	2	2	4
17:15 - 17:29	3	2	5
17:30 - 17:44	1	3	4
17:45 - 17:59	2	3	5
18:00 - 18:14	2	3	5
18:15 - 18:29	3	0	3
18:30 - 18:44	1	6	7
18:45 - 18:59	0	0	0
19:00 - 19:14	4	3	7
19:15 - 19:29	3	4	7
19:30 - 19:44	1	1	2
19:45 - 19:59	2	0	2
20:00 - 20:14	0	1	1
20:15 - 20:29	1	3	4
20:30 - 20:44	3	0	3
20:45 - 20:59	1	1	2
21:00 - 21:14	2	1	3
21:15 - 21:29	1	2	3
21:30 - 21:44	1	1	2
21:45 - 21:59	3	2	5
22:00 - 22:14	1	1	2
22:15 - 22:29	0	1	1
22:30 - 22:44	1	1	2
22:45 - 22:59	2	2	4
23:00 - 23:14	3	0	3
23:15 - 23:29	0	1	1
23:30 - 23:44	0	0	0
23:45 - 23:59	0	0	0
Totals	105	142	247
AM Peak Time	10:58 - 11:57	10:36 - 11:35	10:31 - 11:30
AM Peak Volume	5	24	27
PM Peak Time	16:33 - 17:32	15:01 - 16:00	14:44 - 15:43
PM Peak Volume	14	15	26

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/16/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	0	0	0
00:45 - 00:59	1	0	1
01:00 - 01:14	0	0	0
01:15 - 01:29	0	0	0
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	1	0	1
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	2	0	2
03:00 - 03:14	1	0	1
03:15 - 03:29	0	0	0
03:30 - 03:44	1	0	1
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	1	1
06:45 - 06:59	0	2	2
07:00 - 07:14	1	1	2
07:15 - 07:29	0	1	1
07:30 - 07:44	0	1	1
07:45 - 07:59	0	0	0
08:00 - 08:14	1	2	3
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	1	1	2
09:00 - 09:14	0	2	2
09:15 - 09:29	0	4	4
09:30 - 09:44	0	1	1
09:45 - 09:59	0	1	1
10:00 - 10:14	2	1	3
10:15 - 10:29	1	3	4
10:30 - 10:44	0	4	4
10:45 - 10:59	0	7	7
11:00 - 11:14	1	5	6
11:15 - 11:29	1	11	12
11:30 - 11:44	3	10	13
11:45 - 11:59	2	8	10
12:00 - 12:14	0	11	11
12:15 - 12:29	6	9	15
12:30 - 12:44	2	3	5
12:45 - 12:59	5	9	14

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	1	7	8
13:15 - 13:29	3	3	6
13:30 - 13:44	1	6	7
13:45 - 13:59	3	5	8
14:00 - 14:14	9	5	14
14:15 - 14:29	3	5	8
14:30 - 14:44	7	1	8
14:45 - 14:59	6	4	10
15:00 - 15:14	3	4	7
15:15 - 15:29	4	2	6
15:30 - 15:44	5	1	6
15:45 - 15:59	1	6	7
16:00 - 16:14	2	6	8
16:15 - 16:29	2	4	6
16:30 - 16:44	8	4	12
16:45 - 16:59	4	1	5
17:00 - 17:14	4	4	8
17:15 - 17:29	5	3	8
17:30 - 17:44	3	5	8
17:45 - 17:59	5	3	8
18:00 - 18:14	0	2	2
18:15 - 18:29	6	7	13
18:30 - 18:44	1	1	2
18:45 - 18:59	2	4	6
19:00 - 19:14	1	2	3
19:15 - 19:29	1	0	1
19:30 - 19:44	2	1	3
19:45 - 19:59	2	1	3
20:00 - 20:14	3	4	7
20:15 - 20:29	5	0	5
20:30 - 20:44	2	2	4
20:45 - 20:59	3	1	4
21:00 - 21:14	0	1	1
21:15 - 21:29	1	0	1
21:30 - 21:44	4	1	5
21:45 - 21:59	3	0	3
22:00 - 22:14	3	3	6
22:15 - 22:29	0	0	0
22:30 - 22:44	0	0	0
22:45 - 22:59	4	1	5
23:00 - 23:14	0	0	0
23:15 - 23:29	2	1	3
23:30 - 23:44	0	0	0
23:45 - 23:59	0	0	0
Totals	156	209	365
AM Peak Time	10:49 - 11:48	10:50 - 11:49	10:50 - 11:49
AM Peak Volume	7	35	42
PM Peak Time	14:01 - 15:00	12:02 - 13:01	12:02 - 13:01
PM Peak Volume	26	34	48

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/17/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida



## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	1	1
00:30 - 00:44	0	0	0
00:45 - 00:59	1	0	1
01:00 - 01:14	2	1	3
01:15 - 01:29	0	0	0
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	1	0	1
03:00 - 03:14	0	0	0
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	1	1	2
06:45 - 06:59	0	2	2
07:00 - 07:14	0	2	2
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	1	0	1
08:00 - 08:14	0	0	0
08:15 - 08:29	0	1	1
08:30 - 08:44	0	0	0
08:45 - 08:59	0	2	2
09:00 - 09:14	0	3	3
09:15 - 09:29	0	1	1
09:30 - 09:44	1	0	1
09:45 - 09:59	0	1	1
10:00 - 10:14	0	2	2
10:15 - 10:29	1	1	2
10:30 - 10:44	1	6	7
10:45 - 10:59	1	9	10
11:00 - 11:14	0	5	5
11:15 - 11:29	3	3	6
11:30 - 11:44	3	7	10
11:45 - 11:59	1	11	12
12:00 - 12:14	2	9	11
12:15 - 12:29	6	8	14
12:30 - 12:44	3	8	11
12:45 - 12:59	1	8	9

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: Arizona

Location: Palm Beach Kennel Club North Driveway

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	3	9	12
13:15 - 13:29	3	5	8
13:30 - 13:44	2	8	10
13:45 - 13:59	3	4	7
14:00 - 14:14	2	2	4
14:15 - 14:29	3	6	9
14:30 - 14:44	6	0	6
14:45 - 14:59	2	5	7
15:00 - 15:14	4	3	7
15:15 - 15:29	2	5	7
15:30 - 15:44	5	7	12
15:45 - 15:59	5	4	9
16:00 - 16:14	2	6	8
16:15 - 16:29	5	4	9
16:30 - 16:44	7	5	12
16:45 - 16:59	13	3	16
17:00 - 17:14	2	0	2
17:15 - 17:29	5	3	8
17:30 - 17:44	3	14	17
17:45 - 17:59	8	7	15
18:00 - 18:14	1	14	15
18:15 - 18:29	0	9	9
18:30 - 18:44	3	4	7
18:45 - 18:59	2	5	7
19:00 - 19:14	6	4	10
19:15 - 19:29	2	5	7
19:30 - 19:44	3	3	6
19:45 - 19:59	4	6	10
20:00 - 20:14	1	5	6
20:15 - 20:29	4	4	8
20:30 - 20:44	2	4	6
20:45 - 20:59	4	3	7
21:00 - 21:14	4	2	6
21:15 - 21:29	2	1	3
21:30 - 21:44	3	0	3
21:45 - 21:59	9	1	10
22:00 - 22:14	8	1	9
22:15 - 22:29	3	1	4
22:30 - 22:44	1	2	3
22:45 - 22:59	2	1	3
23:00 - 23:14	4	1	5
23:15 - 23:29	0	0	0
23:30 - 23:44	0	1	1
23:45 - 23:59	0	0	0
Totals	182	269	451
AM Peak Time	10:50 - 11:49	10:59 - 11:58	10:59 - 11:58
AM Peak Volume	8	27	34
PM Peak Time	16:10 - 17:09	17:20 - 18:19	17:20 - 18:19
PM Peak Volume	29	44	60

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/18/2024  
Unit ID: Arizona  
Location: Palm Beach Kennel Club North Driveway  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	3	0	3
00:15 - 00:29	2	0	2
00:30 - 00:44	2	0	2
00:45 - 00:59	0	0	0
01:00 - 01:14	2	0	2
01:15 - 01:29	1	0	1
01:30 - 01:44	1	0	1
01:45 - 01:59	1	0	1
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	1	0	1
03:00 - 03:14	1	0	1
03:15 - 03:29	3	0	3
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	2	0	2
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	1	0	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	1	0	1
08:30 - 08:44	3	0	3
08:45 - 08:59	0	0	0
09:00 - 09:14	0	0	0
09:15 - 09:29	1	0	1
09:30 - 09:44	1	0	1
09:45 - 09:59	1	0	1
10:00 - 10:14	1	1	2
10:15 - 10:29	1	2	3
10:30 - 10:44	0	0	0
10:45 - 10:59	2	1	3
11:00 - 11:14	1	0	1
11:15 - 11:29	0	1	1
11:30 - 11:44	0	0	0
11:45 - 11:59	1	0	1
12:00 - 12:14	0	0	0
12:15 - 12:29	3	0	3
12:30 - 12:44	2	0	2
12:45 - 12:59	2	0	2

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Tuesday, 01/09/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	2	0	2
13:15 - 13:29	0	0	0
13:30 - 13:44	2	0	2
13:45 - 13:59	4	0	4
14:00 - 14:14	1	1	2
14:15 - 14:29	3	0	3
14:30 - 14:44	2	0	2
14:45 - 14:59	1	1	2
15:00 - 15:14	4	0	4
15:15 - 15:29	1	0	1
15:30 - 15:44	0	0	0
15:45 - 15:59	3	0	3
16:00 - 16:14	5	0	5
16:15 - 16:29	4	0	4
16:30 - 16:44	3	0	3
16:45 - 16:59	3	0	3
17:00 - 17:14	2	0	2
17:15 - 17:29	3	0	3
17:30 - 17:44	2	0	2
17:45 - 17:59	0	0	0
18:00 - 18:14	3	0	3
18:15 - 18:29	2	0	2
18:30 - 18:44	0	0	0
18:45 - 18:59	3	0	3
19:00 - 19:14	1	0	1
19:15 - 19:29	3	0	3
19:30 - 19:44	1	0	1
19:45 - 19:59	2	0	2
20:00 - 20:14	0	0	0
20:15 - 20:29	1	0	1
20:30 - 20:44	4	1	5
20:45 - 20:59	1	0	1
21:00 - 21:14	0	0	0
21:15 - 21:29	0	0	0
21:30 - 21:44	1	0	1
21:45 - 21:59	0	0	0
22:00 - 22:14	0	0	0
22:15 - 22:29	1	0	1
22:30 - 22:44	0	0	0
22:45 - 22:59	2	0	2
23:00 - 23:14	1	0	1
23:15 - 23:29	0	0	0
23:30 - 23:44	3	0	3
23:45 - 23:59	3	0	3
Totals	118	8	126
AM Peak Time	00:08 - 01:07	09:54 - 10:53	00:08 - 01:07
AM Peak Volume	9	4	9
PM Peak Time	15:46 - 16:45	13:52 - 14:51	15:46 - 16:45
PM Peak Volume	16	2	16



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/09/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	1	0	1
00:30 - 00:44	2	0	2
00:45 - 00:59	0	0	0
01:00 - 01:14	1	0	1
01:15 - 01:29	0	0	0
01:30 - 01:44	0	0	0
01:45 - 01:59	2	0	2
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	3	0	3
02:45 - 02:59	2	0	2
03:00 - 03:14	3	0	3
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	1	0	1
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	3	0	3
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	1	2
07:15 - 07:29	0	1	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	1	0	1
08:30 - 08:44	0	0	0
08:45 - 08:59	2	1	3
09:00 - 09:14	2	0	2
09:15 - 09:29	1	0	1
09:30 - 09:44	0	0	0
09:45 - 09:59	0	0	0
10:00 - 10:14	0	0	0
10:15 - 10:29	0	0	0
10:30 - 10:44	2	0	2
10:45 - 10:59	1	0	1
11:00 - 11:14	2	0	2
11:15 - 11:29	2	1	3
11:30 - 11:44	3	0	3
11:45 - 11:59	1	0	1
12:00 - 12:14	0	0	0
12:15 - 12:29	2	0	2
12:30 - 12:44	1	0	1
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/10/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	0	0	0
13:15 - 13:29	2	0	2
13:30 - 13:44	1	0	1
13:45 - 13:59	1	0	1
14:00 - 14:14	3	2	5
14:15 - 14:29	3	0	3
14:30 - 14:44	2	0	2
14:45 - 14:59	3	0	3
15:00 - 15:14	3	0	3
15:15 - 15:29	3	0	3
15:30 - 15:44	2	0	2
15:45 - 15:59	5	0	5
16:00 - 16:14	4	0	4
16:15 - 16:29	6	0	6
16:30 - 16:44	2	0	2
16:45 - 16:59	4	0	4
17:00 - 17:14	4	0	4
17:15 - 17:29	3	0	3
17:30 - 17:44	4	0	4
17:45 - 17:59	6	0	6
18:00 - 18:14	3	1	4
18:15 - 18:29	4	0	4
18:30 - 18:44	1	0	1
18:45 - 18:59	3	0	3
19:00 - 19:14	0	0	0
19:15 - 19:29	1	0	1
19:30 - 19:44	3	0	3
19:45 - 19:59	2	0	2
20:00 - 20:14	0	0	0
20:15 - 20:29	1	1	2
20:30 - 20:44	3	0	3
20:45 - 20:59	0	0	0
21:00 - 21:14	2	0	2
21:15 - 21:29	1	0	1
21:30 - 21:44	1	0	1
21:45 - 21:59	0	0	0
22:00 - 22:14	1	0	1
22:15 - 22:29	0	0	0
22:30 - 22:44	2	0	2
22:45 - 22:59	1	0	1
23:00 - 23:14	3	0	3
23:15 - 23:29	5	0	5
23:30 - 23:44	0	0	0
23:45 - 23:59	0	0	0
Totals	138	8	146
AM Peak Time	02:13 - 03:12	06:24 - 07:23	10:31 - 11:30
AM Peak Volume	8	2	9
PM Peak Time	15:38 - 16:37	13:12 - 14:11	15:38 - 16:37
PM Peak Volume	18	2	18

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/10/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	1	0	1
00:30 - 00:44	0	0	0
00:45 - 00:59	2	0	2
01:00 - 01:14	0	0	0
01:15 - 01:29	3	0	3
01:30 - 01:44	1	0	1
01:45 - 01:59	1	0	1
02:00 - 02:14	0	0	0
02:15 - 02:29	0	0	0
02:30 - 02:44	1	0	1
02:45 - 02:59	2	0	2
03:00 - 03:14	3	0	3
03:15 - 03:29	2	0	2
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	1	0	1
04:30 - 04:44	0	0	0
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	1	2
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	2	0	2
08:45 - 08:59	0	0	0
09:00 - 09:14	3	0	3
09:15 - 09:29	1	0	1
09:30 - 09:44	0	0	0
09:45 - 09:59	1	0	1
10:00 - 10:14	0	0	0
10:15 - 10:29	0	0	0
10:30 - 10:44	0	0	0
10:45 - 10:59	4	0	4
11:00 - 11:14	1	0	1
11:15 - 11:29	0	0	0
11:30 - 11:44	2	0	2
11:45 - 11:59	1	0	1
12:00 - 12:14	2	0	2
12:15 - 12:29	1	0	1
12:30 - 12:44	2	0	2
12:45 - 12:59	5	0	5

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/11/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	2	0	2
13:15 - 13:29	2	0	2
13:30 - 13:44	4	0	4
13:45 - 13:59	1	0	1
14:00 - 14:14	3	1	4
14:15 - 14:29	3	1	4
14:30 - 14:44	0	0	0
14:45 - 14:59	3	0	3
15:00 - 15:14	1	0	1
15:15 - 15:29	5	0	5
15:30 - 15:44	3	0	3
15:45 - 15:59	3	0	3
16:00 - 16:14	5	0	5
16:15 - 16:29	4	0	4
16:30 - 16:44	2	0	2
16:45 - 16:59	6	0	6
17:00 - 17:14	4	1	5
17:15 - 17:29	3	1	4
17:30 - 17:44	3	0	3
17:45 - 17:59	4	1	5
18:00 - 18:14	5	0	5
18:15 - 18:29	3	0	3
18:30 - 18:44	2	0	2
18:45 - 18:59	3	0	3
19:00 - 19:14	2	0	2
19:15 - 19:29	3	0	3
19:30 - 19:44	2	0	2
19:45 - 19:59	2	0	2
20:00 - 20:14	4	0	4
20:15 - 20:29	0	0	0
20:30 - 20:44	1	0	1
20:45 - 20:59	2	0	2
21:00 - 21:14	3	0	3
21:15 - 21:29	4	0	4
21:30 - 21:44	2	0	2
21:45 - 21:59	1	0	1
22:00 - 22:14	2	0	2
22:15 - 22:29	2	0	2
22:30 - 22:44	1	0	1
22:45 - 22:59	4	0	4
23:00 - 23:14	3	0	3
23:15 - 23:29	0	0	0
23:30 - 23:44	1	0	1
23:45 - 23:59	2	0	2
Totals	159	6	165
AM Peak Time	02:27 - 03:26	06:08 - 07:07	02:27 - 03:26
AM Peak Volume	8	1	8
PM Peak Time	16:09 - 17:08	16:53 - 17:52	16:09 - 17:08
PM Peak Volume	18	3	19



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/11/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	3	0	3
00:30 - 00:44	1	0	1
00:45 - 00:59	3	0	3
01:00 - 01:14	1	0	1
01:15 - 01:29	2	0	2
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	1	0	1
02:15 - 02:29	0	0	0
02:30 - 02:44	1	0	1
02:45 - 02:59	2	0	2
03:00 - 03:14	2	0	2
03:15 - 03:29	2	0	2
03:30 - 03:44	0	0	0
03:45 - 03:59	4	0	4
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	1	0	1
08:15 - 08:29	0	1	1
08:30 - 08:44	1	0	1
08:45 - 08:59	0	0	0
09:00 - 09:14	2	1	3
09:15 - 09:29	0	0	0
09:30 - 09:44	1	0	1
09:45 - 09:59	1	2	3
10:00 - 10:14	2	0	2
10:15 - 10:29	2	0	2
10:30 - 10:44	0	0	0
10:45 - 10:59	1	0	1
11:00 - 11:14	3	0	3
11:15 - 11:29	1	0	1
11:30 - 11:44	2	0	2
11:45 - 11:59	1	1	2
12:00 - 12:14	3	0	3
12:15 - 12:29	1	0	1
12:30 - 12:44	4	0	4
12:45 - 12:59	2	1	3

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Friday, 01/12/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	2	0	2
13:15 - 13:29	1	0	1
13:30 - 13:44	3	0	3
13:45 - 13:59	5	0	5
14:00 - 14:14	5	1	6
14:15 - 14:29	4	0	4
14:30 - 14:44	5	1	6
14:45 - 14:59	5	0	5
15:00 - 15:14	5	0	5
15:15 - 15:29	5	0	5
15:30 - 15:44	2	0	2
15:45 - 15:59	5	0	5
16:00 - 16:14	10	0	10
16:15 - 16:29	8	0	8
16:30 - 16:44	3	0	3
16:45 - 16:59	4	0	4
17:00 - 17:14	3	0	3
17:15 - 17:29	5	0	5
17:30 - 17:44	9	0	9
17:45 - 17:59	5	0	5
18:00 - 18:14	3	0	3
18:15 - 18:29	1	2	3
18:30 - 18:44	4	3	7
18:45 - 18:59	2	0	2
19:00 - 19:14	1	0	1
19:15 - 19:29	4	1	5
19:30 - 19:44	2	0	2
19:45 - 19:59	1	0	1
20:00 - 20:14	3	0	3
20:15 - 20:29	2	0	2
20:30 - 20:44	3	0	3
20:45 - 20:59	2	0	2
21:00 - 21:14	1	0	1
21:15 - 21:29	2	0	2
21:30 - 21:44	1	1	2
21:45 - 21:59	3	0	3
22:00 - 22:14	6	0	6
22:15 - 22:29	6	0	6
22:30 - 22:44	3	0	3
22:45 - 22:59	2	0	2
23:00 - 23:14	2	0	2
23:15 - 23:29	2	0	2
23:30 - 23:44	1	0	1
23:45 - 23:59	1	0	1
Totals	203	15	218
AM Peak Time	02:54 - 03:53	08:58 - 09:57	02:54 - 03:53
AM Peak Volume	9	3	9
PM Peak Time	15:31 - 16:30	17:36 - 18:35	15:31 - 16:30
PM Peak Volume	26	5	26

## **All Traffic Data Services, Inc.**

### **Daily Vehicle Volume Report**

Study Date: Friday, 01/12/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	1	0	1
00:30 - 00:44	2	0	2
00:45 - 00:59	4	0	4
01:00 - 01:14	0	0	0
01:15 - 01:29	1	0	1
01:30 - 01:44	2	0	2
01:45 - 01:59	5	0	5
02:00 - 02:14	0	0	0
02:15 - 02:29	2	0	2
02:30 - 02:44	0	0	0
02:45 - 02:59	0	0	0
03:00 - 03:14	3	0	3
03:15 - 03:29	2	0	2
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	1	0	1
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	1	0	1
05:15 - 05:29	3	0	3
05:30 - 05:44	0	0	0
05:45 - 05:59	1	0	1
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	1	0	1
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	1	0	1
08:45 - 08:59	0	0	0
09:00 - 09:14	0	0	0
09:15 - 09:29	1	0	1
09:30 - 09:44	0	0	0
09:45 - 09:59	1	0	1
10:00 - 10:14	2	0	2
10:15 - 10:29	0	0	0
10:30 - 10:44	1	0	1
10:45 - 10:59	2	0	2
11:00 - 11:14	2	0	2
11:15 - 11:29	2	0	2
11:30 - 11:44	2	0	2
11:45 - 11:59	4	0	4
12:00 - 12:14	2	0	2
12:15 - 12:29	1	0	1
12:30 - 12:44	2	0	2
12:45 - 12:59	2	0	2

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Saturday, 01/13/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	1	0	1
13:15 - 13:29	3	0	3
13:30 - 13:44	2	0	2
13:45 - 13:59	1	1	2
14:00 - 14:14	5	0	5
14:15 - 14:29	1	0	1
14:30 - 14:44	7	1	8
14:45 - 14:59	4	0	4
15:00 - 15:14	6	0	6
15:15 - 15:29	2	0	2
15:30 - 15:44	5	1	6
15:45 - 15:59	3	0	3
16:00 - 16:14	12	0	12
16:15 - 16:29	3	0	3
16:30 - 16:44	2	0	2
16:45 - 16:59	5	0	5
17:00 - 17:14	7	1	8
17:15 - 17:29	7	0	7
17:30 - 17:44	5	0	5
17:45 - 17:59	2	0	2
18:00 - 18:14	4	0	4
18:15 - 18:29	7	0	7
18:30 - 18:44	1	0	1
18:45 - 18:59	1	0	1
19:00 - 19:14	3	0	3
19:15 - 19:29	1	0	1
19:30 - 19:44	3	0	3
19:45 - 19:59	4	0	4
20:00 - 20:14	3	0	3
20:15 - 20:29	3	0	3
20:30 - 20:44	4	0	4
20:45 - 20:59	5	0	5
21:00 - 21:14	2	1	3
21:15 - 21:29	1	0	1
21:30 - 21:44	1	0	1
21:45 - 21:59	3	0	3
22:00 - 22:14	3	0	3
22:15 - 22:29	6	0	6
22:30 - 22:44	3	0	3
22:45 - 22:59	3	0	3
23:00 - 23:14	2	0	2
23:15 - 23:29	1	0	1
23:30 - 23:44	2	0	2
23:45 - 23:59	2	0	2
Totals	207	5	212
AM Peak Time	10:53 - 11:52	N/A	10:53 - 11:52
AM Peak Volume	12	0	12
PM Peak Time	16:32 - 17:31	13:32 - 14:31	16:32 - 17:31
PM Peak Volume	24	2	25



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Saturday, 01/13/2024  
Unit ID: HAWAII  
Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	1	1
00:30 - 00:44	4	0	4
00:45 - 00:59	3	0	3
01:00 - 01:14	0	0	0
01:15 - 01:29	2	0	2
01:30 - 01:44	1	0	1
01:45 - 01:59	1	0	1
02:00 - 02:14	1	0	1
02:15 - 02:29	1	0	1
02:30 - 02:44	1	0	1
02:45 - 02:59	1	0	1
03:00 - 03:14	4	0	4
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	1	0	1
04:00 - 04:14	0	0	0
04:15 - 04:29	1	0	1
04:30 - 04:44	0	0	0
04:45 - 04:59	2	0	2
05:00 - 05:14	0	0	0
05:15 - 05:29	3	0	3
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	0	1
07:15 - 07:29	1	0	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	0	0	0
09:00 - 09:14	1	0	1
09:15 - 09:29	1	0	1
09:30 - 09:44	0	0	0
09:45 - 09:59	0	0	0
10:00 - 10:14	3	0	3
10:15 - 10:29	0	0	0
10:30 - 10:44	2	1	3
10:45 - 10:59	2	0	2
11:00 - 11:14	2	0	2
11:15 - 11:29	0	0	0
11:30 - 11:44	1	0	1
11:45 - 11:59	1	0	1
12:00 - 12:14	1	0	1
12:15 - 12:29	2	0	2
12:30 - 12:44	1	0	1
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Sunday, 01/14/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	0	0	0
13:15 - 13:29	1	0	1
13:30 - 13:44	4	2	6
13:45 - 13:59	3	0	3
14:00 - 14:14	1	0	1
14:15 - 14:29	0	0	0
14:30 - 14:44	4	0	4
14:45 - 14:59	1	0	1
15:00 - 15:14	1	0	1
15:15 - 15:29	1	0	1
15:30 - 15:44	2	0	2
15:45 - 15:59	5	0	5
16:00 - 16:14	4	0	4
16:15 - 16:29	6	0	6
16:30 - 16:44	2	0	2
16:45 - 16:59	3	0	3
17:00 - 17:14	3	0	3
17:15 - 17:29	5	0	5
17:30 - 17:44	3	0	3
17:45 - 17:59	1	0	1
18:00 - 18:14	2	0	2
18:15 - 18:29	3	0	3
18:30 - 18:44	1	0	1
18:45 - 18:59	2	0	2
19:00 - 19:14	2	0	2
19:15 - 19:29	3	0	3
19:30 - 19:44	1	0	1
19:45 - 19:59	1	0	1
20:00 - 20:14	3	0	3
20:15 - 20:29	2	0	2
20:30 - 20:44	0	0	0
20:45 - 20:59	2	0	2
21:00 - 21:14	4	1	5
21:15 - 21:29	4	0	4
21:30 - 21:44	0	0	0
21:45 - 21:59	1	0	1
22:00 - 22:14	0	0	0
22:15 - 22:29	0	0	0
22:30 - 22:44	1	0	1
22:45 - 22:59	1	0	1
23:00 - 23:14	2	0	2
23:15 - 23:29	1	0	1
23:30 - 23:44	1	0	1
23:45 - 23:59	0	0	0
Totals	133	5	138
AM Peak Time	00:30 - 01:29	00:00 - 00:59	00:30 - 01:29
AM Peak Volume	9	1	9
PM Peak Time	15:35 - 16:34	12:37 - 13:36	15:35 - 16:34
PM Peak Volume	18	2	18

## **All Traffic Data Services, Inc.**

### **Daily Vehicle Volume Report**

Study Date: Sunday, 01/14/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	0	0	0
00:30 - 00:44	1	0	1
00:45 - 00:59	1	0	1
01:00 - 01:14	3	0	3
01:15 - 01:29	1	0	1
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	1	0	1
02:15 - 02:29	0	0	0
02:30 - 02:44	1	0	1
02:45 - 02:59	3	0	3
03:00 - 03:14	1	1	2
03:15 - 03:29	3	0	3
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	1	0	1
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	0	1
07:15 - 07:29	0	0	0
07:30 - 07:44	1	0	1
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	1	0	1
09:00 - 09:14	1	0	1
09:15 - 09:29	1	0	1
09:30 - 09:44	1	1	2
09:45 - 09:59	1	0	1
10:00 - 10:14	1	0	1
10:15 - 10:29	0	0	0
10:30 - 10:44	2	0	2
10:45 - 10:59	0	0	0
11:00 - 11:14	0	0	0
11:15 - 11:29	0	0	0
11:30 - 11:44	2	0	2
11:45 - 11:59	2	0	2
12:00 - 12:14	1	0	1
12:15 - 12:29	4	0	4
12:30 - 12:44	0	0	0
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Monday, 01/15/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	0	0	0
13:15 - 13:29	1	0	1
13:30 - 13:44	0	0	0
13:45 - 13:59	1	1	2
14:00 - 14:14	5	0	5
14:15 - 14:29	2	0	2
14:30 - 14:44	1	0	1
14:45 - 14:59	1	0	1
15:00 - 15:14	3	0	3
15:15 - 15:29	4	0	4
15:30 - 15:44	3	0	3
15:45 - 15:59	2	0	2
16:00 - 16:14	7	0	7
16:15 - 16:29	0	0	0
16:30 - 16:44	1	0	1
16:45 - 16:59	1	0	1
17:00 - 17:14	4	0	4
17:15 - 17:29	2	0	2
17:30 - 17:44	4	2	6
17:45 - 17:59	2	1	3
18:00 - 18:14	1	0	1
18:15 - 18:29	5	0	5
18:30 - 18:44	2	0	2
18:45 - 18:59	3	0	3
19:00 - 19:14	0	0	0
19:15 - 19:29	1	0	1
19:30 - 19:44	4	0	4
19:45 - 19:59	1	1	2
20:00 - 20:14	1	0	1
20:15 - 20:29	2	1	3
20:30 - 20:44	5	0	5
20:45 - 20:59	1	0	1
21:00 - 21:14	4	0	4
21:15 - 21:29	1	0	1
21:30 - 21:44	3	0	3
21:45 - 21:59	2	0	2
22:00 - 22:14	3	0	3
22:15 - 22:29	0	0	0
22:30 - 22:44	0	0	0
22:45 - 22:59	2	0	2
23:00 - 23:14	0	0	0
23:15 - 23:29	0	0	0
23:30 - 23:44	0	0	0
23:45 - 23:59	0	0	0
Totals	124	8	132
AM Peak Time	02:19 - 03:18	02:09 - 03:08	02:19 - 03:18
AM Peak Volume	8	1	9
PM Peak Time	15:14 - 16:13	16:48 - 17:47	15:14 - 16:13
PM Peak Volume	16	3	16



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Monday, 01/15/2024  
Unit ID: HAWAII  
Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	0	0	0
00:45 - 00:59	0	0	0
01:00 - 01:14	2	0	2
01:15 - 01:29	0	0	0
01:30 - 01:44	1	0	1
01:45 - 01:59	0	0	0
02:00 - 02:14	1	0	1
02:15 - 02:29	0	0	0
02:30 - 02:44	0	0	0
02:45 - 02:59	0	0	0
03:00 - 03:14	1	0	1
03:15 - 03:29	1	0	1
03:30 - 03:44	1	0	1
03:45 - 03:59	2	0	2
04:00 - 04:14	0	0	0
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	1	0	1
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	0	0
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	0	0	0
09:00 - 09:14	1	0	1
09:15 - 09:29	2	0	2
09:30 - 09:44	1	0	1
09:45 - 09:59	1	0	1
10:00 - 10:14	1	0	1
10:15 - 10:29	2	0	2
10:30 - 10:44	0	0	0
10:45 - 10:59	4	0	4
11:00 - 11:14	2	0	2
11:15 - 11:29	0	0	0
11:30 - 11:44	3	0	3
11:45 - 11:59	0	0	0
12:00 - 12:14	0	0	0
12:15 - 12:29	1	0	1
12:30 - 12:44	0	1	1
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Tuesday, 01/16/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	1	0	1
13:15 - 13:29	0	0	0
13:30 - 13:44	1	0	1
13:45 - 13:59	1	0	1
14:00 - 14:14	0	0	0
14:15 - 14:29	0	0	0
14:30 - 14:44	1	0	1
14:45 - 14:59	1	0	1
15:00 - 15:14	1	0	1
15:15 - 15:29	3	0	3
15:30 - 15:44	3	1	4
15:45 - 15:59	4	0	4
16:00 - 16:14	3	1	4
16:15 - 16:29	4	0	4
16:30 - 16:44	4	0	4
16:45 - 16:59	3	0	3
17:00 - 17:14	5	0	5
17:15 - 17:29	2	0	2
17:30 - 17:44	1	0	1
17:45 - 17:59	1	0	1
18:00 - 18:14	3	2	5
18:15 - 18:29	2	0	2
18:30 - 18:44	5	0	5
18:45 - 18:59	2	1	3
19:00 - 19:14	0	0	0
19:15 - 19:29	2	0	2
19:30 - 19:44	1	0	1
19:45 - 19:59	3	0	3
20:00 - 20:14	1	0	1
20:15 - 20:29	0	0	0
20:30 - 20:44	0	0	0
20:45 - 20:59	1	0	1
21:00 - 21:14	1	1	2
21:15 - 21:29	1	0	1
21:30 - 21:44	4	0	4
21:45 - 21:59	2	0	2
22:00 - 22:14	2	0	2
22:15 - 22:29	1	0	1
22:30 - 22:44	2	0	2
22:45 - 22:59	2	0	2
23:00 - 23:14	1	0	1
23:15 - 23:29	0	0	0
23:30 - 23:44	0	0	0
23:45 - 23:59	2	1	3
Totals	107	8	115
AM Peak Time	10:39 - 11:38	N/A	10:39 - 11:38
AM Peak Volume	9	0	9
PM Peak Time	16:05 - 17:04	17:53 - 18:52	15:21 - 16:20
PM Peak Volume	17	3	17

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Tuesday, 01/16/2024  
Unit ID: HAWAII  
Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave  
Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	0	0	0
00:15 - 00:29	0	0	0
00:30 - 00:44	0	0	0
00:45 - 00:59	0	0	0
01:00 - 01:14	3	0	3
01:15 - 01:29	0	0	0
01:30 - 01:44	0	0	0
01:45 - 01:59	0	0	0
02:00 - 02:14	2	0	2
02:15 - 02:29	0	0	0
02:30 - 02:44	1	0	1
02:45 - 02:59	1	0	1
03:00 - 03:14	2	0	2
03:15 - 03:29	1	0	1
03:30 - 03:44	2	0	2
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	0	0	0
04:30 - 04:44	1	0	1
04:45 - 04:59	0	0	0
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	0	1	1
07:15 - 07:29	1	0	1
07:30 - 07:44	0	0	0
07:45 - 07:59	0	1	1
08:00 - 08:14	1	0	1
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	1	0	1
09:00 - 09:14	0	0	0
09:15 - 09:29	1	0	1
09:30 - 09:44	1	0	1
09:45 - 09:59	1	0	1
10:00 - 10:14	0	0	0
10:15 - 10:29	0	1	1
10:30 - 10:44	1	0	1
10:45 - 10:59	3	0	3
11:00 - 11:14	0	1	1
11:15 - 11:29	0	0	0
11:30 - 11:44	2	0	2
11:45 - 11:59	2	0	2
12:00 - 12:14	2	0	2
12:15 - 12:29	1	0	1
12:30 - 12:44	1	0	1
12:45 - 12:59	1	0	1

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Wednesday, 01/17/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	0	0	0
13:15 - 13:29	0	0	0
13:30 - 13:44	0	1	1
13:45 - 13:59	3	0	3
14:00 - 14:14	2	0	2
14:15 - 14:29	2	0	2
14:30 - 14:44	1	0	1
14:45 - 14:59	7	1	8
15:00 - 15:14	4	0	4
15:15 - 15:29	3	0	3
15:30 - 15:44	3	0	3
15:45 - 15:59	0	0	0
16:00 - 16:14	6	0	6
16:15 - 16:29	3	0	3
16:30 - 16:44	5	0	5
16:45 - 16:59	1	0	1
17:00 - 17:14	2	0	2
17:15 - 17:29	4	0	4
17:30 - 17:44	6	0	6
17:45 - 17:59	2	0	2
18:00 - 18:14	1	0	1
18:15 - 18:29	5	0	5
18:30 - 18:44	3	0	3
18:45 - 18:59	3	0	3
19:00 - 19:14	6	0	6
19:15 - 19:29	1	1	2
19:30 - 19:44	0	0	0
19:45 - 19:59	4	1	5
20:00 - 20:14	1	0	1
20:15 - 20:29	1	0	1
20:30 - 20:44	3	0	3
20:45 - 20:59	3	0	3
21:00 - 21:14	2	0	2
21:15 - 21:29	2	0	2
21:30 - 21:44	0	0	0
21:45 - 21:59	2	0	2
22:00 - 22:14	5	1	6
22:15 - 22:29	1	0	1
22:30 - 22:44	0	0	0
22:45 - 22:59	1	0	1
23:00 - 23:14	1	0	1
23:15 - 23:29	2	0	2
23:30 - 23:44	0	0	0
23:45 - 23:59	1	0	1
Totals	135	9	144
AM Peak Time	10:56 - 11:55	06:56 - 07:55	10:56 - 11:55
AM Peak Volume	7	2	8
PM Peak Time	18:12 - 19:11	18:52 - 19:51	14:42 - 15:41
PM Peak Volume	18	2	18



**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Wednesday, 01/17/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

## All Traffic Data Services, Inc.

### Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
00:00 - 00:14	1	0	1
00:15 - 00:29	4	0	4
00:30 - 00:44	1	0	1
00:45 - 00:59	0	0	0
01:00 - 01:14	1	0	1
01:15 - 01:29	2	0	2
01:30 - 01:44	2	0	2
01:45 - 01:59	0	0	0
02:00 - 02:14	0	0	0
02:15 - 02:29	1	0	1
02:30 - 02:44	1	0	1
02:45 - 02:59	1	0	1
03:00 - 03:14	2	0	2
03:15 - 03:29	0	0	0
03:30 - 03:44	0	0	0
03:45 - 03:59	0	0	0
04:00 - 04:14	1	0	1
04:15 - 04:29	0	0	0
04:30 - 04:44	0	0	0
04:45 - 04:59	1	0	1
05:00 - 05:14	0	0	0
05:15 - 05:29	0	0	0
05:30 - 05:44	0	0	0
05:45 - 05:59	0	0	0
06:00 - 06:14	0	0	0
06:15 - 06:29	0	0	0
06:30 - 06:44	0	0	0
06:45 - 06:59	0	0	0
07:00 - 07:14	1	1	2
07:15 - 07:29	0	0	0
07:30 - 07:44	0	0	0
07:45 - 07:59	0	0	0
08:00 - 08:14	0	0	0
08:15 - 08:29	0	0	0
08:30 - 08:44	0	0	0
08:45 - 08:59	2	0	2
09:00 - 09:14	0	0	0
09:15 - 09:29	2	0	2
09:30 - 09:44	3	0	3
09:45 - 09:59	0	0	0
10:00 - 10:14	0	1	1
10:15 - 10:29	1	0	1
10:30 - 10:44	2	0	2
10:45 - 10:59	2	0	2
11:00 - 11:14	1	0	1
11:15 - 11:29	4	0	4
11:30 - 11:44	3	0	3
11:45 - 11:59	1	0	1
12:00 - 12:14	2	1	3
12:15 - 12:29	4	1	5
12:30 - 12:44	1	0	1
12:45 - 12:59	1	0	1

All Traffic Data Services, Inc.

Daily Vehicle Volume Report

Study Date: Thursday, 01/18/2024

Unit ID: HAWAII

Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave

Comments: West Palm Beach, Florida

	Eastbound Volume	Westbound Volume	Total Volume
13:00 - 13:14	2	0	2
13:15 - 13:29	0	0	0
13:30 - 13:44	2	0	2
13:45 - 13:59	3	1	4
14:00 - 14:14	2	1	3
14:15 - 14:29	3	0	3
14:30 - 14:44	0	0	0
14:45 - 14:59	4	0	4
15:00 - 15:14	1	1	2
15:15 - 15:29	2	0	2
15:30 - 15:44	4	0	4
15:45 - 15:59	2	0	2
16:00 - 16:14	4	1	5
16:15 - 16:29	3	0	3
16:30 - 16:44	6	0	6
16:45 - 16:59	6	0	6
17:00 - 17:14	3	0	3
17:15 - 17:29	2	1	3
17:30 - 17:44	9	0	9
17:45 - 17:59	2	0	2
18:00 - 18:14	6	4	10
18:15 - 18:29	6	4	10
18:30 - 18:44	5	1	6
18:45 - 18:59	4	0	4
19:00 - 19:14	2	0	2
19:15 - 19:29	5	0	5
19:30 - 19:44	4	0	4
19:45 - 19:59	1	0	1
20:00 - 20:14	0	1	1
20:15 - 20:29	3	0	3
20:30 - 20:44	4	0	4
20:45 - 20:59	2	0	2
21:00 - 21:14	4	0	4
21:15 - 21:29	4	0	4
21:30 - 21:44	4	0	4
21:45 - 21:59	4	0	4
22:00 - 22:14	4	1	5
22:15 - 22:29	0	0	0
22:30 - 22:44	0	0	0
22:45 - 22:59	2	0	2
23:00 - 23:14	0	0	0
23:15 - 23:29	1	0	1
23:30 - 23:44	2	0	2
23:45 - 23:59	1	0	1
Totals	176	20	196
AM Peak Time	10:48 - 11:47	06:06 - 07:05	10:48 - 11:47
AM Peak Volume	11	1	11
PM Peak Time	17:30 - 18:29	17:36 - 18:35	17:30 - 18:29
PM Peak Volume	23	9	31

**All Traffic Data Services, Inc.**  
**Daily Vehicle Volume Report**

Study Date: Thursday, 01/18/2024  
Unit ID: HAWAII  
Location: Palm Beach Kennel Club Valet Exit Driveway to Congress Ave  
Comments: West Palm Beach, Florida



**South Florida Water Management District**  
**Conceptual Permit No. 50-108830-P**  
**Date Issued: June 30, 2023**  
**Modified On: February 19, 2024**

**Permittee:** Westgate/Belvedere Homes Community Redevelopment Agency  
1280 N Congress Avenue Suite 215  
West Palm Beach, FL 33409

**Project:** Westgate/Belvedere CRA, C-51 Sub-Basin 39 Comp. Storage Mod.

**Application No.** 230929-40586

**Location:** Palm Beach County, See Exhibit 1

Your application for a Conceptual Permit is approved. This action is taken based on Chapter 373, Part IV, of Florida Statutes (F.S.) and the rules in Chapter 62-330, Florida Administrative Code (F.A.C.). Unless otherwise stated, this permit constitutes certification of compliance with state water quality standards under section 401 of the Clean Water Act, 33 U.S.C. 1341, and a finding of consistency with the Florida Coastal Management Program. Please read this entire agency action thoroughly and understand its contents.

This permit is subject to:

- Not receiving a filed request for a Chapter 120, F.S., administrative hearing.
- The attached General Conditions for Environmental Resource Permits.
- The attached Special Conditions.
- All referenced Exhibits.

All documents are available online through the District's ePermitting site at [www.sfwmd.gov/ePermitting](http://www.sfwmd.gov/ePermitting).

If you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights", we will assume that you concur with the District's action.

The District does not publish notices of action. If you wish to limit the time within which a person may request an administrative hearing regarding this action, you are encouraged to publish, at your own expense, a notice of agency action in the legal advertisement section of a newspaper of general circulation in the county or counties where the activity will occur. Legal requirements and instructions for publishing a notice of agency action, as well as a noticing format that can be used, are available upon request. If you publish a notice of agency action, please send a copy of the affidavit of publication provided by the newspaper to the District's West Palm Beach office for retention in this file.

If you have any questions regarding your permit or need any other information, please call us at 1-800-432-2045 or email [epermits@sfwmd.gov](mailto:epermits@sfwmd.gov).

A handwritten signature in black ink, appearing to read "D. Wood".

Dustin Wood, P.E.  
Section Leader

**South Florida Water Management District  
Conceptual Permit No. 50-108830-P**

**Date Issued:** June 30, 2023      **Expiration Date:** June 30, 2043

**Modified On:**  
February 19, 2024

**Project Name:** Westgate/Belvedere CRA, C-51 Sub-Basin 39 Comp. Storage Mod.

**Permittee:** Westgate/Belvedere Homes Community Redevelopment Agency  
1280 N Congress Avenue Suite 215  
West Palm Beach, FL 33409

**Operating Entity:** Westgate/Belvedere Homes Community Redevelopment Agency  
1280 N Congress Avenue Suite 215  
West Palm Beach, FL 33409

**Location:** Palm Beach County

**Permit Acres:** 5.60 acres

**Project Land Use:** Residential

**Special Drainage District:** Lake Worth Drainage District

**Water Body Classification:** CLASS III

**FDEP Water Body ID:** 3245F

**Sovereign Submerged Lands:** No

**Project Summary**

This Environmental Resource Permit (ERP) authorizes Conceptual Approval of a compensating storage bank (Bank) to be utilized as offsite floodplain compensation within a 552-acre service area (SA) known as Westgate/Belvedere CRA, C-51 Sub-Basin 39 Comp. Storage Mod..

The Bank establishes excess storage within an existing 5.60-acre lake that may be utilized by projects sponsored by the Westgate/Belvedere Community Redevelopment Agency (CRA) within Sub-Basin 39 of the C-51 Basin. refer to the Engineering Evaluation and Exhibit Nos. 2.0 - 2.2 for additional details.

**Site Description**

The Bank includes a 5.60-acre lake known as Westgate Central Lake on Parcel 11, bordered by



Chickamauga Ave. to the north, Osceola Blvd. to the east, Cherokee Ave. to the south and Seminole Blvd. to the west, located within the Westgate/Belvedere Homes CRA, Palm Beach County. Please refer to Exhibit No. 1.0 for a location map.

For information on wetland and other surface water (OSW) impacts, please see the Wetlands and OSWs section of this permit.

**Current Authorization (Application No. 230929-40586)**

The proposed project is for the adjustment of compensating storage credits to include surplus storage that was not originally accounted for. This application is to revise the available compensating storage credits to 23.67 acre-feet from the previously authorized 18.21 acre-feet based on the dry detention area not being considered when the original C-51 Basin study was conducted. Please refer to the Engineering Evaluation and Exhibit Nos. 2.1.1 and 2.2 for revised calculations and credit ledger, respectively.

**Background**

The Westgate Central Lake was originally authorized under ERP No. 50-05060-P, certified complete October 2015.

**Ownership and Operation & Maintenance (O&M)**

Perpetual O&M of the SWM system will be the responsibility of the Westgate/Belvedere Homes Community Redevelopment Agency. Upon conveyance or division of ownership or control of the property or the system, the permittee must notify the Agency in writing within 30 days, and the new owner must request transfer of the permit.

## **Environmental Evaluation:**

### **Wetland and OSW Description**

There are no wetlands located within the project site or affected by this project.

The project site contains an approximate 6.85 acre central SWM lake and associated littoral plantings in which construction was previously authorized with Permit No. 50-05060-P. In accordance with sections 62-340.700(5) and (7), F.A.C., the SWM lake is not delineated as OSWs because the lake meets the exemption criteria in section 62-340.700(2)(a), F.A.C.

### **Fish, Wildlife, and Listed Species**

The project site does not contain significant habitat for wetland-dependent endangered or threatened wildlife species, or species of special concern. No wetland-dependent endangered or threatened species or species of special concern were observed onsite. Submitted information indicates that potential use of the site by such species is minimal.

This permit does not relieve the permittee from complying with all applicable rules and any other agencies' requirements if, in the future, endangered or threatened species or species of special concern are discovered on the site.

**Related Concerns:****Water Use Permit Status**

Neither irrigation nor dewatering are required for this project.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation.

**Historical/ Archaeological Resources**

No information has been received that indicates the presence of archaeological or historical resources on the project site or indicating that the project will have any effect upon significant historic properties listed, or eligible for listing in the National Register of Historic Places.

This permit does not release the permittee from complying with any other agencies requirements in the event that historical and/or archaeological resources are found on the site.

## General Conditions for Conceptual Permits

1. This permit does not authorize any construction, alteration, maintenance, operation, removal, or abandonment, except where such activities are specifically authorized as the first phase of an individual permit or are authorized to occur in accordance with a general permit or exemption under Chapter 62-330, F.A.C.
2. This permit does not:
  - (a) Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - (b) Convey to the permittee or create in the permittee any interest in real property;
  - (c) Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - (d) Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
3. The permittee shall notify the Agency in writing:
  - (a) Immediately if any previously submitted information is discovered to be inaccurate; and
  - (b) Within 30 days of any conveyance or division of ownership or control of the property or the system, the name and contact information for the new owner.
4. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample, and test the project site to ensure conformity with the permit.
5. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
6. This conceptual approval permit only authorizes design concepts for a master or future plan to construct, alter, operate, maintain, remove, or abandon projects that require a permit under Part IV of Chapter 373, F.S. It does not authorize any construction, alteration, operation, maintenance, removal, or abandonment, or the establishment and operation of a mitigation bank, or relieve the permit holder of any requirements to obtain such permits.
7. Subsequent applications to construct and operate activities shall be prepared and submitted using the applicable procedures in Rules 62-330.052, 62-330.054, 62-330.060, and 62-330.402 F.A.C., and sections 4.2.2, 4.2.3, 4.3, and 4.4 of Volume I. An application for conceptual approval for a mitigation bank shall also include the materials required by Chapter 62-342, F.A.C.
8. Issuance of this conceptual approval permit is a determination, within the level of detail provided in the application, that the activities approved in this permit are consistent with applicable rules at the time of issuance. This permit provides the conceptual approval permit holder with a rebuttable presumption, during the duration of this permit, that the engineering design and scientific principles upon which the conceptual approval permit approved herein are likely to meet applicable rule criteria for issuance of permits for subsequent phases of the project, provided all of the following are met at the time of receipt of a complete application to construct and operate the future phases:
  - (a) The application to construct and operate the future phases remains consistent with the designs and conditions of this permit. Primary areas for consistency comparisons include the size, location, and extent of the activities proposed, the type and nature of the activities, percent imperviousness, allowable discharge and points of discharge, location and extent of wetland and other surface water impacts, mitigation plans implemented or proposed, control elevations, extent of stormwater reuse, detention and retention volumes, and the extent of flood elevations.If an application for construction of any portion of the land area covered by this permit is inconsistent with

the design concepts and conditions approved herein, the application will be reviewed to determine the extent to which the inconsistency will affect the designs and conditions for the remainder of the lands contained in this permit. If the inconsistency will materially affect those designs and conditions, then the applicant must demonstrate that the holder of this permit agrees to that inconsistency. In such a case, the holder of the conceptual approval permit may:

1. Modify the conceptual approval permit to conform to the revised design;
2. Abandon reliance on the conceptual approval permit; or
3. Rely on those portions of the conceptual approval permit for only those areas that were not affected by the inconsistency.

(b) There are no changes to state water quality standards that would be affected by activities authorized in the conceptual approval permit that have not already been authorized for construction or operation.

(c) There have been no amendments to Florida law governing special basin criteria that would affect future activities authorized by the conceptual approval permit that have not already been authorized for construction.

(d) There are no substantive changes in the site characteristics that would affect whether the design concepts approved in the conceptual approval permit can continue to be reasonably expected to meet the conditions for authorizing construction of future phases. This shall include such things as changes in the designation of listed species, and changes to nesting, denning, and critical designation status of listed species that exist within the lands served by the project area.

9. If changes are proposed to the design of existing or future phases, or where there have been changes to state water quality standards, special basins, or site characteristics as described in conditions (3)(a) through (d), above, during the duration of this permit, the applicant must modify this permit if it wishes to continue to rely on this permit as a basis that reasonable assurance exists for the Agency to issue future construction or operation permits under the terms and conditions of this permit. If the permittee fails to do this, this conceptual approval permit can no longer be relied upon as a basis, in part or whole, under which permits to construct or operate future phases will be issued, and the Agency will reevaluate the terms and conditions of this permit at the time a permit application is received to construct the next phase of activities, or at the next requested extension of this permit's duration in accordance with subsection 62-330.056(11), F.A.C., whichever occurs first.

## **Special Conditions for Conceptual Permits**

1. This permit authorization does not expire.
2. Perpetual O&M of the bank system shall be the responsibility of the Westgate/Belvedere Homes Community Redevelopment Agency. The permittee shall notify the Agency in writing within 30 days of any conveyance or division of ownership or control of the property of the system, and the new owner must request transfer of the permit in accordance with Rule 62-330.340, F.A.C.
3. District determination of the suitability of this Bank to offset C-51 Basin compensating storage impacts within the SA, including assessment of potential adverse impacts to the water resources, will be conducted on a project-by-project basis in accordance with criteria in effect at the time of application for compensating storage credit authorization.
4. The permittee must submit a minor permit modification in conjunction with the application to acquire compensating storage credits from the Bank. These applications will be held concurrent.

The minor modification shall consist of a ledger, per Exhibit No. 2.2, containing the name, permit/application number and authorization date of the project for which the credits were acquired, authorizing agency, the quantity (acre-feet) of acquired credits, and the remaining number of credits available at the Bank.

5. The available compensating storage volume in place for this Bank is based on the 100-year flood elevation of 14.8-ft NGVD established in 2004 for the C-51 basin, Sub-Basin 39. Applicants requesting to use compensating storage volume from this Bank shall determine the required amount of compensating storage using the same method.
6. Any future changes in land use or treatment of wetland and/or upland areas may require a permit modification and additional review by District Environmental Resource Bureau (ERB) staff. Prior to the permittee instituting any future changes not authorized by this permit, the permittee shall notify the District of such intentions for a determination of any necessary permit modifications.



**Distribution List**

Robert Higgins, Higgins Engineering Inc

City Of Greenacres

Audubon of Florida

Div of Recreation and Park - District 5

US Army Corps of Engineers - Permit Section

Lake Worth Drainage District

Palm Beach County - Environmental Resource Management

Palm Beach County Engineer

## **Exhibits**

The following exhibits to this permit are incorporated by reference. The exhibits can be viewed by clicking on the links below or by visiting the District's ePermitting website at <http://my.sfwmd.gov/ePermitting> and searching under this application number 230929-40586.

[Exhibit No. 1.0 Location Map](#)

[Exhibit No. 2.0 SWM Plans](#)

[Exhibit No. 2.1 Calculations](#)

[Exhibit No. 2.1.1 Amended Calculations](#)

[Exhibit No. 2.2 Compensating Storage Ledger](#)

## **NOTICE OF RIGHTS**

As required by Chapter 120, Florida Statutes, the following provides notice of the opportunities which may be available for administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes, or judicial review pursuant to Section 120.68, Florida Statutes, when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Some of the legal proceedings detailed below may not be applicable or appropriate for your situation. You may wish to consult an attorney regarding your legal rights.

### **RIGHT TO REQUEST ADMINISTRATIVE HEARING**

A person whose substantial interests are or may be affected by the South Florida Water Management District's (District) action has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Florida Statutes. Persons seeking a hearing on a District decision which affects or may affect their substantial interests shall file a petition for hearing in accordance with the filing instructions set forth herein within 21 days of receipt of written notice of the decision unless one of the following shorter time periods apply: (1) within 14 days of the notice of consolidated intent to grant or deny concurrently reviewed applications for environmental resource permits and use of sovereign submerged lands pursuant to Section 373.427, Florida Statutes; or (2) within 14 days of service of an Administrative Order pursuant to Section 373.119(1), Florida Statutes. "Receipt of written notice of agency decision" means receipt of written notice through mail, electronic mail, posting, or publication that the District has taken or intends to take final agency action. Any person who receives written notice of a District decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

If the District takes final agency action that materially differs from the noticed intended agency decision, persons who may be substantially affected shall, unless otherwise provided by law, have an additional point of entry pursuant to Rule 28-106.111, Florida Administrative Code.

Any person to whom an emergency order is directed pursuant to Section 373.119(2), Florida Statutes, shall comply therewith immediately, but on petition to the board shall be afforded a hearing as soon as possible.

A person may file a request for an extension of time for filing a petition. The District may grant the request for good cause. Requests for extension of time must be filed with the District prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and whether the District and any other parties agree to or oppose the extension. A timely request for an extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

### **FILING INSTRUCTIONS**

A petition for administrative hearing must be filed with the Office of the District Clerk. Filings with the Office of the District Clerk may be made by mail, hand-delivery, or e-mail. Filings by facsimile will not be accepted. A petition for administrative hearing or other document is deemed filed upon receipt during normal business hours by the Office of the District Clerk at the District's headquarters in West Palm Beach, Florida. The District's normal business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Any document received by the Office of the District Clerk after 5:00 p.m. shall be deemed filed as of 8:00 a.m. on the next regular business day.

Additional filing instructions are as follows:

- Filings by mail must be addressed to the Office of the District Clerk, 3301 Gun Club Road, West Palm Beach, Florida 33406.

- Filings by hand-delivery must be delivered to the Office of the District Clerk. Delivery of a petition to the District's security desk does not constitute filing. It will be necessary to request that the District's security officer contact the Office of the District Clerk. An employee of the District's Clerk's office will receive and process the petition.
- Filings by e-mail must be transmitted to the Office of the District Clerk at [clerk@sfwmd.gov](mailto:clerk@sfwmd.gov). The filing date for a document transmitted by electronic mail shall be the date the Office of the District Clerk receives the complete document.

### **INITIATION OF ADMINISTRATIVE HEARING**

Pursuant to Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Rules 28-106.201 and 28-106.301, Florida Administrative Code, initiation of an administrative hearing shall be made by written petition to the District in legible form and on 8 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, District file number or any other District identification number, if known.
2. The name, address, any email address, any facsimile number, and telephone number of the petitioner, petitioner's attorney or qualified representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the District's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the District's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the District's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the District to take with respect to the District's proposed action.

### **MEDIATION**

The procedures for pursuing mediation are set forth in Section 120.573, Florida Statutes, and Rules 28-106.111 and 28-106.401–.405, Florida Administrative Code. The District is not proposing mediation for this agency action under Section 120.573, Florida Statutes, at this time.

### **RIGHT TO SEEK JUDICIAL REVIEW**

Pursuant to Section 120.68, Florida Statutes, and in accordance with Florida Rule of Appellate Procedure 9.110, a party who is adversely affected by final District action may seek judicial review of the District's final decision by filing a notice of appeal with the Office of the District Clerk in accordance with the filing instructions set forth herein within 30 days of rendition of the order to be reviewed, and by filing a copy of the notice with the appropriate district court of appeals via the Florida Courts E-Filing Portal.

# Re: Update on Westgate CRA State Appropriation

Elizee Michel

Wed 3/6/2024 12:49 PM

To: Kasey Denny <KDenny@pbc.gov>;

Cc: Tammy Fields K. <TFields@pbc.gov>;

Good Afternoon Kasey:

We are happy for the \$250,000 allocation in the final budget. As you know, the CRA is leveraging that with other funds and projects. We are installing streetlights through another contract as we speak. Another streetlight project application was permitted last month by the County's Land Development Department. Hopefully, we can receive some more allocation in the future to sustain the safety initiatives.

Thank you for your assistance. We can start working on the next steps after the GAA passes on Friday.

Elizée Michel, FRA-RA, HDFP, AICP, Executive Director  
Westgate CRA  
1280 N Congress Ave. Suite 215  
West Palm Beach FL. 33409  
561-640-8181



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**From:** Kasey Denny  
**Sent:** Wednesday, March 6, 2024 11:14:59 AM  
**To:** Elizee Michel  
**Cc:** Tammy Fields K.  
**Subject:** Update on Westgate CRA State Appropriation

Good morning Elizee –

Yesterday the Florida Legislature published the FY 24-25 General Appropriations Act (GAA) that they agreed upon in conference, starting the clock on the constitutionally mandated 72-hour “cooling off period” before members can vote on the budget. The final budget totals \$117.46 billion, \$3 billion more than Governor DeSantis’ proposed budget, and will be passed by both the House and Senate on Friday. Upon passage, the GAA will be presented to the Governor for his approval and line item vetoes. The FY 24-25 Budget total is just slightly higher than last fiscal year’s budget after vetoes were made, which came in at \$116.5 billion. Many anticipate that after the Governor makes his line item vetoes this year the total budget will be less than that of last fiscal year’s budget. We will be continuing our advocacy for PBC’s funded projects with the Governor’s Office over the next several weeks and will keep you apprised of any developments.

I’m pleased to report that **Westgate CRA’s Enhanced Lighting & Safety Initiative** received an allocation of **\$250,000** in the final budget! We will work together on next steps after the GAA passes on Friday.

Thank you for all of your work on this and the information you’ve gathered to support advocacy efforts for this project.

**Kasey Denny**

Legislative Affairs Director  
Palm Beach County Board of County Commissioners  
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